

Oak Brook
Park District
A National Gold Medal Agency



HAPPY | FIT | ACTIVE

Oak Brook Park District Board Packet

June 15, 2026

We strive to provide the **very best** in **park** and **recreational opportunities, facilities,** and **open lands** for **our community.**

Family Recreation Center | 1450 Forest Gate Road | Oak Brook, IL 60523-2151 | P: 630-990-4233 | F: 630-990-8379
Tennis Center | 1300 Forest Gate Road | Oak Brook, IL 60523-2151 | P: 630-990-4660 | F: 630-990-4818

www.obparks.org



Pledge of Allegiance

I pledge allegiance to the flag of the United States of America, and to the Republic for which it stands, one nation under God, indivisible, with liberty and justice for all.

Agenda and Agenda Vote



AGENDA
REGULAR MEETING OF THE OAK BROOK PARK DISTRICT
BOARD OF COMMISSIONERS
June 15, 2026 – 6:30 p.m.
Canterberry Room

1. CALL TO ORDER THE REGULAR MEETING OF THE OAK BROOK PARK DISTRICT BOARD OF COMMISSIONERS AND CONDUCT THE ROLL CALL
2. PLEDGE OF ALLEGIANCE
3. OPEN FORUM
4. APPROVAL OF AGENDA, MINUTES, AND FINANCIAL STATEMENT
 - a. APPROVAL OF THE JUNE 15, 2026 AGENDA
 - b. APPROVAL OF MINUTES
 - i. May 18, 2026 Regular Board Meeting Minutes
 - ii. May 18, 2026 Closed Meeting Minutes
 - c. APPROVAL OF FINANCIAL STATEMENT ENDING MAY 31, 2026
 - i. Warrant 709
5. STAFF RECOGNITION
 - a. None
6. PRESENTATIONS/PROCLAMATIONS
 - a. Proclamation “July is Park and Recreation Month”
 - b. Oak Brook Motor Club
7. REPORTS:
 - a. Administration and Enterprise Operations Report
 - b. Finance and Human Resources Report
 - c. Recreation and Communications Report
 - d. Parks and Facilities Report
8. UNFINISHED BUSINESS
 - a. Objectives and Key Results 2026-27
 - b. Ordinance 26-0518: An Ordinance for Transferring Anticipated Unexpended Funds from Certain Appropriation Items to Other Items of Appropriation
 - c. General Use Regulations Chapters 2-3





AGENDA
REGULAR MEETING OF THE OAK BROOK PARK DISTRICT
BOARD OF COMMISSIONERS
June 15, 2026 – 6:30 p.m.
Canterberry Room

9. NEW BUSINESS

- a. Approval of a Travel Expense for Commissioner Attendance at the National Recreation and Park Association Conference held in Philadelphia, Pennsylvania - September 28 – October 1, 2026
- b. Revision to section 4.28 Work Related Expense Reimbursement of the Personnel Policy Manual (*Requires Waiving the Board Rules to Approve at this Meeting.*)
- c. General Use Regulations Chapter 4
- d. Family Recreation Center Exterior Maintenance Bid
- e. Tennis Court and Parking Lot Project Bid
- f. Section 4.30 Artificial Intelligence (AI) Usage Policy of the Personnel Policy Manual – New Policy

10. THE NEXT REGULAR MEETING OF THE OAK BROOK PARK DISTRICT BOARD OF PARK COMMISSIONERS WILL BE HELD ON JULY 20, 2026, 6:30 P.M.

11. ADJOURNMENT

In accordance with the provisions of the Americans with Disabilities Act, any individual who is in need of a reasonable accommodation in order to participate in or benefit from attendance at a public meeting of the Oak Brook Park District Board of Commissioners should contact: Laure Kosey, Executive Director at 630-645-9535.





AGENDA
REGULAR MEETING OF THE OAK BROOK PARK DISTRICT
BOARD OF COMMISSIONERS
June 15, 2026 – 6:30 p.m.
Canterberry Room

1. CALL TO ORDER THE REGULAR MEETING OF THE OAK BROOK PARK DISTRICT BOARD OF COMMISSIONERS AND CONDUCT THE ROLL CALL [*Call to order the Regular Meeting of the Oak Brook Park District Board of Commissioners and ask the Recording Secretary to conduct the **Roll Call.***]
2. PLEDGE OF ALLEGIANCE [*Recite the Pledge of Allegiance*]
3. OPEN FORUM [*Ask whether there are any Public Comments under “Open Forum.” If necessary, the President may advise speakers to observe the rules set forth in Section 1.1VII B of the Rules of the Board of Park Commissioners.*]
4. APPROVAL OF AGENDA, MINUTES, AND FINANCIAL STATEMENT
 - a. APPROVAL OF THE JUNE 15, 2026 AGENDA [*Request a Motion (and a Second) to approve the June 15, 2026 Agenda. **Roll Call Vote...***]
 - b. APPROVAL OF MINUTES
 - i. May 18, 2026 Regular Board Meeting Minutes [*Request a Motion (and a Second) to approve the May 18, 2026 Regular Board Meeting Minutes. **Roll Call Vote...***]
 - ii. May 18, 2026 Closed Meeting Minutes [*Request a Motion (and a Second) to approve the May 18, 2026 Closed Board Meeting Minutes. **Roll Call Vote...***]
 - c. APPROVAL OF FINANCIAL STATEMENT ENDING MAY 31, 2026
 - i. Warrant 709 [*Request a Motion (and a Second) to approve Financial Statement Ending May 31, 2026. **Roll Call Vote...***]
5. STAFF RECOGNITION
 - a. None
6. PRESENTATIONS/PROCLAMATIONS [*For Review and Discussion Only*]
 - a. Proclamation “July is Park and Recreation Month”
 - b. Oak Brook Motor Club
7. REPORTS: [*For Review and Discussion Only*]
 - a. Administration and Enterprise Operations Report
 - b. Finance and Human Resources Report
 - c. Recreation and Communications Report
 - d. Parks and Facilities Report
8. UNFINISHED BUSINESS





AGENDA
REGULAR MEETING OF THE OAK BROOK PARK DISTRICT
BOARD OF COMMISSIONERS

June 15, 2026 – 6:30 p.m.

Canterberry Room

- a. Objectives and Key Results 2026-27 [*Request a Motion (and a Second) to approve the Objectives and Key Results for May 1, 2026, through April 30, 2027. Roll Call Vote...*]
 - b. Ordinance 26-0518: An Ordinance for Transferring Anticipated Unexpended Funds from Certain Appropriation Items to Other Items of Appropriation [*Request a Motion (and a Second) to approve Ordinance 26-0518: An Ordinance for Transferring Anticipated Unexpended Funds from Certain Appropriation Items to Other Items of Appropriation. Roll Call Vote...*]
 - c. General Use Regulations Chapters 2-3 [*Request a Motion (and a Second) to approve the proposed updates to the General Use Regulations Chapters 2-3. Roll Call Vote...*]
9. **NEW BUSINESS** [*For Review and Discussion Only*]
- a. Approval of a Travel Expense for Commissioner Attendance at the National Recreation and Park Association Conference held in Philadelphia, Pennsylvania - September 28 – October 1, 2026
 - b. Revision to section 4.28 Work Related Expense Reimbursement of the Personnel Policy Manual (*Requires Waiving the Board Rules to Approve at this Meeting.*)
[*Request a Motion (and a Second) to approve Waiving the Board Rules to approve at this meeting revision to Section 4.28 Work Related Expense Reimbursement of the Personnel Policy Manual. Roll Call Vote...*]

Then ask for a Motion (and a Second) to approve Revision to Section 4.28 Work Related Expense Reimbursement of the Personnel Policy Manual. Roll Call Vote...
 - c. General Use Regulations Chapter 4
 - d. Family Recreation Center Exterior Maintenance Bid
 - e. Tennis Court and Parking Lot Project Bid
 - f. Section 4.30 Artificial Intelligence (AI) Usage Policy of the Personnel Policy Manual – New Policy
10. **THE NEXT REGULAR MEETING OF THE OAK BROOK PARK DISTRICT BOARD OF PARK COMMISSIONERS WILL BE HELD ON JULY 20, 2026, 6:30 P.M.** [*Announce the next Regular Meeting of the Oak Brook Park District Board of Park Commissioners will be held on July 20, 2026, 6:30 p.m.*]
11. **ADJOURNMENT** [*Request a Motion and a Second to adjourn the June 15, 2026 Regular Meeting of the Oak Brook Park District Board of Commissioners. Voice Vote, All in Favor ...*]

In accordance with the provisions of the Americans with Disabilities Act, any individual who is in need of a reasonable accommodation in order to participate in or benefit from attendance at a public meeting of the Oak Brook Park District Board of Commissioners should contact: Laure Kosey, Executive Director at 630-645-9535.

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Tennis Center | 1300 Forest Gate Road | Oak Brook, IL 60523-2151 | P: 630-990-4660 | F: 630-990-4818

www.obparks.org



Oak Brook District Board of Commissioners
Regular Meeting Minutes
May 18, 2026

Note: The Minutes will be included
after the Board Commissioners Approval at the
June 15, 2026 Meeting.

Place Holder

Place Holder

Place Holder

Place Holder

Place Holder

Financial Statement



General Fund

The General Fund is used to account for all activity of the Park District, except for activity required to be accounted for in another fund. The General Fund is comprised of the following departments:

- Administration
- Finance
- Central Park North
- Central Park
- Saddlebrook Park
- Forest Glen Park
- Chillem Park
- Dean Nature Sanctuary
- Professional Services
- Information Technology
- Building- Family Recreation Center
- Central Park West
- Capital Outlay

Among the major activities accounted for in this fund are field and facility rentals, resident and non-resident daily admissions (shared with the Recreation Fund), general administration and finance services, information technology services, facility maintenance services for our Family Recreation Center and Central Park West facility, and maintenance of our Central Park and other satellite parks.



General Fund: Revenues and Expenditures Summary (Unaudited)

Fiscal Year-to-Date Activity through May 31, 2026 and 2025

8.33% completed (1 out of 12 months)

	Fiscal Year 2026/2027- Highlighted items reflect more than 8.33% variance						FY 2026/2027 compared to FY 2025/2026- Highlighted items reflect more than 10% variance		
	Original Annual Budget	May 2026 Actual	Year-To-Date (YTD) Actual	Encumbered	YTD Actual + Encumbered	YTD Actual, as a % of Original Annual Budget	Fiscal Year 2025/2026 YTD Actual	FY 2026/2027 YTD Actual Higher/(Lower) than 2025/2026 YTD Actual	Percent Change
	REVENUES								
Administration	\$ -	\$ -	\$ -	N/A	\$ -	N/A	\$ -	\$ -	N/A
Finance									
Property Taxes	1,955,448	238,777	238,777	N/A	238,777	12.2%	212,219	26,557	12.5%
Personal Prop. Repl. Taxes	150,884	28,650	28,650	N/A	28,650	19.0%	31,180	(2,530)	-8.1%
Investment Income	109,452	6,807	6,807	N/A	6,807	6.2%	7,816	(1,010)	-12.9%
Other	1,694	-	-	N/A	-	0.0%	-	-	N/A
Central Park North	94,250	11,657	11,657	N/A	11,657	12.4%	13,020	(1,363)	-10.5%
Central Park	289,588	39,296	39,296	N/A	39,296	13.6%	25,374	13,922	54.9%
Saddlebrook Park	5,000	-	-	N/A	-	0.0%	-	-	N/A
Forest Glen Park	-	-	-	N/A	-	N/A	106	(106)	-100.0%
Chillem Park	-	-	-	N/A	-	N/A	-	-	N/A
Dean Property	2,500	-	-	N/A	-	0.0%	-	-	N/A
Information Technology	148,353	12,354	12,354	N/A	12,354	8.3%	12,324	31	0.2%
Building-Recreation Center	987,796	90,144	90,144	N/A	90,144	9.1%	101,153	(11,009)	-10.9%
Central Park West	132,455	16,796	16,796	N/A	16,796	12.7%	11,140	5,656	50.8%
Capital Outlay	190,000	-	-	N/A	-	0.0%	-	-	N/A
TOTAL REVENUES	\$ 4,067,420	\$ 444,481	\$ 444,481	\$ -	\$ 444,481	10.9%	\$ 414,333	\$ 30,148	7.3%
EXPENDITURES									
Administration	\$ 398,406	\$ 18,640	\$ 18,640	\$ (537)	18,103	4.7%	\$ 3,773	\$ 14,868	394.1%
Finance	339,734	13,577	13,577	(482)	13,095	4.0%	13,185	392	3.0%
Central Park North	99,925	7,907	7,907	37,568	45,475	7.9%	1,178	6,729	571.5%
Central Park	935,749	45,696	45,696	105,620	151,316	4.9%	26,449	19,247	72.8%
Saddlebrook Park	29,163	306	306	10,245	10,551	1.0%	-	306	N/A
Forest Glen Park	28,281	143	143	16,337	16,480	0.5%	-	143	N/A
Chillem Park	7,726	46	46	1,788	1,834	0.6%	-	46	N/A
Dean Property	32,699	271	271	24,670	24,941	0.8%	-	271	N/A
Professional Services	56,000	470	470	-	470	0.8%	-	470	N/A
Information Technology	379,277	31,879	31,879	48,858	80,737	8.4%	17,608	14,271	81.0%
Building-Recreation Center	1,286,190	56,041	56,041	119,723	175,763	4.4%	47,627	8,414	17.7%
Central Park West	149,633	3,038	3,038	25,497	28,534	2.0%	1,546	1,491	96.4%
Capital Outlay	614,000	-	-	-	-	0.0%	-	-	N/A
TOTAL EXPENDITURES	\$ 4,356,782	\$ 178,013	\$ 178,013	\$ 389,286	\$ 567,299	4.1%	\$ 111,365	\$ 66,648	59.8%
TRANSFERS OUT									
	\$ -				\$ -	N/A	\$ -	\$ -	N/A
TOTAL EXPENDITURES AND TRANSFERS OUT	\$ 4,356,782	\$ 178,013	\$ 178,013	\$ 389,286	\$ 567,299	4.1%	\$ 111,365	\$ 66,648	59.8%
REVENUES OVER (UNDER) EXPENDITURES AND TRANSFERS OUT	\$ (289,362)	\$ 266,467	\$ 266,467	\$ (389,286)	\$ (122,818)	-92.1%	\$ 302,967	\$ (36,500)	-12.0%

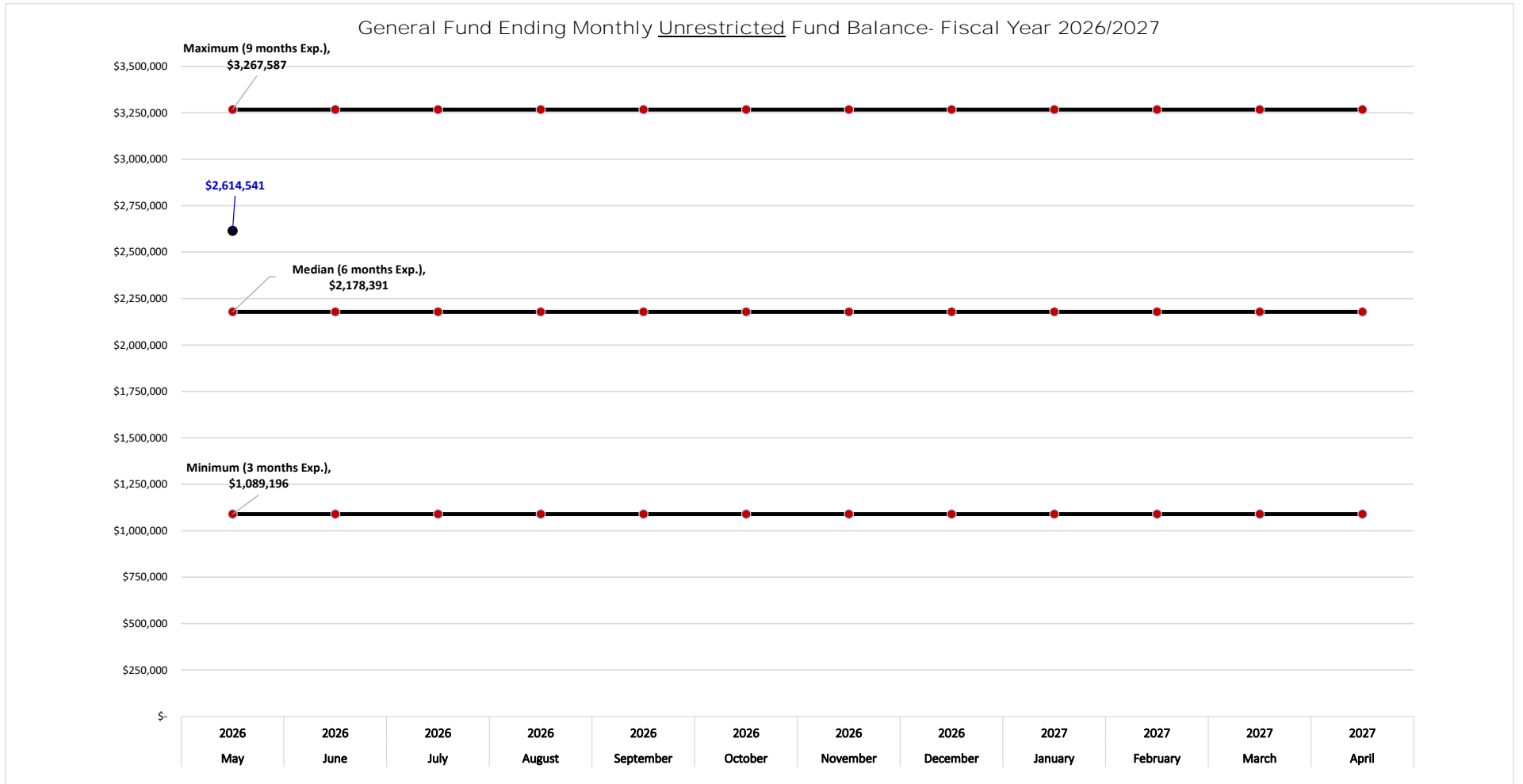
Note 1> Fiscal year 2026/2027 highlighted items reflect a variance of one month or greater (i.e. +/- 8.33%). When comparing the current fiscal year to fiscal year 2025/2026, the highlighted items reflect a variance of +/-10.00% or greater.

Note 2> Encumbered balances represent the commitment of appropriated (budgeted) funds to purchase goods and services. They set aside (encumber) appropriated funds for future expenditure and are used by staff to manage spending activity.

Oak Brook Park District
 Schedule of Ending Monthly Unrestricted Fund Balance- General Fund

Actuals- Unaudited

	May	June	July	August	September	October	November	December	January	February	March	April	Fiscal
	2026	2026	2026	2026	2026	2026	2026	2026	2027	2027	2027	2027	Y-T-D
Beginning Unrestricted	\$ 2,348,074												
Monthly Net Surplus/(Deficit)	266,467												\$ 266,467
Ending Unrestricted	\$ 2,614,541	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	



Minimum (3 months Exp.)	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196	\$ 1,089,196
Median (6 months Exp.)	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391	\$ 2,178,391
Maximum (9 months Exp.)	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587	\$ 3,267,587



Recreation Fund

The Recreation Fund is used to account for all recreation programming activity of the Park District; except for programming accounted for in our Tennis and Special Recreation funds. The Recreation Fund is comprised of the following departments:

- Recreation Administration
- Fitness Center
- Aquatic Center
- Aquatic Recreation Programming
- Youth Athletics
- Preschool Programs
- Youth Programs
- Adult Programs
- Pioneer Programs
- Special Events and Trips
- Marketing
- Capital Outlay

The primary focus of this fund is to account for recreational programming activities, client memberships, special events, preschool, and the marketing of these services. This fund also accounts for resources used to fund capital improvements.



Recreation Fund: Revenues and Expenditures Summary (Unaudited)

Fiscal Year-to-Date Activity through May 31, 2026 and 2025

8.33% completed (1 out of 12 months)

	Fiscal Year 2026/2027- Highlighted items reflect more than 8.33% variance						FY 2026/2027 compared to FY 2025/2026- Highlighted items reflect more than 10% variance		
	Original Annual Budget	May 2026 Actual	Year-To-Date (YTD) Actual	Encumbered	YTD Actual + Encumbered	YTD Actual, as a % of Original Annual Budget	Fiscal Year 2025/2026 YTD Actual	FY 2026/2027 YTD Actual Higher/(Lower) than 2025/2026 YTD Actual	Percent Change
REVENUES									
Administration									
Property Taxes	\$ 1,370,299	\$ 166,212	\$ 166,212	N/A	\$ 166,212	12.1%	\$ 148,240	\$ 17,972	12.1%
Personal Prop. Repl. Taxes	47,501	9,019	9,019	N/A	9,019	19.0%	9,816	(797)	-8.1%
Investment Income	138,157	10,913	10,913	N/A	10,913	7.9%	8,913	2,000	22.4%
Other	3,000	367	367	N/A	367	12.2%	798	(431)	-54.0%
Fitness Center	1,028,975	93,520	93,520	N/A	93,520	9.1%	83,941	9,579	11.4%
Aquatic Center	995,050	113,812	113,812	N/A	113,812	11.4%	120,625	(6,812)	-5.6%
Aquatic Recreation Prog.	538,290	93,099	93,099	N/A	93,099	17.3%	96,968	(3,868)	-4.0%
Youth Athletics	519,850	79,553	79,553	N/A	79,553	15.3%	71,585	7,968	11.1%
Preschool Programs	389,689	90,041	90,041	N/A	90,041	23.1%	38,053	51,988	136.6%
Youth Programs	275,936	227,352	227,352	N/A	227,352	82.4%	219,828	7,524	3.4%
Adult Programs	220,581	20,263	20,263	N/A	20,263	9.2%	24,939	(4,676)	-18.8%
Pioneer Programs	79,194	17,182	17,182	N/A	17,182	21.7%	12,247	4,935	40.3%
Special Events and Trips	152,645	47,373	47,373	N/A	47,373	31.0%	54,917	(7,545)	-13.7%
Marketing	20,000	8,201	8,201	N/A	8,201	41.0%	3,531	4,670	132.2%
Capital Outlay	95,000	-	-	N/A	-	0.0%	-	-	N/A
TOTAL REVENUES	\$ 5,874,167	\$ 976,908	\$ 976,908	\$ -	\$ 976,908	16.6%	\$ 894,401	\$ 82,507	9.2%
TRANSFERS IN	\$ -	\$ -	\$ -	N/A	-	N/A	\$ -	\$ -	N/A
TOTAL REVENUES & TRANSFERS IN	\$ 5,874,167	\$ 976,908	\$ 976,908	\$ -	\$ 976,908	16.6%	\$ 894,401	\$ 82,507	9.2%
EXPENDITURES									
Administration	\$ 1,180,481	\$ 61,708	\$ 61,708	\$ 66,416	\$ 128,124	5.2%	\$ 69,826	\$ (8,117)	-11.6%
Fitness Center	651,130	35,373	35,373	75,805	111,178	5.4%	31,460	3,913	12.4%
Aquatic Center	1,232,246	54,099	54,099	129,404	183,504	4.4%	45,903	8,196	17.9%
Aquatic Recreation Prog.	300,271	11,950	11,950	40,627	52,577	4.0%	11,588	362	3.1%
Youth Athletics	353,090	3,967	3,967	280	4,247	1.1%	4,915	(948)	-19.3%
Preschool Programs	333,657	18,416	18,416	(1,040)	17,375	5.5%	15,705	2,710	17.3%
Youth Programs	179,680	3,086	3,086	(1,045)	2,041	1.7%	2,900	186	6.4%
Adult Programs	108,167	5,701	5,701	-	5,701	5.3%	5,737	(36)	-0.6%
Pioneer Programs	105,829	6,466	6,466	3,366	9,832	6.1%	3,507	2,959	84.4%
Special Events and Trips	127,301	9,605	9,605	3,010	12,614	7.5%	14,107	(4,502)	-31.9%
Marketing	373,990	15,028	15,028	(693)	14,335	4.0%	11,084	3,944	35.6%
Capital Outlay	475,112	-	-	83,225	83,225	0.0%	-	-	N/A
TOTAL EXPENDITURES	\$ 5,420,954	\$ 225,400	\$ 225,400	\$ 399,354	\$ 624,753	4.2%	\$ 216,733	\$ 8,666	4.0%
TRANSFERS OUT	\$ -	\$ -	\$ -	\$ -	\$ -	N/A	\$ -	\$ -	N/A
TOTAL EXPENDITURES & TRANSFERS OUT	\$ 5,420,954	\$ 225,400	\$ 225,400	\$ 399,354	\$ 624,753	4.2%	\$ 216,733	\$ 8,666	4.0%
REVENUES & TRANSFERS IN, OVER (UNDER) EXPENDITURES & TRANSFERS OUT	\$ 453,212	\$ 751,508	\$ 751,508	\$ (399,354)	\$ 352,155	165.8%	\$ 677,668	\$ 73,841	10.9%

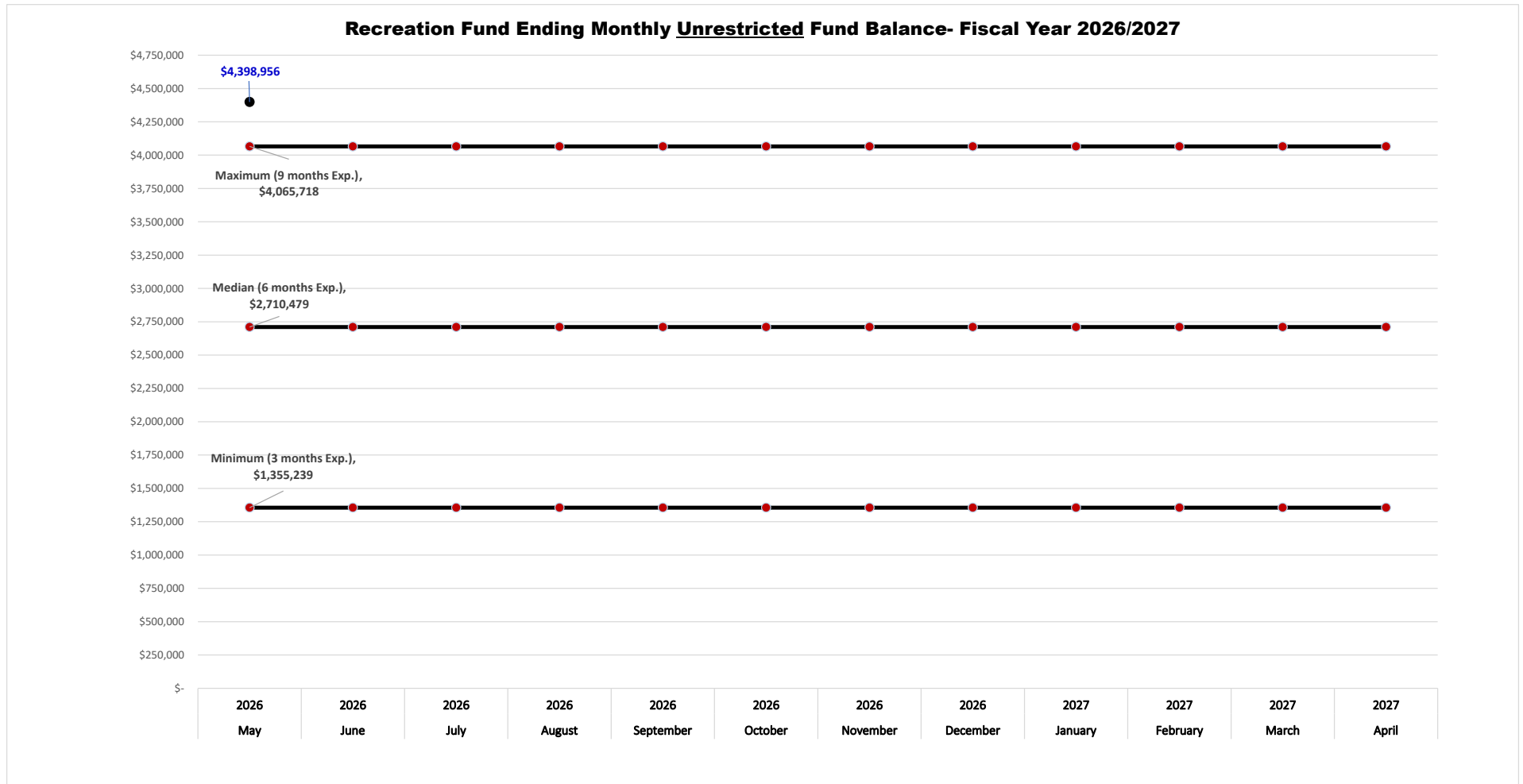
Note 1> Fiscal year 2026/2027 highlighted items reflect a variance of one month or greater (i.e. +/- 8.33%). When comparing the current fiscal year to fiscal year 2025/2026, the highlighted items reflect a variance of +/-10.00% or greater.

Note 2> Encumbered balances represent the commitment of appropriated (budgeted) funds to purchase goods and services. They set aside (encumber) appropriated funds for future expenditure and are used by staff to manage spending activity.

Oak Brook Park District
 Schedule of Ending Monthly Unrestricted Fund Balance- Recreation Fund

Actuals- Unaudited

	May	June	July	August	September	October	November	December	January	February	March	April	Fiscal
	2026	2026	2026	2026	2026	2026	2026	2026	2027	2027	2027	2027	Y-T-D
Beginning Unrestricted	\$ 3,647,448												
Monthly Net Surplus/(Deficit)	751,508												\$ 751,508
Ending Unrestricted	\$ 4,398,956	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	



Minimum (3 months Exp.)	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239	\$ 1,355,239
Median (6 months Exp.)	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479	\$ 2,710,479
Maximum (9 months Exp.)	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718	\$ 4,065,718



Tennis Fund

The Tennis Fund is used to account for the activities of our tennis center. The Tennis Fund is comprised of the following departments:

- Tennis Administration
- Building- Racquet Club
- Programs- Racquet Club
- Capital Outlay

The primary focus of this fund is to account for all tennis administration, recreational programming activities, client memberships, and special events. This fund also accounts for resources used to fund capital improvements at the tennis center.



Tennis Center Fund (Recreational Facilities): Revenues and Expenses Summary (Unaudited)

Fiscal Year-to-Date Activity through May 31, 2026 and 2025

8.33% completed (1 out of 12 months)

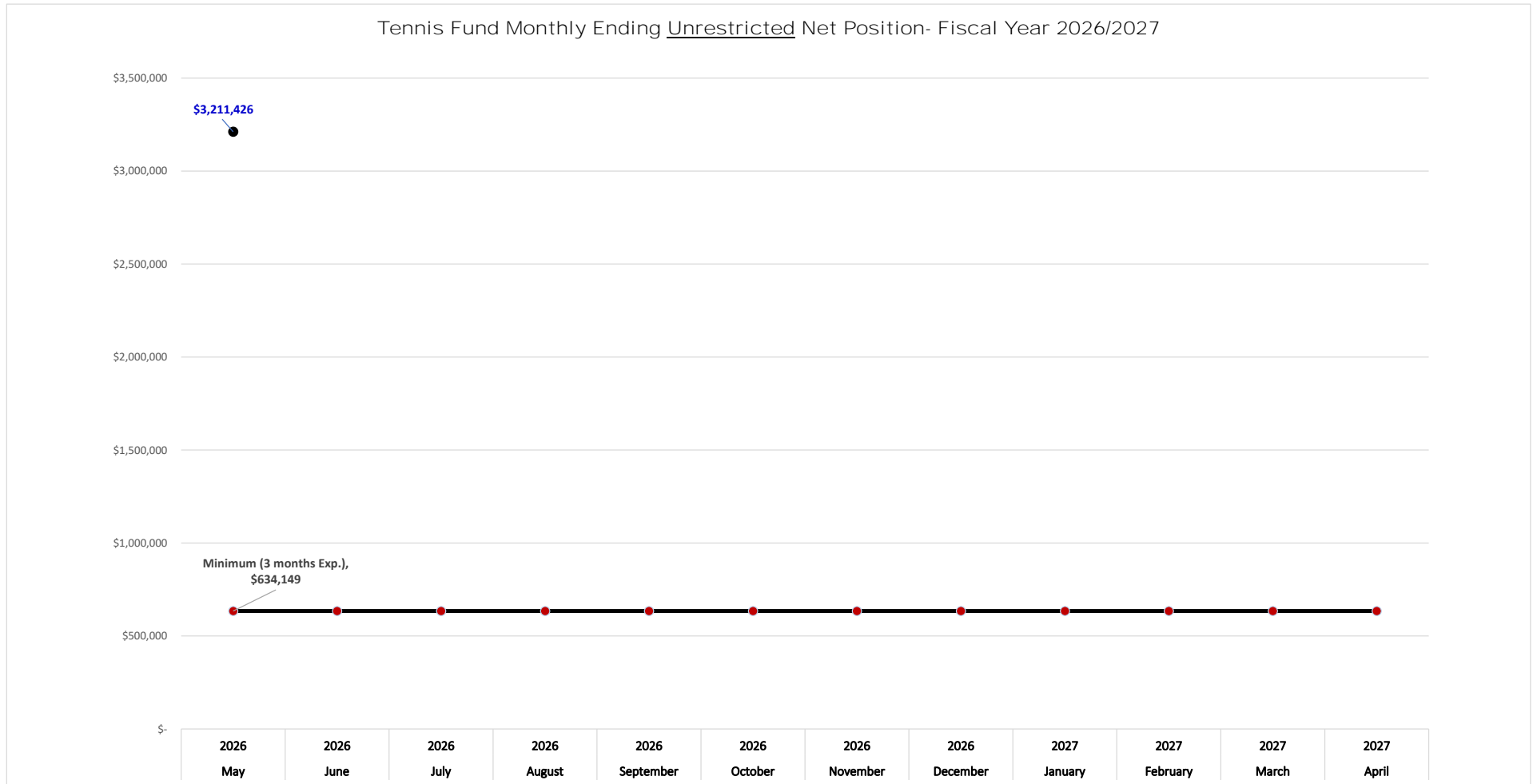
	Fiscal Year 2026/2027- Highlighted items reflect more than 8.33% variance						FY 2026/2027 compared to FY 2025/2026- Highlighted items reflect more than 10% variance		
	Original Annual Budget	May 2026 Actual	Year-To-Date (YTD) Actual	Encumbered	YTD Actual + Encumbered	YTD Actual, as a % of Original Annual Budget	Fiscal Year 2025/2026 YTD Actual	FY 2026/2027 YTD Actual Higher/(Lower) than 2025/2026 YTD Actual	Percent Change
REVENUES									
Administration	\$ 348,964	\$ 13,394	\$ 13,394	N/A	\$ 13,394	3.8%	\$ 11,906	\$ 1,488	12.5%
Building- Racquet Club	1,000	-	-	N/A	-	0.0%	-	-	N/A
Programs- Racquet Club	2,559,500	210,062	210,062	N/A	210,062	8.2%	202,999	7,063	3.5%
TOTAL REVENUES	\$ 2,909,464	\$ 223,456	\$ 223,456	\$ -	\$ 223,456	7.7%	\$ 214,905	\$ 8,551	4.0%
EXPENSES									
Administration	\$ 975,980	\$ 43,811	\$ 43,811	\$ 2,826	\$ 46,637	4.5%	\$ 40,163	\$ 3,648	9.1%
Building- Racquet Club	520,577	15,848	15,848	96,801	112,649	3.0%	9,418	6,430	68.3%
Programs- Racquet Club	1,040,038	47,461	47,461	(371)	47,090	4.6%	40,859	6,602	16.2%
Capital Outlay	1,880,000	-	-	77,840	77,840	0.0%	-	-	N/A
TOTAL EXPENSES	\$ 4,416,594	\$ 107,119	\$ 107,119	\$ 177,097	\$ 284,216	2.4%	\$ 90,440	\$ 16,679	18.4%
REVENUES OVER (UNDER) EXPENSES	\$(1,507,130)	\$ 116,337	\$ 116,337	\$ (177,097)	\$ (60,760)	-7.7%	\$ 124,465	\$ (8,128)	-6.5%

Note 1> Fiscal year 2026/2027 highlighted items reflect a variance of one month or greater (i.e. +/- 8.33%). When comparing the current fiscal year to fiscal year 2025/2026, the highlighted items reflect a variance of +/-10.00% or greater.

Note 2> Encumbered balances represent the commitment of appropriated (budgeted) funds to purchase goods and services. They set aside (encumber) appropriated funds for future expense and are used by staff to manage spending activity.

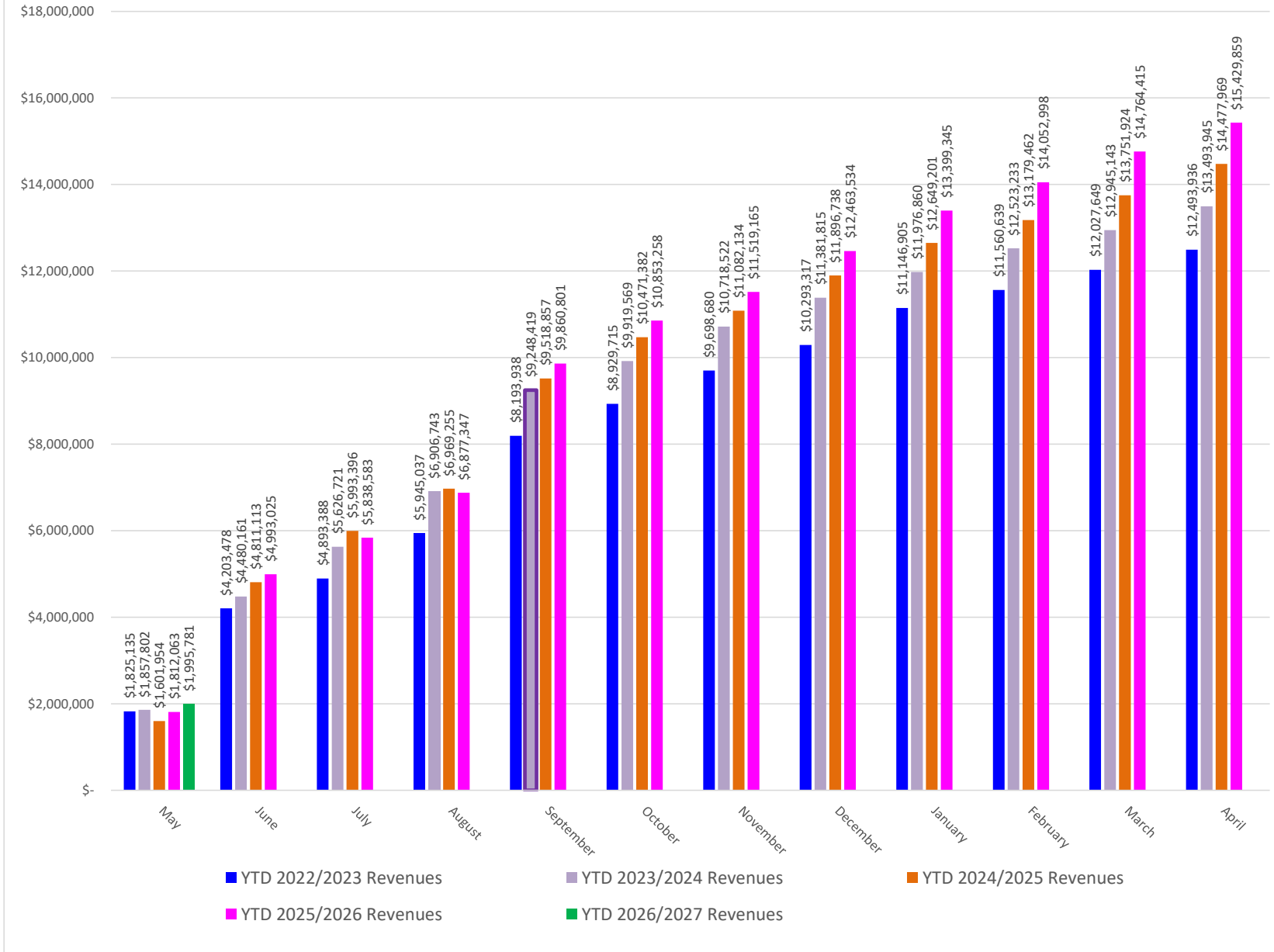
Oak Brook Park District
 Schedule of Ending Monthly Unrestricted Net Position- Tennis Fund

Actuals- Unaudited													Fiscal
	May	June	July	August	September	October	November	December	January	February	March	April	Y-T-D
	2026	2026	2026	2026	2026	2026	2026	2026	2027	2027	2027	2027	
Beginning Investment in Capital Assets	\$ 2,008,854												
Beginning Unrestricted	3,095,089												
Monthly Net Surplus/(Deficit)	116,337												\$ 116,337
Ending Investment in Capital Assets	\$ 2,008,854												
Ending Unrestricted	\$ 3,211,426												



Minimum (3 months Exp.)	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149	\$ 634,149
Median (6 months Exp.)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Maximum (9 months Exp.)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

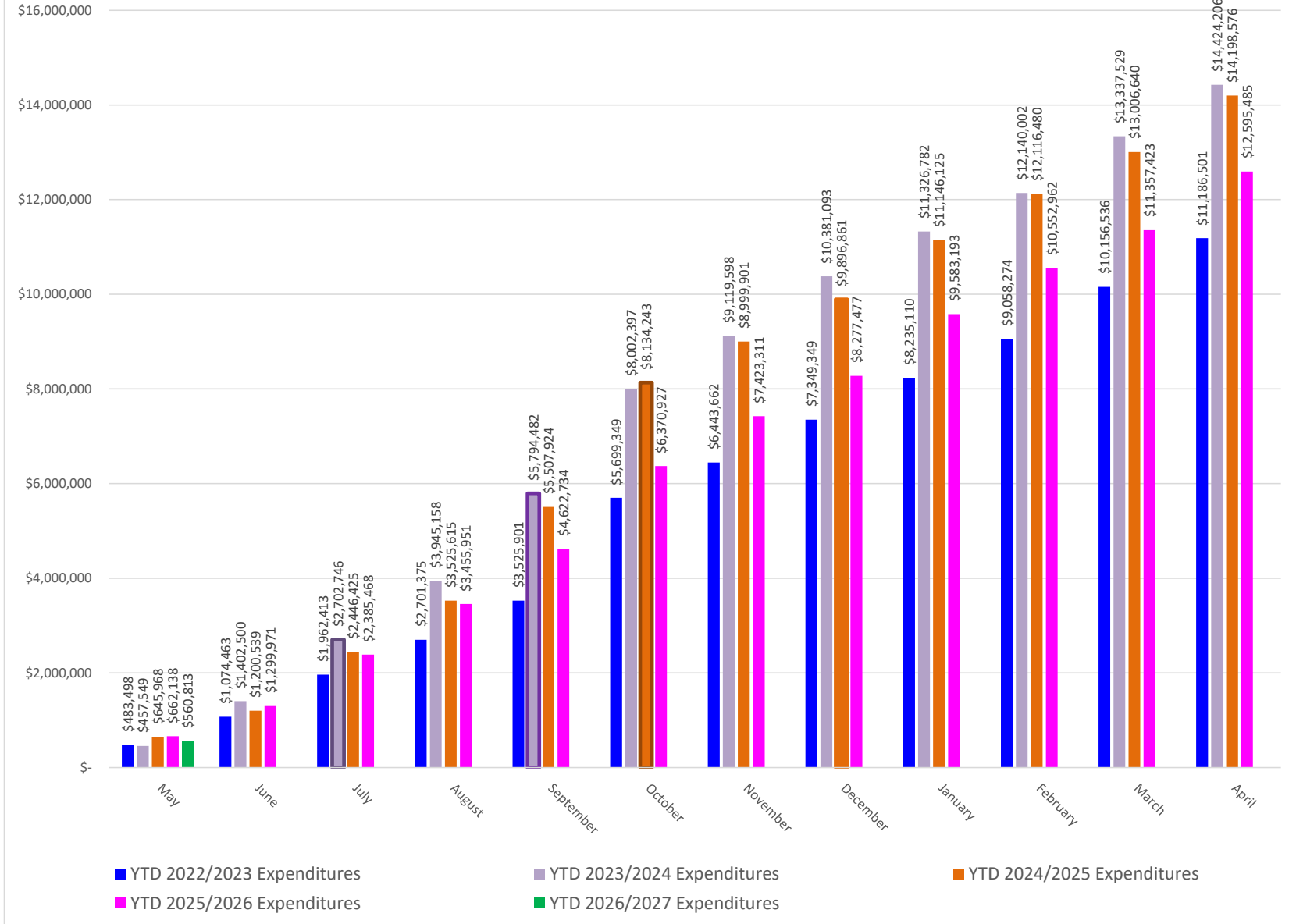
Oak Brook Park District- Consolidated Year-to-Date Revenues (excluding transfers in)



NOTES

2023/2024 The large increase in Y-T-D revenues are being primarily driven by increased programming revenues in our fitness, aquatics, children's, special events departments, as well as in group tennis programming.

Oak Brook Park District- Consolidated Year-to-Date Expenditures/Expenses (excluding transfers out)

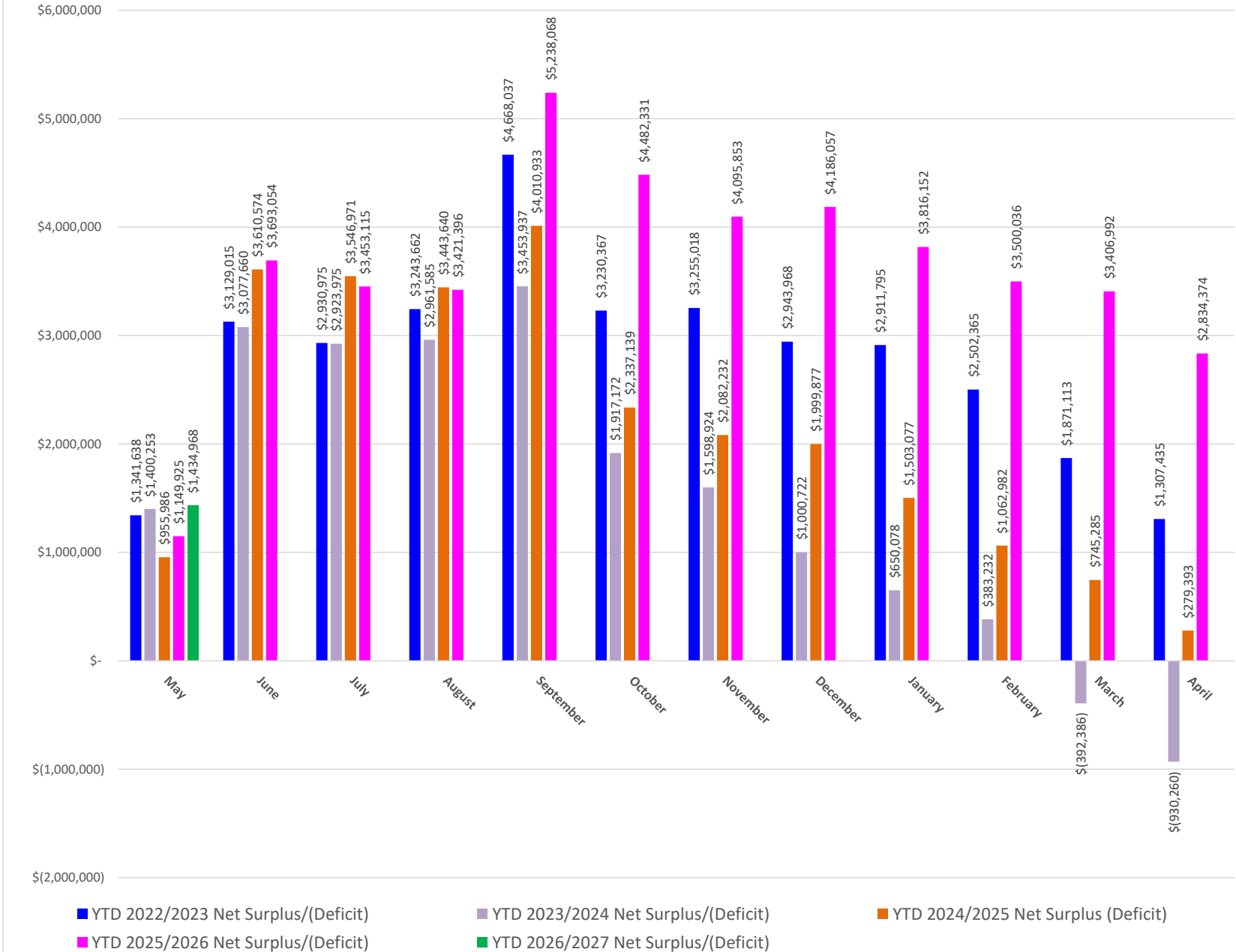


NOTES

2023/2024 The large increase in Y-T-D expenditures are being primarily driven by increased capital improvement costs for our Central Park improvements (e.g. bathrooms, pavilion, synthetic turf field).

2024/2025 The large increase in Y-T-D expenditures are being primarily driven by increased capital improvement costs for our Swim Central facility (e.g. HVAC system, painting, and window coverings) and bathroom and entryway improvements at our Central Park West (CPW) facility.

Oak Brook Park District- Consolidated Year-to-Date Net Surplus/(Deficit)





OAK BROOK PARK DISTRICT
SUMMARIZED REVENUE & EXPENDITURE REPORT
May 2026

	FY 2026/2027 ANNUAL BUDGET	CURRENT MONTH ACTUAL	Y-T-D ACTUAL (1 month)
GENERAL CORPORATE FUND			
Revenues & transfers in	\$ 4,067,420	\$ 444,481	\$ 444,481
Expenditures & transfers out	4,356,782	178,013	178,013
Net surplus/(deficit)	\$ (289,362)	\$ 266,467	\$ 266,467
RECREATION FUND			
Revenues & transfers in	\$ 5,874,167	\$ 976,908	\$ 976,908
Expenditures & transfers out	5,420,954	225,400	225,400
Net surplus/(deficit)	\$ 453,212	\$ 751,508	\$ 751,508
IMRF FUND			
Revenues & transfers in	\$ 196,463	\$ 27,016	\$ 27,016
Expenditures & transfers out	208,235	16,616	16,616
Net surplus/(deficit)	\$ (11,772)	\$ 10,400	\$ 10,400
LIABILITY INSURANCE FUND			
Revenues & transfers in	\$ 215,427	\$ 27,192	\$ 27,192
Expenditures & transfers out	196,452	2,237	2,237
Net surplus/(deficit)	\$ 18,975	\$ 24,956	\$ 24,956
AUDIT FUND			
Revenues & transfers in	\$ 10,683	\$ 1,484	\$ 1,484
Expenditures & transfers out	14,475	-	-
Net surplus/(deficit)	\$ (3,792)	\$ 1,484	\$ 1,484
DEBT SERVICE FUND			
Revenues & transfers in	\$ 1,671,984	\$ 200,909	\$ 200,909
Expenditures & transfers out	1,644,166	-	-
Net surplus/(deficit)	\$ 27,818	\$ 200,909	\$ 200,909
RECREATIONAL FACILITIES FUND (TENNIS CENTER)			
Revenues	\$ 2,909,464	\$ 223,456	\$ 223,456
Expenses	4,416,594	107,119	107,119
Net surplus/(deficit)	\$ (1,507,130)	\$ 116,337	\$ 116,337
SPECIAL RECREATION FUND			
Revenues & transfers in	\$ 342,846	\$ 36,969	\$ 36,969
Expenditures & transfers out	331,831	5,616	5,616
Net surplus/(deficit)	\$ 11,015	\$ 31,353	\$ 31,353



OAK BROOK PARK DISTRICT
SUMMARIZED REVENUE & EXPENDITURE REPORT
May 2026

	FY 2026/2027 ANNUAL BUDGET	CURRENT MONTH ACTUAL	Y-T-D ACTUAL (1 month)
CAPITAL PROJECTS FUND			
Revenues & transfers in	\$ 1,495,575	\$ 16,461	\$ 16,461
Expenditures & transfers out	1,471,279	-	-
Net surplus/(deficit)	\$ 24,296	\$ 16,461	\$ 16,461
SOCIAL SECURITY FUND			
Revenues & transfers in	\$ 315,213	\$ 40,905	\$ 40,905
Expenditures & transfers out	324,622	25,811	25,811
Net surplus/(deficit)	\$ (9,409)	\$ 15,093	\$ 15,093
CONSOLIDATED SUMMARY			
Revenues & transfers in	\$ 17,099,242	\$ 1,995,781	\$ 1,995,781
Expenditures/expenses & transfers out	18,385,390	560,813	560,813
Net surplus/(deficit)	\$ (1,286,148)	\$ 1,434,968	\$ 1,434,968

**OAK BROOK PARK DISTRICT
CONSOLIDATED REVENUES AND EXPENDITURES REPORT
Month: May 2026**

	CONSOLIDATED TOTALS
REVENUES & TRANSFERS IN	
Property Taxes	\$ 721,233
Personal Property Replacement Taxes	53,056
Interest	35,420
Miscellaneous	482
Fitness Center Fees, Memberships, Sponsorships	108,520
Aquatic Center Program Fees, Memberships, Rentals	206,912
Other Recreation Program Fees	691,710
Marketing Service Fees, Sponsorships, Donations	8,201
FRC Rental/Member Fees	37,663
Field, Pavilion Rentals & Concessions- Central Park North	11,657
Field Rentals- Central Park	37,643
Satellite Parks & DNS	-
Information Technology	0
CPW Building Rentals & Other	16,396
Grant Proceeds	-
Overhead Revenues	66,889
Transfers In	-
TOTAL REVENUES & TRANSFERS IN:	\$ 1,995,781
EXPENDITURES/EXPENSES & TRANSFERS OUT	
Accounts Payable and Other	\$ 6,483
Payroll and Related Benefits	487,441
Overhead Expenditures	66,889
Transfers Out	-
TOTAL EXPENDITURES/EXPENSES & TRANSFERS OUT:	\$ 560,813
NET REVENUES/(EXPENDITURES/EXPENSES)	\$ 1,434,968

**Oak Brook Park District
Consolidated Balance Sheet
As of May 31, 2026**

<u>ASSETS</u>	<u>Consolidated Totals</u>
Current Assets	
Cash and Investments	\$ 11,881,910
Receivables - Net of Allowances	
Property Taxes	5,909,155
Accounts	981,890
Due from Other Funds	-
Prepays	30
Inventories	<u>23,342</u>
Total Current Assets	<u>\$ 18,796,327</u>
Noncurrent Assets	
Capital Assets	
Non-depreciable	\$ 58,294
Depreciable	5,840,466
Accumulated Depreciation	<u>(4,138,943)</u>
Total Noncurrent Assets (net)	<u>\$ 1,759,817</u>
Total Assets	\$ 20,556,144
<u>DEFERRED OUTFLOWS OF RESOURCES</u>	
Deferred Items-IMRF	\$ 148,665
Total Assets and Deferred Outflows of Resources	<u>\$ 20,704,809</u>

<u>LIABILITIES</u>	
Current Liabilities	
Accounts Payable	\$ 353,799
Accrued Payroll	726
Retainage Payable	-
Unearned Revenue	958,933
Due To Other Funds	-
Unclaimed Property	<u>88</u>
Total Current Liabilities	<u>\$ 1,313,546</u>
Noncurrent Liabilities	
Compensated Absences Payable	\$ 42,527
Net Pension Liability - IMRF	111,188
Total OPEB Liability - RBP	<u>76,757</u>
Total Noncurrent Liabilities	<u>\$ 230,472</u>
Total Liabilities	\$ 1,544,018

<u>DEFERRED INFLOWS OF RESOURCES</u>	
Deferred Items - IMRF	\$ 1,235
Property Taxes	5,909,155
Total Liabilities and Deferred Inflows of Resources	<u>\$ 7,454,409</u>

<u>FUND/NET POSITION BALANCES</u>	
Non-spendable	\$ 30.00
Restricted	661,793
Committed	4,751,514
Assigned	-
Unassigned	2,616,783
Net Investment in Capital Assets	2,008,854
Restricted	-
Unrestricted	<u>3,211,426</u>
Total Fund/Net Position Balances	<u>\$ 13,250,400</u>
Total Liabilities, Deferred Inflows of Resources and Fund/ Net Position Balances	<u>\$ 20,704,809</u>

OAK BROOK PARK DISTRICT
Treasurer's Report- As of May 31, 2026 and 2025

Investment Description	Bank/Institution	Current Year Balance	Current Year Rate/APY/ADY*	Prior Year Rate/APY/ADY*	Note	Current Concentration Percentage
<u>Money Market</u>						
	Old Second National (Evergreen Bank)	\$ 4,150,809.07	4.070%	4.590%	Interest-bearing	36.09%
	Hinsdale Bank	1,841,843.52	3.800%	4.500%	Interest-bearing	16.01%
	Sub-Total:	<u>\$ 5,992,652.59</u>				<u>52.10%</u>
<u>Checking</u>						
	Fifth Third Bank	\$ 35,975.92	0.400%	0.500%	Interest-bearing	0.31%
<u>Investment Pool</u>						
	The Illinois Funds	\$ 5,473,535.95	3.737%*	4.415%*	Illinois Public Treasurers' Investment Pool	47.59%
	Grand Total Investments:	<u>\$ 11,502,164.46</u>				<u>100.00%</u>
<u>Benchmark</u>						
	Three-month U.S. Treasury Bill		3.677%	4.343%	Highly liquid short-term security. Payment of principal and interest guaranteed by the full faith and credit of the U.S. government. Rate is as of the day's close on 05/29/2026 and 05/30/2025.	

* Rate represents the average daily yield (ADY) for the applicable month (1 month).

Oak Brook Park District
 Schedule of Capital Expenditures/Expenses
 As of May 31, 2026

FUND & DESCRIPTION	VENDORS	Year-to-Date Expenditures	FY 2026/2027 Budget
Capital Projects Fund			
Sub-total Balance:		\$ -	\$ -
Recreation Fund			
Sub-total Balance:		\$ -	\$ -
Tennis Fund			
Sub-total Balance:		\$ -	\$ -
Special Recreation Fund			
Sub-total Balance:		\$ -	\$ -
Grand Total Balance:		\$ -	\$ -



General Fund: Revenues and Expenditures Summary (Unaudited)
Fiscal Year-to-Date Activity through April 30, 2026 and 2025-UPDATED
100.00% completed (12 out of 12 months)

	Fiscal Year 2025/2026- Highlighted items reflect more than 8.33% variance						FY 2025/2026 compared to FY 2024/2025- Highlighted items reflect more than 10% variance		
	Original Annual Budget	April 2026 Actual	Year-To-Date (YTD) Actual	Encumbered	YTD Actual + Encumbered	YTD Actual, as a % of Original Annual Budget	Fiscal Year 2024/2025 YTD Actual	Actual Higher/(Lower) than 2024/2025 YTD Actual	Percent Change
REVENUES									
Administration	\$ -	\$ -	\$ -	N/A	\$ -	N/A	\$ -	\$ -	N/A
Finance									
Property Taxes	1,934,447	63	1,965,868	N/A	1,965,868	101.6%	1,890,183	75,685	4.0%
Personal Prop. Repl. Taxes	157,374	11,645	140,251	N/A	140,251	89.1%	146,413	(6,162)	-4.2%
Investment Income	82,600	6,724	112,768	N/A	112,768	136.5%	105,242	7,527	7.2%
Other	1,250	-	2,261	N/A	2,261	180.9%	1,551	709	45.7%
Central Park North	102,250	6,263	81,295	N/A	81,295	79.5%	96,610	(15,315)	-15.9%
Central Park	240,300	38,956	296,538	N/A	296,538	123.4%	225,104	71,434	31.7%
Saddlebrook Park	-	-	-	N/A	-	N/A	-	-	N/A
Forest Glen Park	-	-	106	N/A	106	N/A	200	(94)	-47.2%
Chillem Park	-	-	-	N/A	-	N/A	-	-	N/A
Dean Property	-	-	-	N/A	-	N/A	9,372	(9,372)	-100.0%
Information Technology	141,992	11,824	142,448	N/A	142,448	100.3%	113,343	29,105	25.7%
Building-Recreation Center	1,368,830	84,035	1,236,862	N/A	1,236,862	90.4%	1,031,606	205,255	19.9%
Central Park West	88,325	2,120	111,768	N/A	111,768	126.5%	20,137	91,631	455.0%
TOTAL REVENUES	\$ 4,117,368	\$ 161,630	\$ 4,090,164	\$ -	\$ 4,090,164	99.3%	\$ 3,639,761	\$ 450,403	12.4%
EXPENDITURES									
Administration	\$ 371,186	\$ 53,859	\$ 350,587	\$ (170)	350,417	94.5%	\$ 362,307	\$ (11,719)	-3.2%
Finance	342,450	29,771	287,230	-	287,230	83.9%	255,914	31,316	12.2%
Central Park North	95,371	14,349	69,988	1,463	71,451	73.4%	87,021	(17,032)	-19.6%
Central Park	858,297	108,443	810,404	11,141	821,545	94.4%	736,417	73,987	10.0%
Saddlebrook Park	20,180	2,479	15,056	-	15,056	74.6%	12,610	2,447	19.4%
Forest Glen Park	23,845	5,276	22,627	-	22,627	94.9%	24,111	(1,484)	-6.2%
Chillem Park	5,879	1,937	4,522	-	4,522	76.9%	4,375	147	3.4%
Dean Property	29,253	1,646	23,378	-	23,378	79.9%	33,562	(10,185)	-30.3%
Professional Services	31,000	9,597	51,622	329	51,951	166.5%	41,367	10,255	24.8%
Information Technology	362,353	45,866	343,451	8,168	351,619	94.8%	307,007	36,444	11.9%
Building-Recreation Center	1,281,505	131,428	1,201,092	10,894	1,211,986	93.7%	1,102,902	98,190	8.9%
Central Park West	74,457	7,143	83,729	1,154	84,883	112.5%	58,482	25,247	43.2%
TOTAL EXPENDITURES	\$ 3,495,776	\$ 411,794	\$ 3,263,688	\$ 32,979	\$ 3,296,666	93.4%	\$ 3,026,076	\$ 237,611	7.9%
TRANSFERS OUT	\$ 475,000	\$ -	\$ -	\$ -	\$ -	0.0%	\$ 502,000	\$ (502,000)	-100.0%
TOTAL EXPENDITURES AND TRANSFERS OUT	\$ 3,970,776	\$ 411,794	\$ 3,263,688	\$ 32,979	\$ 3,296,666	82.2%	\$ 3,528,076	\$ (264,389)	-7.5%
REVENUES OVER (UNDER) EXPENDITURES AND TRANSFERS OUT	\$ 146,592	\$ (250,163)	\$ 826,476	\$ (32,979)	\$ 793,498	563.8%	\$ 111,684	\$ 714,792	640.0%

Note 1> Fiscal year 2025/2026 highlighted items reflect a variance of one month or greater (i.e. +/- 8.33%). When comparing the current fiscal year to fiscal year 2024/2025, the highlighted items reflect a variance of +/-10.00% or greater.

Note 2> Encumbered balances represent the commitment of appropriated (budgeted) funds to purchase goods and services. They set aside (encumber) appropriated funds for future expenditure and are used by staff to manage spending activity.



Recreation Fund: Revenues and Expenditures Summary (Unaudited)
Fiscal Year-to-Date Activity through April 30, 2026 and 2025-UPDATED
100.00% completed (12 out of 12 months)

	Fiscal Year 2025/2026- Highlighted items reflect more than 8.33% variance						FY 2025/2026 compared to FY 2024/2025- Highlighted items reflect more than 10% variance		
	Original Annual Budget	April 2026 Actual	Year-To-Date (YTD) Actual	Encumbered	YTD Actual + Encumbered	YTD Actual, as a % of Original Annual Budget	Fiscal Year 2024/2025 YTD Actual	FY 2025/2026 YTD Actual Higher/(Lower) than 2024/2025 YTD Actual	Percent Change
REVENUES									
Administration									
Property Taxes	\$ 1,350,500	\$ 44	\$ 1,373,202	N/A	\$ 1,373,202	101.7%	\$ 1,400,070	\$ (26,868)	-1.9%
Personal Prop. Repl. Taxes	49,544	3,666	44,153	N/A	44,153	89.1%	46,093	(1,940)	-4.2%
Investment Income	122,400	10,970	146,604	N/A	146,604	119.8%	142,935	3,669	2.6%
Other	3,000	457	9,487	N/A	9,487	316.2%	6,845	2,642	38.6%
Fitness Center	869,615	84,343	1,018,461	N/A	1,018,461	117.1%	998,310	20,152	2.0%
Aquatic Center	760,254	55,388	861,835	N/A	861,835	113.4%	744,439	117,396	15.8%
Aquatic Recreation Prog.	567,947	8,573	520,432	N/A	520,432	91.6%	478,600	41,832	8.7%
Youth Athletics	533,210	1,585	495,772	N/A	495,772	93.0%	509,699	(13,927)	-2.7%
Preschool Programs	342,162	43,519	388,232	N/A	388,232	113.5%	374,987	13,246	3.5%
Youth Programs	244,987	3,511	261,946	N/A	261,946	106.9%	236,167	25,779	10.9%
Adult Programs	142,552	1,303	138,134	N/A	138,134	96.9%	141,378	(3,243)	-2.3%
Pioneer Programs	59,855	1,403	73,785	N/A	73,785	123.3%	65,480	8,305	12.7%
Special Events and Trips	114,538	1	137,386	N/A	137,386	119.9%	134,335	3,050	2.3%
Marketing	20,000	(3,276)	27,486	N/A	27,486	137.4%	59,316	(31,830)	-53.7%
Capital Outlay	-	-	200,000	N/A	200,000	N/A	-	200,000	N/A
TOTAL REVENUES	\$ 5,180,564	\$ 211,487	\$ 5,696,916	\$ -	\$ 5,696,916	110.0%	\$ 5,338,654	\$ 358,262	6.7%
TRANSFERS IN	\$ 150,000	\$ -	\$ -	N/A	-	0.0%	\$ 150,000	\$ (150,000)	-100.0%
TOTAL REVENUES & TRANSFERS IN	\$ 5,330,564	\$ 211,487	\$ 5,696,916	\$ -	\$ 5,696,916	106.9%	\$ 5,488,654	\$ 208,262	3.8%
EXPENDITURES									
Administration	\$ 1,252,499	\$ 93,663	\$ 1,013,654	\$ -	\$ 1,013,654	80.9%	\$ 1,015,576	\$ (1,922)	-0.2%
Fitness Center	646,660	61,891	561,950	-	561,950	86.9%	477,464	84,486	17.7%
Aquatic Center	1,319,444	114,340	1,118,309	(2,395)	1,115,914	84.8%	1,131,259	(12,950)	-1.1%
Aquatic Recreation Prog.	303,894	40,756	282,788	1,634	284,422	93.1%	251,787	31,001	12.3%
Youth Athletics	369,921	18,055	363,578	280	363,858	98.3%	373,556	(9,978)	-2.7%
Preschool Programs	291,954	38,069	260,045	-	260,045	89.1%	256,452	3,593	1.4%
Youth Programs	182,879	4,221	143,056	-	143,056	78.2%	140,499	2,557	1.8%
Adult Programs	108,699	14,352	106,663	-	106,663	98.1%	76,131	30,532	40.1%
Pioneer Programs	95,588	13,140	111,458	3,366	114,824	116.6%	74,261	37,197	50.1%
Special Events and Trips	112,779	15,673	105,364	(10,594)	94,770	93.4%	111,672	(6,308)	-5.6%
Marketing	353,103	35,912	300,204	(1,085)	299,119	85.0%	300,702	(499)	-0.2%
Capital Outlay	360,112	73,518	202,112	83,225	285,337	56.1%	1,298,309	(1,096,197)	-84.4%
TOTAL EXPENDITURES	\$ 5,397,532	\$ 523,589	\$ 4,569,181	\$ 74,431	\$ 4,643,612	84.7%	\$ 5,507,670	\$ (938,489)	-17.0%
TRANSFERS OUT	\$ -	\$ -	\$ -	\$ -	\$ -	N/A	\$ 177,971	\$ (177,971)	-100.0%
TOTAL EXPENDITURES & TRANSFERS OUT	\$ 5,397,532	\$ 523,589	\$ 4,569,181	\$ 74,431	\$ 4,643,612	84.7%	\$ 5,685,641	\$ (1,116,460)	-19.6%
REVENUES & TRANSFERS IN, OVER (UNDER) EXPENDITURES & TRANSFERS OUT	\$ (66,969)	\$ (312,102)	\$ 1,127,735	\$ (74,431)	\$ 1,053,305	-1684.0%	\$ (196,988)	\$ 1,324,723	-672.5%

Note 1> Fiscal year 2025/2026 highlighted items reflect a variance of one month or greater (i.e. +/- 8.33%). When comparing the current fiscal year to fiscal year 2024/2025, the highlighted items reflect a variance of +/-10.00% or greater.

Note 2> Encumbered balances represent the commitment of appropriated (budgeted) funds to purchase goods and services. They set aside (encumber) appropriated funds for future expenditure and are used by staff to manage spending activity.



Tennis Center Fund (Recreational Facilities): Revenues and Expenses Summary (Unaudited)

Fiscal Year-to-Date Activity through April 30, 2026 and 2025-UPDATED

100.00% completed (12 out of 12 months)

	Fiscal Year 2025/2026- Highlighted items reflect more than 8.33% variance						FY 2025/2026 compared to FY 2024/2025- Highlighted items reflect more than 10% variance		
	Original Annual Budget	April 2026 Actual	Year-To-Date (YTD) Actual	Encumbered	YTD Actual + Encumbered	YTD Actual, as a % of Original Annual Budget	Fiscal Year 2024/2025 YTD Actual	FY 2025/2026 YTD Actual Higher/(Lower) than 2024/2025 YTD Actual	Percent Change
REVENUES									
Administration	\$ 123,100	\$ 13,801	\$ 173,088	N/A	\$ 173,088	140.6%	\$ 128,047	\$ 45,041	35.2%
Building- Racquet Club	1,000	3,790	4,983	N/A	4,983	498.3%	1,569	3,414	217.6%
Programs- Racquet Club	2,409,900	236,459	2,719,787	N/A	2,719,787	112.9%	2,602,381	117,406	4.5%
TOTAL REVENUES	\$ 2,534,000	\$ 254,050	\$ 2,897,857	\$ -	\$ 2,897,857	114.4%	\$ 2,731,997	\$ 165,860	6.1%
EXPENSES									
Administration	\$ 922,588	\$ 76,225	\$ 787,275	\$ 2,991	\$ 790,266	85.3%	\$ 766,878	\$ 20,397	2.7%
Building- Racquet Club	497,607	66,490	398,912	6,133	405,045	80.2%	324,900	74,012	22.8%
Programs- Racquet Club	1,011,659	87,466	784,185	250	784,435	77.5%	789,868	(5,683)	-0.7%
Capital Outlay	225,000	132,099	249,038	77,840	326,879	110.7%	-	249,038	N/A
TOTAL EXPENSES	\$ 2,656,853	\$ 362,279	\$ 2,219,409	\$ 87,214	\$ 2,306,624	83.5%	\$ 1,881,646	\$ 337,764	18.0%
REVENUES OVER (UNDER) EXPENSES	\$ (122,853)	\$ (108,229)	\$ 678,448	\$ (87,214)	\$ 591,234	-552.2%	\$ 850,351	\$ (171,903)	-20.2%

Note 1> Fiscal year 2025/2026 highlighted items reflect a variance of one month or greater (i.e. +/- 8.33%). When comparing the current fiscal year to fiscal year 2024/2025, the highlighted items reflect a variance of +/-10.00% or greater.

Note 2> Encumbered balances represent the commitment of appropriated (budgeted) funds to purchase goods and services. They set aside (encumber) appropriated funds for future expense and are used by staff to manage spending activity.



OAK BROOK PARK DISTRICT
SUMMARIZED REVENUE & EXPENDITURE REPORT
April 2026-UPDATED

	FY 2025/2026 ANNUAL BUDGET	CURRENT MONTH ACTUAL	Y-T-D ACTUAL (12 months)
GENERAL CORPORATE FUND			
Revenues & transfers in	\$ 4,117,368	\$ 161,630	\$ 4,090,164
Expenditures & transfers out	3,970,776	411,794	3,263,688
Net surplus/(deficit)	\$ 146,592	\$ (250,163)	\$ 826,476
RECREATION FUND			
Revenues & transfers in	\$ 5,330,564	\$ 211,487	\$ 5,696,916
Expenditures & transfers out	5,397,532	523,589	4,569,181
Net surplus/(deficit)	\$ (66,969)	\$ (312,102)	\$ 1,127,735
IMRF FUND			
Revenues & transfers in	\$ 174,156	\$ 3,690	\$ 172,039
Expenditures & transfers out	182,000	15,304	177,382
Net surplus/(deficit)	\$ (7,844)	\$ (11,614)	\$ (5,343)
LIABILITY INSURANCE FUND			
Revenues & transfers in	\$ 155,362	\$ 1,192	\$ 158,573
Expenditures & transfers out	177,846	4,401	195,618
Net surplus/(deficit)	\$ (22,484)	\$ (3,209)	\$ (37,045)
AUDIT FUND			
Revenues & transfers in	\$ 10,243	\$ 14	\$ 11,822
Expenditures & transfers out	14,025	-	13,500
Net surplus/(deficit)	\$ (3,782)	\$ 14	\$ (1,678)
DEBT SERVICE FUND			
Revenues & transfers in	\$ 1,674,784	\$ 445	\$ 1,693,490
Expenditures & transfers out	1,645,291	242,049	1,645,568
Net surplus/(deficit)	\$ 29,493	\$ (241,604)	\$ 47,922
RECREATIONAL FACILITIES FUND (TENNIS CENTER)			
Revenues	\$ 2,534,000	\$ 254,050	\$ 2,897,857
Expenses	2,656,853	362,279	2,219,409
Net surplus/(deficit)	\$ (122,853)	\$ (108,229)	\$ 678,448
SPECIAL RECREATION FUND			
Revenues & transfers in	\$ 339,086	\$ 30,432	\$ 343,050
Expenditures & transfers out	326,959	24,793	305,489
Net surplus/(deficit)	\$ 12,127	\$ 5,638	\$ 37,561



OAK BROOK PARK DISTRICT
SUMMARIZED REVENUE & EXPENDITURE REPORT
April 2026-UPDATED

	FY 2025/2026 ANNUAL BUDGET	CURRENT MONTH ACTUAL	Y-T-D ACTUAL (12 months)
CAPITAL PROJECTS FUND			
Revenues & transfers in	\$ 1,849,679	\$ 91,503	\$ 129,022
Expenditures & transfers out	1,688,779	67,638	367,701
Net surplus/(deficit)	\$ 160,900	\$ 23,865	\$ (238,678)
SOCIAL SECURITY FUND			
Revenues & transfers in	\$ 325,232	\$ 2,997	\$ 332,000
Expenditures & transfers out	329,613	23,564	315,007
Net surplus/(deficit)	\$ (4,381)	\$ (20,567)	\$ 16,993
CONSOLIDATED SUMMARY			
Revenues & transfers in	\$ 16,510,474	\$ 757,440	\$ 15,524,935
Expenditures/expenses & transfers out	16,389,675	1,675,411	13,072,543
Net surplus/(deficit)	\$ 120,799	\$ (917,972)	\$ 2,452,392

Warrant

Invoice Register Report

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
2026 REIMBURSEMENT							
52608	AMY JACOBSON PERSONAL TRAINER CERTIFICATION 02-21-690-009 CERTIFICATION PROGRAM	05/26/2026	06/15/2026	129.00 129.00	129.00	Open	Y 05/26/2026
5/26 REIMB.							
52523	ANDRE DOCKENS PROFESSIONAL MEMBERSHIP 07-75-690-000 WORKSHOPS / SEMINARS	05/21/2026	06/15/2026	307.00 307.00	307.00	Open	Y 05/21/2026
0157892-IN							
52467	AQUA PURE ENTERPRISES, INC. POOL CHEMICALS 02-25-790-004 CHEMICALS	05/14/2026	06/15/2026	91.77 91.77	91.77	Open	Y 05/14/2026
0157580-IN							
52562	AQUA PURE ENTERPRISES, INC. AQUATIC CHEMICALS 02-25-790-004 ACCU TABS 02-25-790-004 SODIUM BISULFATE 02-25-790-004 SHIPPING	04/20/2026	06/15/2026	2,302.95 2,012.04 266.96 23.95	2,302.95	Open	Y 04/20/2026
150128-001							
52453	C.E. RENTALS, INC. ASPHALT REPAIR-EQUIPMENT RENTAL 01-05-750-009 ROADS / BIKE PATH SERVICE	05/05/2026	06/15/2026	407.50 407.50	407.50	Open	Y 05/05/2026
150490-001							
52469	C.E. RENTALS, INC. SOD CUTTER FOR TURF REPAIRS (SEE 01-05-790-019 EQUIPMENT RENTAL	05/13/2026	06/15/2026	155.00 155.00	155.00	Open	Y 05/13/2026
MAY (APR) 26.TEN69							
52511	CARDMEMBER SERVICE TENNIS DEPT PCARD APRIL 2026 07-75-870-001 HEAD TENNIS BALLS 07-71-800-000 POPPIN - OFFICE LOCKER	05/27/2026	06/15/2026	2,757.07 946.66 1,810.41	2,757.07	Open	Y 04/30/2026
MAY26-TEN69							
52522	CARDMEMBER SERVICE TENNIS DEPT PCARD MAY 2026 07-75-870-001 HEAD TENNIS BALLS 07-75-790-008 USTA - TEAM TENNIS PLAY OFF FEE 07-75-870-007 BABOLAT GROMMETS 01-14-675-002 TENNISSOURCE MONTHLY FEE 07-75-870-007 BABOLAT STRINGS 07-01-740-000 LAZY DOG - STAFF REC. SEASON LUNCH	05/27/2026	06/15/2026	3,168.92 946.66 300.00 49.47 1,146.64 430.42 295.73	3,168.92	Open	Y 05/27/2026
MAY (APR) 26.TEN68							
52567	CARDMEMBER SERVICE MICHELLE TERRAZAS APRIL CC 07-75-790-004 AMAZON - PROGRAM SUPPLIES LOLLIPOPS	05/27/2026	06/15/2026	160.61 146.97	160.61	Open	Y 04/30/2026

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INVOICE REGISTER REPORT FOR OAK BROOK PARK DISTRICT
 EXP CHECK RUN DATES 06/15/2026 - 06/15/2026
 BOTH JOURNALIZED AND UNJOURNALIZED
 OPEN

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
	07-01-740-000	CORNER BAKERY - STAFF MEETING LUNCH		13.64			
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MAY26.REC04 52569	CARDMEMBER SERVICE REC DEPT PCARD MAY 2026 02-32-765-003	05/27/2026	06/15/2026	1,205.30	1,205.30	Open	Y 05/27/2026
	02-32-765-004	FUN EXPRESS - PEE WEE CAMP SUPPLIES		571.79			
	01-02-740-020	AMAZON - PLAYGROUND CAMP SUPPLIES		85.62			
	02-32-754-005	HSO - CPR SAFETY TRAINING - CAMP		216.41			
	02-32-765-003	AMAZON - JR COUNSELOR CAMP SUPPLIES		120.66			
	02-32-765-003	AMAZON - PEE WEE CAMP SUPPLIES		32.36			
	02-32-765-003	AMAZON - PEE WEE CAMP SUPPLIES		95.78			
	02-32-765-004	AMAZON - PLAYGROUND CAMP SUPPLIES		82.68			
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MAY26.FIN39 52570	CARDMEMBER SERVICE FINANCE DEPT MAY 2026 P-CARD 01-02-740-020	05/27/2026	06/15/2026	265.90	265.90	Open	Y 05/27/2026
	01-02-740-020	CONSCIOUS CHOKING TRAINERS		265.90			
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MAY (APR) 26.FIN39 52571	CARDMEMBER SERVICE FINANCE DEPT PCARD APRIL 2026 01-02-740-020	04/30/2026	06/15/2026	240.39	240.39	Open	Y 04/30/2026
	01-02-740-020	AED LOCATION STICKER		8.99			
	01-02-740-020	AED AND EMERGENCY KIT SUPPLIES		44.46			
	01-02-740-020	EMERGENCY KIT SUPPLY CLIPBOARDS		53.99			
	01-02-740-020	CONSCIOUS CHOKING TRAINER		132.95			
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MAY26.TEN68 52572	CARDMEMBER SERVICE TENNIS DEPT PCARD MAY 2026 07-01-740-000	05/27/2026	06/15/2026	1,623.09	1,623.09	Open	Y 05/27/2026
	07-75-790-005	CORNER BAKERY -STAFF MEETING LUNCH		44.03			
	07-75-790-005	AMAZON - PROGRAM EVENT SUPPLIES		9.99			
	07-01-730-002	AMAZON - PROGRAM EVENT SUPPLIES WATER		9.98			
	07-01-730-001	AMAZON - COFFEE SUPPLIES FILTER		58.77			
	07-75-790-004	AMAZON - DESK CHAIR WHEELS		65.52			
	07-75-790-004	AMAZON - PROGRAM SUPPLIES LOLLIPOPS		48.99			
	07-71-790-003	COSTCO - SUMMER CAMP SUPPLIES		472.63			
	07-01-730-002	AMAZON - TENNIS COURT ZIP TIES		50.52			
	07-71-790-003	AMAZON - COFFEE SUPPLIESCLEANING TABLETS		21.56			
	07-01-730-002	AMAZON - TENNIS COURT ZIP TIES		50.52			
	07-01-730-002	YOUR BRAND CAFE - COFFEE SERVICE CUPS		527.10			
	07-75-790-004	AMAZON - PROGRAM SUPPLIES LOLLIPOPS		238.05			
	07-01-730-001	AMAZON - STRINGING CABINET SUPPLIES		15.44			
	07-01-730-001	AMAZON - OFFICE SUPPLIES		9.99			
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MAY26.IT29 52573	CARDMEMBER SERVICE I.T. DEPT PCARD APRIL 2026 01-14-675-001	05/27/2026	06/15/2026	2,119.98	2,119.98	Open	Y 05/27/2026
	01-14-800-006	PASSKIT- DIGITAL MEMERSHIP CARD		39.50			
	01-14-722-000	AMAZON- BLUETOOTH FOR MICROPHONE		13.28			
	01-14-722-001	COMCAST- WIFI SERVICE ALL BUILDING		90.00			
	01-14-722-001	COMCAST- WIFI SERVICE ALL BUILDING		90.00			

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
	01-14-722-002	COMCAST- WIFI SERVICE ALL BUILDING		60.00			
	01-14-800-005	AMAZON- CAMERA FIBER CONVERTER REPLMENT		165.78			
	01-14-800-006	AMAZON- USB C FOR IPHONE - NEW HIRE		16.67			
	01-14-800-006	AMAZON- USB C FOR KIOSK NEW TABLES		19.99			
	01-14-722-000	COMCAST - TV CABLE		306.82			
	01-14-722-001	COMCAST - TV CABLE		306.82			
	01-14-722-002	COMCAST - TV CABLE		204.55			
	01-14-800-005	AMAZON - NEW TABLES SCREEN PROTECTION		8.49			
	01-14-800-007	AMAZON - MINI IPAD CASE - TENNIS CENTER		23.49			
	01-14-800-007	APPLE - NEW IPAD - TENNIS CENTER		494.00			
	01-14-722-000	APPLE BUSINESS -APPLEDEVICE MANAGEMENT		15.22			
	01-14-722-001	APPLE BUSINESS -APPLEDEVICE MANAGEMENT		15.22			
	01-14-722-002	APPLE BUSINESS -APPLEDEVICE MANAGEMENT		10.15			
	01-14-722-000	COMCAST -MAIN INTHERNET ALL BUILDINGS		90.00			
	01-14-722-001	COMCAST -MAIN INTHERNET ALL BUILDINGS		90.00			
	01-14-722-002	COMCAST -MAIN INTHERNET ALL BUILDINGS		60.00			
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MAY (APR) 26.REC92							
52574	CARDMEMBER SERVICE	05/27/2026	06/15/2026	33.62	33.62	Open	Y
	REC DEPT PCARD APRIL 2026						04/30/2026
	02-50-761-000	RIVER CRUISE LUNCH		22.87			
	02-50-761-000	RIVER CRUISE LUNCH		5.28			
	02-50-761-000	RIVER CRUISE BREAKFAST		4.51			
	02-50-761-000	FRGN TRANS FEE		0.96			
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MAY26.MKT24							
52575	CARDMEMBER SERVICE	05/27/2026	06/15/2026	265.00	265.00	Open	Y
	MARKETING DEPT PCARD MAY 2026						05/27/2026
	02-80-980-000	IPRA / MEMBERSHIP		265.00			
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MAY (APR) 26.REC02							
52576	CARDMEMBER SERVICE	05/27/2026	06/15/2026	206.55	206.55	Open	Y
	REC DEPT PCARD APRIL 2026						04/30/2026
	02-30-765-432	SPORTS CAMP SUPPLIES		206.55			
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MAY (APR) 26.REC78							
52577	CARDMEMBER SERVICE	05/27/2026	06/15/2026	104.40	104.40	Open	Y
	REC DEPT PCARD APRIL 2026						04/30/2026
	02-32-765-003	AMAZON - PEE WEE CAMP SUPPLIES		81.41			
	02-31-792-001	AMAZON - PRESCHOOL EVENTS/FOOD		22.99			
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MAY26.REC78							
52578	CARDMEMBER SERVICE	05/27/2026	06/15/2026	1,314.79	1,314.79	Open	Y
	REC DEPT PCARD MAY 2026						05/27/2026
	02-31-792-001	AMAZON - PRESCHOOL EVENTS/FOOD		194.89			
	02-31-800-200	AMAZON - PRESCHOOL NON CAPITAL EQUIPMENT		345.96			
	02-31-765-001	AMAZON - PRESCHOOL SUPPLIES		99.65			
	02-31-800-200	AMAZON - PRESCHOOL NON CAPITAL EQUIPMENT		27.99			
	02-31-765-001	AMAZON - PRESCHOOL SUPPLIES		20.66			
	02-32-765-002	NETFLIX - DOLPHIN STATION		19.99			
	02-31-792-001	PANERA BREAD - PRESCHOOL EVENTS/FOOD		87.47			

Inv Num Inv Ref#	Vendor Description	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
	GL Distribution						
	02-31-792-001	AMAZON - PRESCHOOL EVENTS/FOOD/GRADUATIO		10.42			
	02-31-765-001	AMAZON - PRESCHOOL SUPPLIES		13.97			
	02-60-792-001	DUNKIN BASKIN ROBBINS - PINK 5K FOOD		192.89			
	02-32-765-002	COSTCO - DOLPHIN STATION		29.98			
	02-31-765-001	COSTCO - PRESCHOOL SUPPLIES		51.46			
	01-01-730-002	COSTCO - STAFF SUUPLIES		37.98			
	02-31-792-001	PANERA BREAD - PRESCHOOL EVENTS/FOOD		181.48			
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MAY26.MKT95 52579*	CARDMEMBER SERVICE MAY 2026 CC A. WOODS	05/27/2026	06/15/2026	1,113.81	1,113.81	Open	Y 05/27/2026
	02-80-960-000	VISPRONET TAX REFUND		(55.26)			
	02-80-800-000	COSTCO TAX REFUND		(6.25)			
	02-80-940-000	AMAZON - ACRYIC FLYER HOLDERS		24.74			
	02-80-990-000	SMUGMUG PHOTO STORAGE SOLUTION		282.00			
	02-80-810-005	JIFFY - SHIRTS FOR AQUATIC UNIFORMS		228.40			
	02-80-810-005	JIFFY - DIRECT TRANSFER AQUATIC UNIFORM		105.10			
	07-01-680-002	IPRA JOB POSTING FT ENGINEER (TC)		165.00			
	02-60-765-002	AMAZON - FIRST AID FLAG BANNERS (3)		205.08			
	02-25-630-000	IPRA JOB POSTING FT ASST ENGINEER (FRC)		165.00			
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MAY26.MNT46 52580	CARDMEMBER SERVICE MAINTENANCE DEPT PCARD MAY 2026	05/27/2026	06/15/2026	134.27	134.27	Open	Y 05/27/2026
	01-15-800-000	FRC LIGHT SWITCH		17.29			
	01-15-800-000	FRC LIGHT EMERGENCY GUARD		116.98			
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MAY (APR) 26.PRK00 52581	CARDMEMBER SERVICE PARKS DEPT PCARD APRIL 2026	05/27/2026	06/15/2026	165.59	165.59	Open	Y 04/30/2026
	01-05-790-022	PAW PAW DISPLAY PLANT LABELS		111.25			
	01-05-790-017	MESSICS TRACTOR OIL COOLER HOSE		54.34			
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MAY26.PRK00 52582	CARDMEMBER SERVICE PARKS DEPT PCARD MAY 2026	05/27/2026	06/15/2026	586.00	586.00	Open	Y 05/27/2026
	01-05-750-009	DUPAGE MATERIALS ASPHALT REPAIR PINK 5K		67.00			
	01-05-790-022	DU PAGE FOREST PRESERVE NATIVE PLANTS		519.00			
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MAY (APR) 26.FAC34 52583	CARDMEMBER SERVICE FACILITIES DEPT PCARD APRIL 2026	05/27/2026	06/15/2026	361.23	361.23	Open	Y 04/30/2026
	02-25-705-001	WALMART AQUATIC PARTY SUPPLIES		46.41			
	02-25-705-001	AMAZON AQUATIC PARTY SUPPLIES		25.19			
	02-25-705-001	AMAZON AQUATIC PARTY SUPPLIES		80.31			
	02-01-840-021	AMAZON OFFICE H&W SUPPLIES		18.98			
	02-01-840-021	AMAZON OFFICE H&W SUPPLIES		190.34			
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MAY26.FAC34 52584	CARDMEMBER SERVICE FACILITIES DEPT PCARD MAY 2026	05/27/2026	06/15/2026	2,771.23	2,771.23	Open	Y 05/27/2026

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INVOICE REGISTER REPORT FOR OAK BROOK PARK DISTRICT
 EXP CHECK RUN DATES 06/15/2026 - 06/15/2026
 BOTH JOURNALIZED AND UNJOURNALIZED
 OPEN

Inv Num Inv Ref#	Vendor Description	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
	GL Distribution						
	01-15-690-003			HSI EMERGENCY CARE SOLUTIONS	22.78		
	02-01-840-021			AMAZON EMPLOYEE H&W SUPPLIES	123.78		
	01-15-790-007			AMAZON LOCKER ROOM SUPPLIES	113.35		
	01-15-790-007			AMAZON LOCKER ROOM SUPPLIES	207.35		
	01-15-730-001			AMAZON OFFICE SUPPLIES	5.98		
	02-25-705-001			WALMART AQUATIC PARTY SUPPLIES	51.40		
	02-25-705-001			AMAZON AQUATIC PARTY SUPPLIES	17.99		
	02-25-730-001			AMAZON OFFICE SUPPLIES	119.22		
	02-25-790-008			AMAZON SAFETY SUPPLIES	111.74		
	02-25-790-008			AMAZON SAFETY SUPPLIES	67.47		
	02-25-840-005			LIFEGUARD STORE UNIFORMS	976.00		
	02-25-840-005			LIFEGUARD STORE UNIFORMS	606.50		
	02-25-730-001			AMAZON OFFICE SUPPLIES	9.11		
	02-25-730-001			AMAZON OFFICE SUPPLIES	13.80		
	02-25-705-001			AMAZON AQUATIC PARTY SUPPLIES	51.79		
	02-25-705-001			WALMART AQUATIC PARTY SUPPLIES	28.19		
	02-01-840-021			AMAZON	5.99		
	02-25-730-001			AMAZON OFFICE SUPPLIES	19.81		
	02-25-705-001			AMAZON AQUATIC PARTY SUPPLIES	34.29		
	01-15-690-003			WALMART ALL STAFF SUPPLIES	72.23		
	02-25-705-001			AMAZON AQUATIC PARTY SUPPLIES	39.99		
	02-25-705-001			AMAZON AQUATIC PARTY SUPPLIES	36.98		
	02-25-705-001			AMAZON AQUATIC PARTY SUPPLIES	35.49		

MAY (APR) 26.ADM66

52585	CARDMEMBER SERVICE	05/27/2026	06/15/2026	89.63	89.63	Open	Y 04/30/2026
	ADMIN DEPT PCARD APRIL 2026						
	01-01-730-002			AMAZON - COFFEE	17.97		
	01-01-730-001			AMAZON - USB CABLE	35.07		
	01-01-730-001			AMAZON - SHIPPING LABELS	2.61		
	01-02-730-001			AMAZON - SHIPPING LABELS	2.61		
	01-15-730-001			AMAZON - SHIPPING LABELS	2.61		
	02-01-730-001			AMAZON - SHIPPING LABELS	2.61		
	02-21-730-001			AMAZON - SHIPPING LABELS	2.62		
	02-25-730-001			AMAZON - SHIPPING LABELS	2.62		
	02-60-765-001			AMAZON - SHIPPING LABELS	18.29		
	02-80-730-001			AMAZON - SHIPPING LABELS	2.62		

MAY26.ADM66

52586	CARDMEMBER SERVICE	05/27/2026	06/15/2026	942.74	942.74	Open	Y 05/27/2026
	ADMIN DEPT PCARD MAY 2026						
	02-21-730-001			AMAZON - LAMINATING SHEETS	6.47		
	02-26-765-002			AMAZON - LAMINATING SHEETS	6.49		
	02-31-765-001			AMAZON - LAMINATING SHEETS	6.47		
	02-32-765-005			AMAZON - LAMINATING SHEETS	6.49		
	02-80-950-000			AMAZON - LAMINATING SHEETS	6.47		
	01-01-730-001			AMAZON - P CLIPS, TAPE, SHARPIE, POSTIT	7.97		
	01-02-730-001			AMAZON - P CLIPS, TAPE, SHARPIE, POSTIT	7.97		
	01-15-730-001			AMAZON - P CLIPS, TAPE, SHARPIE, POSTIT	7.97		
	02-01-730-001			AMAZON - P CLIPS, TAPE, SHARPIE, POSTIT	7.97		

Inv Num Inv Ref#	Vendor Description	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
	GL Distribution						
	02-21-730-001	AMAZON - P CLIPS, TAPE, SHARPIE, POSTIT		7.97			
	02-25-730-001	AMAZON - P CLIPS, TAPE, SHARPIE, POSTIT		7.96			
	02-80-730-001	AMAZON - P CLIPS, TAPE, SHARPIE, POSTIT		7.97			
	01-01-730-002	AMAZON - COFFEE FILTERS		14.99			
	02-21-730-001	AMAZON - LAMINATING SHEETS		8.92			
	02-26-765-002	AMAZON - LAMINATING SHEETS		8.91			
	02-31-765-001	AMAZON - LAMINATING SHEETS		8.92			
	02-32-765-005	AMAZON - LAMINATING SHEETS		8.91			
	02-80-950-000	AMAZON - LAMINATING SHEETS		8.92			
	01-01-690-001	NRPA - KOSEY 2026 CONFERENCE REGISTRATIO		795.00			
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MAY26.MNT29 52587	CARDMEMBER SERVICE MAINTENANCE DEPT PCARD MAY 2026	05/27/2026	06/15/2026	743.26	743.26	Open	Y 05/27/2026
	01-15-750-000	(AMAZON) PLUMBING STOCK FRC (1)		97.92			
	09-01-800-000	(ANAZON) ADA CHANGING TABLE (2)		292.85			
	09-01-800-000	(AMAZON) ADA CHANGING TABLE (3)		292.85			
	02-25-790-004	(AMAZON) SAMPLE TUBES FAC TESTS (4)		17.80			
	01-15-750-000	(AMAZON) PAINT TRAY LINERS FRC (5)		14.85			
	02-25-790-001	(AMAZON) FAC POOL VAC BAG		26.99			
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MAY26.ADM15 52588	CARDMEMBER SERVICE ADMIN DEPT PCARD MAY 2026	05/27/2026	06/15/2026	914.73	914.73	Open	Y 05/27/2026
	01-01-690-001	CHARRO-IAPD LEGISLATIVE CONFERENCE LUNCH		20.99			
	01-05-690-001	CHARRO-IAPD LEGISLATIVE CONFERENCE LUNCH		21.00			
	01-05-790-025	CIRCLE K-FUEL FOR EXPLORER		77.74			
	01-15-690-001	NRPA-NATIONAL CONF. REGISTRATION		795.00			
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MAY (APR) 26.FIN08 52589	CARDMEMBER SERVICE FINANCE DEPT PCARD APRIL 2026	05/27/2026	06/15/2026	18.98	18.98	Open	Y 04/30/2026
	01-02-710-001	BUDGET ORDINANCE MAILING-DUPAGE COUNTY		12.90			
	01-02-710-001	QUARTERLY PAYROLL TAX MAILING-IRS		6.08			
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MAY26.FIT71 52590	CARDMEMBER SERVICE FITNESS DEPT PCARD MAY 2026	05/27/2026	06/15/2026	2,023.09	2,023.09	Open	Y 05/27/2026
	02-60-792-001	AMAZON PINK 5K FOOD		66.50			
	02-60-792-001	AMAZON PINK 5K FOOD		1,360.65			
	02-60-792-001	COSTCO PINK 5K FOOD		143.28			
	02-60-792-001	COSTCO PINK 5K FOOD		452.66			
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MAY (APR) 26.IT50 52591	CARDMEMBER SERVICE I.T. DEPT PCARD APRIL 2026	05/27/2026	06/15/2026	1,197.58	1,197.58	Open	Y 04/30/2026
	01-14-720-000	FIRST COMMUNICATIONS-ELEVATOR AND FAX LI		174.26			
	01-14-720-002	FIRST COMMUNICATIONS-ELEVATOR AND FAX LI		116.17			
	01-14-721-000	T-MOBILE- DISTRICT PHONES		498.94			
	01-14-721-001	T-MOBILE- DISTRICT PHONES		272.14			
	01-14-721-002	T-MOBILE- DISTRICT PHONES		136.07			

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
MAY26.IT50 52592	CARDMEMBER SERVICE IT DEPT PCARD MAY 2026 01-14-723-002 01-14-720-000 01-14-720-001 01-14-720-002 01-14-722-000 02-80-940-000 01-14-800-005 01-14-800-006 01-14-675-000 01-14-675-001 01-14-675-002	05/27/2026	06/15/2026	3,525.54	3,525.54	Open	Y 05/27/2026
	COMCAST - TENNIS CENTER CABLE TV SERVIC			71.18			
	COMCAST - PRI PHONE LINES -ALL BUILDINGS			195.40			
	COMCAST - PRI PHONE LINES -ALL BUILDINGS			195.40			
	COMCAST - PRI PHONE LINES -ALL BUILDINGS			130.27			
	COMCAST - DEAN NATURE INTERNET FOR SECUI			85.13			
	AMAZON - PINK 5K POM POMS			41.99			
	COSTCO - 2 REPALCEMENT FRC KIOSK TABLETS			650.33			
	COSTCO - 2 REPALCEMENT FRC KIOSK TABLETS			650.33			
	BAMBOO HR - MONTHLY SOFTWARE INVOICE			301.10			
	BAMBOO HR - MONTHLY SOFTWARE INVOICE			1,053.86			
	BAMBOO HR - MONTHLY SOFTWARE INVOICE			150.55			
MAY26.MNT75 52593	CARDMEMBER SERVICE MAINT DEPT PCARD MAY 2026 02-25-690-010	05/27/2026	06/15/2026	39.33	39.33	Open	Y 05/27/2026
	FAREWELL LUNCH			39.33			
MAY26.REC44 52594	CARDMEMBER SERVICE REC DEPT PCARD APRIL 2026 01-04-765-040 01-04-765-040 02-21-765-000 01-04-765-040	05/27/2026	06/15/2026	441.93	441.93	Open	Y 05/27/2026
	1.COFFEE FOR CONCESSIONS MAY 2026 AMZN			32.00			
	FOOD ITEMS AND MISC CONCESSIONS AMZN			83.45			
	3. WAGON FOR EVENTS & VENDORS AMZN			246.98			
	4. COFFEE FOR CONCESSIONS AMZN			79.50			
MAY (APR) 26.MKT63 52595*	CARDMEMBER SERVICE MARKETING DEPT PCARD APRIL 2026 02-80-740-030 02-80-740-020	05/27/2026	06/15/2026	815.00	815.00	Open	Y 04/30/2026
	GIBSONS RECEPTION STAFF TIP			825.00			
	CREDIT FOR FRAUD CHARGE PRIOR MONTH			(10.00)			
MAY26.MKT63 52596	CARDMEMBER SERVICE MARKETING DEPT PCARD MAY 2026 02-80-940-000 02-80-740-020 01-01-074-000 02-80-980-000 01-15-800-000 01-01-074-000	05/27/2026	06/15/2026	827.51	827.51	Open	Y 05/27/2026
	WALMART-VENDOR THANK YOU SUPPLIES			26.07			
	BLACKBERRY MARKET-CLIENT MEETING			65.96			
	LITTLE GREEN LIGHT-FOUNDATION SOFTWARE			486.00			
	HINSDALE CHAMBER OF COMMERCE DUES & SETU			210.00			
	AMAZON-ATTRIUM SUPPLIES			19.98			
	QUICKBOOKS FOUNDATION SOFTWARE			19.50			
MAY (APR) 26.PRK09 52597	CARDMEMBER SERVICE PARKS DEPT PCARD APRIL 2026 01-06-750-022 01-07-750-022 01-08-750-022	05/27/2026	06/15/2026	7,430.08	7,430.08	Open	Y 04/30/2026
	SIGNS DIRECT-STREET WARNING SIGN POST-11			959.20			
	SIGNS DIRECT-STREET WARNING SIGN POSTS-5			436.00			
	SIGNS DIRECT-STREET WARNING SIGN POST-1			87.20			

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INVOICE REGISTER REPORT FOR OAK BROOK PARK DISTRICT
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 BOTH JOURNALIZED AND UNJOURNALIZED
 OPEN

Inv Num Inv Ref#	Vendor Description	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
	GL Distribution						
	01-05-750-009	SIGNS DIRECT-STREET WARNING SIGN POST-3		261.68			
	01-05-790-005	AMZN-WATER GASKET SET		23.99			
	01-05-790-016	AMZN-RAIN PONCHOS		54.99			
	01-05-740-020	AMZN-PPE EARMUFFS		54.98			
	01-05-790-022	IZEL PLANTS-NATIVE PERENNIAL PLANTS		960.50			
	07-71-750-007	LIGHTMART-REPLACEMENT PARKING LOT LIGHTS		700.00			
	01-05-750-020	LIGHTMART-ADDITIONAL PARKING LOT LIGHTS		3,212.00			
	01-06-750-022	AMZN-YIELD TRAIL SIGNS - 4		139.96			
	01-07-750-022	AMZN-YIELD TRAIL SIGNS - 5		174.95			
	01-08-750-022	AMZN-YIELD TRAIL SIGN -1		34.99			
	01-04-790-021	AMZN- ATHLETIC FIELD 1IN SPRINKLER		329.64			
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MAY26.PRK09 52598	CARDMEMBER SERVICE PARKS DEPT PCARD MAY 2026	05/27/2026	06/15/2026	275.82	275.82	Open	Y 05/27/2026
	01-05-790-005	AMZN-GARAGE DOOR OPENERS MAINT GARAGE		197.85			
	01-05-790-021	AMZN-SOCCER GOAL CLIPS		34.98			
	01-09-750-033	AMZN-LIFEBUOY FOR DEAN KAYAK LAUNCH		42.99			
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MAY26.ADM21 52600	CARDMEMBER SERVICE ADMIN DEPT PCARD APRIL 2026	05/27/2026	06/15/2026	531.20	531.20	Open	Y 05/27/2026
	01-01-690-001	CROWNE PLAZA - LEG CONF HOTEL JOHNSON		143.64			
	01-01-690-001	CROWNE PLAZA - CONF HOTEL PART REIMBURSE		287.28			
	01-01-740-002	FAT ROSIES - EXECUTIVE MEETING		67.89			
	02-21-730-001	AMAZON - LAMINATING SHEETS		6.48			
	02-26-765-002	AMAZON - LAMINATING SHEETS		6.48			
	02-31-765-001	AMAZON - LAMINATING SHEETS		6.48			
	02-32-765-005	AMAZON - LAMINATING SHEETS		6.48			
	02-80-950-000	AMAZON - LAMINATING SHEETS		6.47			
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MAY (APR) 26.MKT95 52601*	CARDMEMBER SERVICE MARKETING DEPT PCARD APRIL 2026	05/27/2026	06/15/2026	853.79	853.79	Open	Y 04/30/2026
	02-80-800-000	AMAZON RETURN - TENTS		(227.40)			
	02-80-960-000	VISPRONET - FEATHER FLAG/BILLBOARD SIGN		659.97			
	02-80-730-001	AMAZON - 11X17 PAPER		39.98			
	02-80-960-000	VISPRONET - ADDITIONAL REQ PAYMENT		9.22			
	02-80-960-000	SIGNS.COM - 24X26 CORO NO PARKING SIGN		118.22			
	02-80-940-000	AMAZON - FEATHER FLAG CROSS BASES (5)		253.80			
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MAY26.REC92 52604	CARDMEMBER SERVICE REC DEPT PCARD MAY 2026	05/27/2026	06/15/2026	725.34	725.34	Open	Y 05/27/2026
	02-50-760-000	AMAZON- MAH JONGG SETS FOR OPEN PLAY		126.90			
	02-50-760-000	AMAZON - MAH JONGG MATS FOR OPEN PLAY		76.83			
	02-50-760-000	COSTCO PIONEER SUPPLIES MAH JONGG &MOVIE		24.47			
	02-50-760-000	PORTILLOS FOR PIONEER LECTURE/LUNCH		449.18			
	02-50-760-000	JEWEL DRINKS FOR PIONEER LECTURE/LUNCH		47.96			

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MAY (APR) 26. IT29							
52605	CARDMEMBER SERVICE IT DEPT PCARD APRIL 2026	05/27/2026	06/15/2026	287.81	287.81	Open	Y 04/30/2026
	01-02-740-020 AMAZON - WALKIE TALKIE HEADSET PINK5K			24.68			
	01-14-800-006 AMAZON - MICROPHONE - AUTUNM OAKS ROOM			98.99			
	01-02-740-020 AMAZON - WALKIE TALKIE FOR PINK 5K			164.14			
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MAY26.FAC35							
52606	CARDMEMBER SERVICE FACILITIES DEPT PCARD MAY 2026	05/27/2026	06/15/2026	807.42	807.42	Open	Y 05/27/2026
	01-14-675-001 DYNAMIC MEDIA- MUSIC			34.95			
	01-15-840-010 MEMBERSHIP CARD PRINTER SUPPLIES			116.49			
	02-25-690-010 THE OUTPOST STAFF RECOGNITION			96.00			
	01-15-690-003 COSTCO ALL STAFF SUPPLIES			137.00			
	02-25-690-010 MAGGIANOS STAFF RECOGNITION			250.00			
	02-25-690-010 THE OUTPOST STAFF RECOGNITION			153.00			
	01-15-730-001 AMAZON OFFICE SUPPLIES			19.98			
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MAY (APR) 26. AQU43							
52607	CARDMEMBER SERVICE AQUATICS DEPT PCARD APRIL 2026	05/27/2026	06/15/2026	84.16	84.16	Open	Y 04/30/2026
	02-25-690-005 JEWEL OSCO- STAFF RECRUITMENT			35.98			
	02-25-705-001 AMAZON - PARTY SUPPLIES			48.18			
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MAY26.AQU55							
52609	CARDMEMBER SERVICE AQUATICS DEPT PCARD MAY 2026	05/27/2026	06/15/2026	1,935.02	1,935.02	Open	Y 05/27/2026
	02-25-690-010 ZAZZOS PIZZA- STAFF APPRECIATON			55.36			
	02-25-750-030 HYDRO APPS FACILITY MEMBERSHIP			994.50			
	02-25-790-008 AMAZON- SAFETY SUPPLIES, FIRST AID			285.98			
	02-25-730-001 AMAZON- OFFICE SUPPLIES			56.98			
	02-25-730-001 AMAZON- OFFICE SUPPLIES			168.36			
	02-25-690-010 CAVA- STAFF APPRECIATION			72.23			
	02-25-704-000 AMAZON- OPEN SWIM SUPPLIES			43.62			
	02-25-790-008 AMAZON- LIFEGUARD SAFETY SUNSCREEN			99.99			
	02-25-690-010 OUTPOST- STAFF APPRECIATION			158.00			
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20262945							
52465	CARRICO AQUATIC RESOURCES INC AQUATIC CHEMICALS	05/12/2026	06/15/2026	79.05	79.05	Open	Y 05/12/2026
	02-25-790-001 EQUIPMENT-TOOLS-SUPPLIES			79.05			
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31039							
52473	CASE LOTS INC. GYM WIPES	05/19/2026	06/15/2026	375.20	375.20	Open	Y 05/19/2026
	01-15-790-001 JANITORIAL SUPPLY / CLEANING PRODUCTS			375.20			
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2026-SO-19115							
52456	CHICAGO FILTER SUPPLY HVAC FILTERS	05/08/2026	06/15/2026	356.28	356.28	Open	Y 05/08/2026
	07-71-750-009 HVAC			356.28			

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
101 52526	DALE E. KLEBER PIONEER BEE LECTURE 02-50-760-000 PIONEER CLASSES	05/20/2026	06/15/2026	150.00 150.00	150.00	Open	Y 05/20/2026
CONCERT 7.9.26 52602	DAVID J. SHAMROCK SUMMER CONCERT SERIES 07/09/2026 02-60-751-016 ROGER THAT 07/09/2026	05/07/2026	06/15/2026	1,400.00 1,400.00	1,400.00	Open	Y 07/09/2026
261340059440879 52438	DIRECT ENERGY BUSINESS, LLC APRIL ELECTRICITY AT 01-04-770-000 ELECTRICITY	05/14/2026	06/15/2026	400.74 400.74	400.74	Open	Y 04/30/2026
261350059449327 52439	DIRECT ENERGY BUSINESS, LLC ARIL 2026 ELECTRICITY 01-20-770-000 ELECTRICITY CPW 01-15-770-001 ELECTRICITY FRC 02-01-770-001 ELECTRICITY FRC 02-21-770-000 ELECTRICITY FRC 02-25-770-000 ELECTRICITY AQUATICS 07-71-770-001 ELECTRICITY TENNIS CENTER 01-05-770-000 ELECTRICITY PARKS 01-05-770-005 ELECTRICITY GARAGE 01-07-770-000 ELECTRICITY FOREST GLEN	05/15/2026	06/15/2026	10,928.52 513.47 1,742.06 1,393.65 1,393.65 2,438.88 2,628.94 376.56 206.79 234.52	10,928.52	Open	Y 04/30/2026
202305 52447	DOYLE SIGNS INC DIRECTIONAL GROUND SIGNS TO MATCH 12-95-940-065 CAPITAL IMPROVEMENTS & EQUIPMENT	04/30/2026	06/15/2026	350.00 350.00	350.00	Open	Y 04/30/2026
202304 52479	DOYLE SIGNS INC SIGN CAPTIAL - NORTH AREA OF 12-95-940-065 DIRECTIONAL GROUND SIGNS TO MATCH EXISTI	04/30/2026	06/15/2026	7,770.00 7,770.00	7,770.00	Open	Y 04/30/2026
231169086 52458	DUPAGE TENTS & EVENTS LLC TABLE AND CHAIR RENTAL 02-60-751-001 CONTRACT SVCS PINK 5K	05/11/2026	06/15/2026	893.75 893.75	893.75	Open	Y 05/11/2026
K48155/4 52459	EBEL'S ACE HARDWARE #8313 PORTABLE WALL MOUNTED HOSE REEL AND 02-25-750-065 SPLASH PARK	05/11/2026	06/15/2026	28.95 28.95	28.95	Open	Y 05/11/2026
448196/4 52468	EBEL'S ACE HARDWARE #8313 REPLACEMENT FITTING FOR SPLASH 02-25-750-065 SPLASH PARK	05/14/2026	06/15/2026	11.86 11.86	11.86	Open	Y 05/26/2026

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448200/4 52472	EBEL'S ACE HARDWARE #8313 FLOAT SWITCH FOR SPLASH SURGE PIT 02-25-750-065 SPLASH PARK	05/19/2026	06/15/2026	49.49 49.49	49.49	Open	Y 05/19/2026
00216133-00 52437	EDWARD OCCUPATIONAL HEALTH PRE-EMPLOYMENT TESTING 01-02-650-010 PRE-EMPLOYMENT PHYSICAL	05/08/2026	06/15/2026	69.00 69.00	69.00	Open	Y 05/08/2026
MAY 2026 52433	ENERGIZE SPORTZ ENERGIZE SPORTS PROGRAMS MAY 2026 02-30-640-432 SHOOTING STARS - MAY 2026	05/12/2026	06/15/2026	435.40 435.40	435.40	Open	Y 05/12/2026
30389466 52512	EWING IRRIGATION PRODUCTS INC REPLACEMENT SPRINKLER HEADS 01-04-750-014 IRRIGATION SERVICES 01-05-750-014 IRRIGATION SERVICES	05/21/2026	06/15/2026	680.14 340.07 340.07	680.14	Open	Y 05/21/2026
608803 52410	FACTORY CLEANING EQUIPMENT LLC SWEEPER SERVICE CALL 07-71-750-014 SWEEPER SERVICE CALL	04/10/2026	06/15/2026	2,166.12 2,166.12	2,166.12	Open	Y 04/10/2026
1765220 52519	FERGUSON FACILITIES #3400 PAPER SUPPLIES 01-15-790-000 JANITORIAL SUPPLY / PAPER PRODUCTS	05/08/2026	06/15/2026	927.50 927.50	927.50	Open	Y 05/08/2026
1774690 52610	FERGUSON FACILITIES #3400 FACILITY CLEANING AND PAPER SUPPLIES 01-15-790-001 FRC CLEANING PRODUCTS 01-15-790-007 FRC LOCKER ROOM SUPPLIES	05/14/2026	06/15/2026	431.72 207.00 224.72	431.72	Open	Y 05/14/2026
26140 52521	FITNESS EQUIPMENT SERVICES ANNUAL MAINTENANCE- QUARTERLY 02-21-670-000 ANNUAL MAINTENANCE	05/19/2026	06/15/2026	1,000.00 1,000.00	1,000.00	Open	Y 05/19/2026
019013-000-MAY26 52504	FLAGG CREEK WATER RECLAMATION CPW SEWER EXPENSE MAY 2026 01-20-770-002 SEWER	05/27/2026	06/15/2026	29.17 29.17	29.17	Open	Y 05/27/2026
116742-000 MNT MAY26 52505	FLAGG CREEK WATER RECLAMATION SEWER AT MAINT GARAGE MAY 2026 01-05-770-008 SEWER MAINTENANCE GARAGE	05/27/2026	06/15/2026	32.65 32.65	32.65	Open	Y 05/27/2026

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131766-001 52506	CPWMAY-26 FLAGG CREEK WATER RECLAMATION SEWER AT CPW MAY 2026 01-04-770-003 SEWER- CPN	05/27/2026	06/15/2026	100.05 100.05	100.05	Open	Y 05/27/2026
019014-000 52507	TCMAY-26 FLAGG CREEK WATER RECLAMATION SEWER AT TENNIS MAY 2026 07-71-770-003 SEWER	05/27/2026	06/15/2026	88.31 88.31	88.31	Open	Y 05/27/2026
019016-000 52508	FRCMAY-26 FLAGG CREEK WATER RECLAMATION FRC SEWER EXPENSE MAY 2026 01-15-770-003 FRC SEWER EXPENSE FY26-27 02-01-770-003 FRC SEWER EXPENSE FY26-27 02-21-770-015 FRC SEWER EXPENSE FY26-27 02-25-770-015 FRC SEWER EXPENSE FY26-27	05/27/2026	06/15/2026	1,343.77 335.94 268.75 268.75 470.33	1,343.77	Open	Y 05/27/2026
2026-4 52478	FLUID RUNNING LLC FLUID RUNNING WINTER/SPRING SEASON 02-26-640-001 WINTER/SPRING REGISTRATION AND DROP-INS	05/22/2026	06/15/2026	9,093.00 9,093.00	9,093.00	Open	Y 04/30/2026
RI107268819 52503	FP MAILING SOLUTIONS QUARTERLY POSTAGE METER 01-02-710-000 POSTAGE (METER REFILLS) 01-15-710-000 POSTAGE (METER REFILLS) 02-01-710-000 POSTAGE (METER REFILLS) 02-21-710-000 POSTAGE (METER REFILLS) 02-25-710-000 POSTAGE (METER REFILLS) 07-01-710-000 POSTAGE (METER REFILLS)	05/18/2026	06/15/2026	92.85 9.29 9.28 23.21 23.21 23.22 4.64	92.85	Open	Y 05/18/2026
IN15628937 52488	GORDON FLESCH COMPANY MONTHLY COPIER CHARGES 01-14-678-000 LEASES-CORPORATE 01-14-678-001 LEASES-RECREATION 01-14-678-002 LEASES-TENNIS	05/20/2026	06/15/2026	766.67 268.33 421.67 76.67	766.67	Open	Y 05/20/2026
I561577 52493	GORDON FLESCH COMPANY MONTHLY COPIER USAGE 01-14-678-000 LEASES-CORPORATE 01-14-678-001 LEASES-RECREATION 01-14-678-002 LEASES-TENNIS	05/14/2026	06/15/2026	439.35 153.77 241.64 43.94	439.35	Open	Y 05/14/2026
9904688976 52487	GRAINGER COAT HANGER REPLACE 01-15-800-000 BLDG EQUIP / REPAIR & REPLACE	05/05/2026	06/15/2026	290.02 290.02	290.02	Open	Y 05/05/2026

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
45792 52501	GREGG COMMUNICATIONS SYSTEMS MAINTENANCE RENEWAL PHONE SYSTEM 01-14-720-000 01-14-720-001 01-14-720-002	04/27/2026	06/15/2026	4,356.00 1,611.72 1,655.28 1,089.00	4,356.00	Open	Y 05/01/2026
126280 52454	HAGG PRESS HAGG PRESS - BANNER PRINTING 2 02-80-960-000	05/08/2026	06/15/2026	564.00 564.00	564.00	Open	Y 05/08/2026
126400 52491	HAGG PRESS HAGG PRESS - PRESCHOOL BANNER FOR 02-80-960-000	05/26/2026	06/15/2026	190.00 190.00	190.00	Open	Y 05/26/2026
126472 52502	HAGG PRESS HAGG PRESS - ADVERISING BANNER 02-80-960-000	05/28/2026	06/15/2026	240.00 240.00	240.00	Open	Y 05/28/2026
1877713 52451	HINSDALE NURSERIES INC ANNUALS FOR PLANTERS 01-05-790-022	05/06/2026	06/15/2026	269.35 269.35	269.35	Open	Y 05/06/2026
1882234 52470	HINSDALE NURSERIES INC ANNUAL PLANTS - CENTRAL PARK 01-05-790-022	05/18/2026	06/15/2026	115.78 115.78	115.78	Open	Y 05/18/2026
1886579 52556	HINSDALE NURSERIES INC FAMILY RECREATION CENTER FRONT 01-05-790-022	06/01/2026	06/15/2026	281.25 281.25	281.25	Open	Y 06/01/2026
8013836 52442	HOME DEPOT CREDIT SERVICES ELECTRICAL REPAIR SUPPLIES FOR FLAG 01-15-750-005	04/28/2026	06/15/2026	24.75 24.75	24.75	Open	Y 04/28/2026
8130506 52443	HOME DEPOT CREDIT SERVICES WATER FOUNTAIN REPAIR HARDWARE 01-04-800-006	04/28/2026	06/15/2026	6.88 6.88	6.88	Open	Y 04/28/2026
7614350 52444	HOME DEPOT CREDIT SERVICES CUSTODIAL SUPPLIES 07-71-800-002	04/29/2026	06/15/2026	446.80 446.80	446.80	Open	Y 04/29/2026

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
14648 52530	HOME DEPOT CREDIT SERVICES ASPHALT REPAIR 01-05-750-009	05/06/2026	06/15/2026	122.59	122.59	Open	Y 05/06/2026
	ROADS / BIKE PATH SERVICE			122.59			
2522494 52531	HOME DEPOT CREDIT SERVICES CARPET INSTALLATION SUPPLIES 07-71-800-002	05/14/2026	06/15/2026	41.91	41.91	Open	Y 05/14/2026
	CUSTODIAL TOOLS & EQUIPMENT			41.91			
3010383 52532	HOME DEPOT CREDIT SERVICES CPW UTILITY SINK REPLACEMENT 01-20-750-004	05/13/2026	06/15/2026	7.44	7.44	Open	Y 05/13/2026
	PLUMBING SERVICE AND REPAIRS			7.44			
3511010 52533	HOME DEPOT CREDIT SERVICES CUSTODIAL SUPPLIES 07-71-800-002	05/13/2026	06/15/2026	30.44	30.44	Open	Y 05/13/2026
	CUSTODIAL TOOLS & EQUIPMENT			30.44			
5011404 52534	HOME DEPOT CREDIT SERVICES SHOP SUPPLIES-SCREWS 01-05-790-005	05/21/2026	06/15/2026	18.75	18.75	Open	Y 05/21/2026
	MAINTENANCE GARAGE SUPPLIES			18.75			
6130947 52535	HOME DEPOT CREDIT SERVICES ATHLETIC FIELD SPRINKLER ADAPTERS 01-04-750-014	05/20/2026	06/15/2026	24.21	24.21	Open	Y 05/20/2026
	IRRIGATION SERVICES			24.21			
6514045 52536	HOME DEPOT CREDIT SERVICES CUSTODIAL SUPPLIES 07-71-800-002	04/30/2026	06/15/2026	179.80	179.80	Open	Y 04/30/2026
	CUSTODIAL TOOLS & EQUIPMENT			179.80			
8010883 52537	HOME DEPOT CREDIT SERVICES TRAILER HITCH AND BALL 01-05-790-018	05/18/2026	06/15/2026	97.44	97.44	Open	Y 05/18/2026
	TOOLS & EQUIPMENT			97.44			
8014893 52538	HOME DEPOT CREDIT SERVICES ASPHALT REPAIR 01-05-750-009	05/08/2026	06/15/2026	59.91	59.91	Open	Y 05/08/2026
	ROADS / BIKE PATH SERVICE			59.91			
9012207 52539	HOME DEPOT CREDIT SERVICES BALL FIELD SHED DOOR REPAIR AND WEED 01-05-800-006	05/27/2026	06/15/2026	34.56	34.56	Open	Y 05/27/2026
	PARK EQUIP / REPLACE & REPAIR			14.60			
	TOOLS & EQUIPMENT			19.96			

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INVOICE REGISTER REPORT FOR OAK BROOK PARK DISTRICT
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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
9130687 52540	HOME DEPOT CREDIT SERVICES ASPHALT REPAIR, POTTING MIX AND 01-05-750-009 ROADS / BIKE PATH SERVICE 01-05-790-022 LANDSCAPING / ORNAMENTAL SUPP.	05/07/2026	06/15/2026	183.64 59.91 123.73	183.64	Open	Y 05/07/2026
9080187 52541	HOME DEPOT CREDIT SERVICES MAINTENANCE SUPPLIES FOR FILLING 01-15-800-000 BLDG EQUIP / REPAIR & REPLACE	05/07/2026	06/15/2026	59.15 59.15	59.15	Open	Y 05/07/2026
194899 52542	HOME DEPOT CREDIT SERVICES VEGETABLE GARDEN PLANTS 01-05-790-022 LANDSCAPING / ORNAMENTAL SUPP.	05/26/2026	06/15/2026	64.81 64.81	64.81	Open	Y 05/26/2026
6620026 52543	HOME DEPOT CREDIT SERVICES WORK LIGHT, SILICONE AND PAINTING 02-25-790-001 EQUIPMENT-TOOLS-SUPPLIES	05/30/2026	06/15/2026	67.52 67.52	67.52	Open	Y 05/30/2026
2052381 52544	HOME DEPOT CREDIT SERVICES MAINT. PAINTING SUPPLIES-SANDING 02-25-790-001 EQUIPMENT-TOOLS-SUPPLIES	05/04/2026	06/15/2026	205.77 205.77	205.77	Open	Y 05/04/2026
5623111 52545	HOME DEPOT CREDIT SERVICES CUSTODIAL TOOLS AND EQUIPMENT 07-71-800-002 CUSTODIAL TOOLS & EQUIPMENT	05/21/2026	06/15/2026	64.96 64.96	64.96	Open	Y 05/21/2026
5514185 52546	HOME DEPOT CREDIT SERVICES PAINTING SUPPLIES FOR AQUATIC OFFICE 02-25-750-030 AQUATIC FACILITY MAINTENANCE	05/01/2026	06/15/2026	46.32 46.32	46.32	Open	Y 05/01/2026
3521530 52547	HOME DEPOT CREDIT SERVICES CPW UTILITY SINK REPLACEMENT 01-20-750-004 PLUMBING SERVICE AND REPAIRS	05/13/2026	06/15/2026	38.81 38.81	38.81	Open	Y 05/13/2026
82436 52423	HOME PLUMBING & HEATING TOILET REPAIR PARTS 01-15-750-004 PLUMBING SERVICE	01/28/2026	06/15/2026	39.60 39.60	39.60	Open	Y 01/28/2026
82427 52424	HOME PLUMBING & HEATING WOMENS LOCKER ROOM TOILET REPAIR 01-15-800-000 BLDG EQUIP / REPAIR & REPLACE	01/20/2026	06/15/2026	62.50 62.50	62.50	Open	Y 01/20/2026

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20260401115 52425	ILLINOIS STATE POLICE APRIL BACKGROUND CHECKS 02-01-840-002	04/30/2026	06/15/2026	140.00 140.00	140.00	Open	Y 04/30/2026
1304023 52464	IPRINT TECHNOLOGIES HP TONER PRINTER SUPPLIES 01-14-677-000 01-14-677-001	05/08/2026	06/15/2026	702.00 351.00 351.00	702.00	Open	Y 05/08/2026
26-1045 52514	J. STEVENS BUSINESS SOLUTIONS, INC MEMORIAL TREE PLAQUE - HURNEY 01-01-074-000	04/29/2026	06/15/2026	175.00 175.00	175.00	Open	Y 04/30/2026
11102779 52475	LAKESHORE ATHLETIC SERVICES RACE SERVICES & EQUIPMENT EVENT 02-60-752-001 02-60-752-001 02-60-752-001	05/08/2026	06/15/2026	5,175.00 3,565.00 1,315.00 295.00	5,175.00	Open	Y 05/08/2026
2026 IAPD REIMB. 52560	LAURE KOSEY LEGISLATIVE CONFERENCE EXPENSE 01-01-690-001	05/29/2026	06/15/2026	149.99 149.99	149.99	Open	Y 05/29/2026
116316 52490	LAUTERBACH & AMEN LLP AUDIT SERVICES FOR FISCAL YEAR 01-01-074-000	03/16/2026	06/15/2026	240.00 240.00	240.00	Open	Y 04/30/2026
MAY 2026 52555	LENNO LASN MAY STRINGING SERVICES 07-75-870-007	05/31/2026	06/15/2026	725.00 725.00	725.00	Open	Y 05/31/2026
00389-02-056849 52484	LESLIE' S POOLMART, INC. CHEMICALS 02-25-790-004	05/16/2026	06/15/2026	251.33 251.33	251.33	Open	Y 05/16/2026
10012 52434	MAHJONG MISCHIEF, LLC BEGINNER MAHJONG INSTRUCTION 02-50-760-000	05/10/2026	06/15/2026	800.00 800.00	800.00	Open	Y 04/30/2026
10013 52435	MAHJONG MISCHIEF, LLC MAY BEGINNER MAHJONG CLASSES 02-50-760-000	05/10/2026	06/15/2026	600.00 600.00	600.00	Open	Y 05/10/2026

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MAY 2026							
52515	MEG ELIZABETH OLANDER MEG OLANDER INVOICE MAY 2026 02-21-640-002	05/31/2026	06/15/2026	320.31	320.31	Open	Y 05/31/2026
	FITNESS CONTRACTUAL INSTRUCTION			320.31			
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80828							
52311	MENARDS RETURN-CASTER WHEELS 01-14-800-006	04/15/2026	05/18/2026	(17.92)	(17.92)	Open	Y 04/15/2026
	COMPUTER REPLACE & REPAIR-RECREATION			(17.92)			
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82115							
52426	MENARDS DUCT TAPE 02-25-790-001	05/07/2026	06/15/2026	7.00	7.00	Open	Y 05/07/2026
	EQUIPMENT-TOOLS-SUPPLIES			7.00			
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75038							
52513	MENARDS CPW DRAWER PULLS (REBATE) AND 01-05-790-005	05/21/2026	06/15/2026	50.45	50.45	Open	Y 05/21/2026
	MAINTENANCE GARAGE SUPPLIES			50.45			
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9715568							
52449	NEUCO INC FIT CENTRAL FAN COIL TRANSFORMER 01-15-800-000	05/05/2026	06/15/2026	98.15	98.15	Open	Y 05/05/2026
	BLDG EQUIP / REPAIR & REPLACE			98.15			
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9742561							
52471	NEUCO INC REPLACEMENT MOTOR FOR HEATER FOR 02-25-750-021	05/18/2026	06/15/2026	569.45	569.45	Open	Y 05/18/2026
	POOL PUMP ROOM- REPAIR/REPLACE			569.45			
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FRC APR-26							
52429	NICOR GAS APRIL-2026 FRC GAS DELIVERY CHARGES 01-05-770-006	05/04/2026	06/15/2026	867.29	867.29	Open	Y 04/30/2026
	2025-2026 FRC GAS DELIVERY CHARGES			43.36			
	01-15-770-000			208.15			
	02-01-770-000			164.79			
	02-21-770-005			164.79			
	02-25-770-005			286.20			
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TC APR-26							
52440	NICOR GAS APRIL 2026 GAS DELIVERY CHARGES AT 07-71-770-000	05/04/2026	06/15/2026	330.14	330.14	Open	Y 04/30/2026
	GAS DELIVERY AT TC FY 25/26			330.14			
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C24637							
52460	NOBLETEC LLC REPLACEMENT UPS BATTERY FOR SERVERS 01-14-800-005	05/11/2026	06/15/2026	590.95	590.95	Open	Y 05/11/2026
	COMPUTER REPLACE & REPAIR-CORPORATE			196.99			
	01-14-800-005			196.98			
	COMPUTER REPLACE & REPAIR-CORPORATE			196.98			

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HS65417776 52427	NRG BUSINESS MARKETING LLC APRIL -2026 GAS COMMODITY CHARGES TC 07-71-770-000	05/05/2026	06/15/2026	192.83	192.83	Open	Y 04/30/2026
	GAS COMMODITY CHARGES TC			192.83			
HS65417777 52428	NRG BUSINESS MARKETING LLC APRI-2026 FRC GAS COMMODITY CHARGES 01-05-770-006	05/05/2026	06/15/2026	1,780.20	1,780.20	Open	Y 04/30/2026
	2025-2026 FRC GAS COMMODITY CHARGES			89.01			
	01-15-770-000			427.25			
	02-01-770-000			338.24			
	02-21-770-005			338.24			
	02-25-770-005			587.46			
47448 52500	OAK BROOK MECHANICAL SERVICES INC HVAC REPAIRS AT TENNIS CENTER 07-71-750-009	05/20/2026	06/15/2026	378.00	378.00	Open	Y 05/20/2026
	HVAC			378.00			
47324 52510	OAK BROOK MECHANICAL SERVICES INC AC UNITS COURTS1-4 REPAIRS 07-71-750-009	05/07/2026	06/15/2026	5,740.96	5,740.96	Open	Y 05/07/2026
	AC UNITS COURTS 1-4 REPAIRS			5,740.96			
PCREC04/2026 52561	PETTY CASH-RECREATION DEPT. PETTY CASH- RECREATION DEPT 02-31-765-001	04/30/2026	06/15/2026	261.40	261.40	Open	Y 04/30/2026
	EC PRESCHOOL SUPPLIES			261.40			
3836 52495	PFEIFFER'S PEST CONTROL PEST CONTROL TENNIS CENTER MAY 2026 07-71-750-003	05/11/2026	06/15/2026	150.00	150.00	Open	Y 05/11/2026
	PEST CONTROL			150.00			
3835 52550	PFEIFFER'S PEST CONTROL MONTHLY PREVENTATIVE MAINTENANCE 01-15-750-007	05/12/2026	06/15/2026	650.00	650.00	Open	Y 05/12/2026
	FRC PREVENTATIVE MAINTENANCE			250.00			
	01-20-750-000			150.00			
	01-04-750-000			150.00			
	01-05-750-010			100.00			
118095 52599	PREFERRED WINDOW AND DOOR INC SERVICE CALL FOR AQUATIC BI-FOLD 01-15-800-000	05/08/2026	06/15/2026	1,166.00	1,166.00	Open	Y 05/08/2026
	SERVICE CALL FOR TWO DOORS			1,166.00			
INV-1786 52448	PRODUCTIVE PARKS PRODUCTIVE PARKS ANNUAL SOFTWARE FEE 01-14-675-000	05/01/2026	06/15/2026	3,175.20	3,175.20	Open	Y 05/01/2026
	PRODUCTIVE PARKS WORK ORDER ANNUAL MAINT			1,270.08			
	01-14-675-001			1,428.84			

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	01-14-675-002	PRODUCTIVE PARKS WORK ORDER ANNUAL MAINT		476.28			
SI005024 52430	PRO-SAFETY, INC SAFETY CONES AND REFLECTIVE CONE 01-05-750-009 01-04-750-022	04/28/2026	06/15/2026	1,393.25	1,393.25	Open	Y 04/30/2026
		CONES & CONE BARS		850.00			
		CONES & CONE BARS		543.25			
1471758 52457	PROVEN BUSINESS SYSTEMS PROVEN BUSINESS SYSTEMS - LARGE 02-80-950-000	05/11/2026	06/15/2026	338.00	338.00	Open	Y 05/11/2026
		IN HOUSE PRINTED MATERIALS		338.00			
1047009 52524	ROBBINS SCHWARTZ LEGAL SERVICES APRIL 2026 01-10-821-000	05/28/2026	06/15/2026	470.00	470.00	Open	Y 05/28/2026
		GENERAL LEGAL SERVICES		470.00			
903887 52481	SBC WASTE SOLUTIONS DUMPSTER SERVICE MAY 1ST 2026 TO 01-15-750-002	05/05/2026	06/15/2026	125.00	125.00	Open	Y 05/27/2026
		SPECIAL PROJECTS DUMPSTER		125.00			
911200 52516	SBC WASTE SOLUTIONS DUMPSTER SERVICE MAY 2026 01-15-750-002 01-20-750-002 07-71-750-006 01-20-750-002 07-71-750-006	05/31/2026	06/15/2026	1,343.20	1,343.20	Open	Y 05/31/2026
		DUMPSTER SERVICE FRC		240.00			
		DUMPSTER SERVICE CPW		280.00			
		DUMPSTER SERVICE TENNIS CENTER		140.00			
		ADDITIONAL DUMPSTERS FOR TOURNAMENTS		623.20			
		ADDITIONAL DUMPSTER TENNIS CENTER		60.00			
CONCERT7/16/26 52603	SECOND HAND SOUL BAND INC SUMMER CONCERT SERIES 07/16/2026 02-60-751-016	05/07/2026	06/15/2026	2,000.00	2,000.00	Open	Y 07/16/2026
		SECOND HAND SOUL BAND 07/16/2026		2,000.00			
6100000484 52431	SECURITAS TECHNOLOGY CORPORATION ACCESS CONTROL ADDITION - 3 DOORS 01-14-785-000 01-14-785-001	04/28/2026	06/15/2026	6,450.00	6,450.00	Open	Y 04/28/2026
		MEETING ROOM DOOR ACCESS CONTROL		3,225.00			
		MEETING ROOM DOOR ACCESS CONTROL		3,225.00			
7002075467 52549	SECURITAS TECHNOLOGY CORPORATION MONTHLY MAINTENANCE SECURITY - 01-14-785-000	04/15/2026	06/15/2026	225.00	225.00	Open	Y 04/30/2026
		ACCESS CONTROL & MONITORING-CORPORATE		225.00			
6500040653 52559	SECURITAS TECHNOLOGY CORPORATION MONTHLY MONITORING (3 MONTHS) 01-14-785-000	05/05/2026	06/15/2026	165.00	165.00	Open	Y 05/05/2026
		ACCESS CONTROL & MONITORING-CORPORATE		165.00			

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262363 52557	SECURITAS TECHNOLOGY/SONITROL SECURITY SERVICES, MAINT BUILDING 01-14-785-000 QUARTERLY SECURITY SERVICES	05/01/2026	06/15/2026	178.65 178.65	178.65	Open	Y 05/01/2026
262362 52558	SECURITAS TECHNOLOGY/SONITROL SONITROL SECURITY SERVICES - FRC JUN 01-14-785-000 QUARTERLY FRC /CPW/CON SECURITY SERVICES 01-14-785-001 QUARTERLY FRC /CPW/CON SECURITY SERVICES	05/01/2026	06/15/2026	2,353.44 1,176.72 1,176.72	2,353.44	Open	Y 05/01/2026
9324465 52483	SERVICE SANITATION, INC. PORTABLE RESTROOMS MAY 2026 01-05-750-055 TOURNAMENTS CENTRAL PARK	05/19/2026	06/15/2026	1,828.00 1,828.00	1,828.00	Open	Y 05/19/2026
9351256 52553	SERVICE SANITATION, INC. PORTABLE RESTROOMS MAY 2026 01-09-750-020 DEAN NATURE SANCTUARY	05/22/2026	06/15/2026	146.26 146.26	146.26	Open	Y 05/22/2026
166106477-001 52462	SITEONE LANDSCAPE SUPPLY LLC SOD AND SOD STAPLES 01-04-790-021 ATHLETIC FIELDS 01-05-790-021 ATHLETIC FIELDS	05/13/2026	06/15/2026	554.11 275.00 279.11	554.11	Open	Y 05/13/2026
26038 52450	SK ELECTRONICS AMP FOR COURT SPEAKER REPLACEMENT 07-71-750-000 BUILDING MAINTENANCE/REPAIR	05/06/2026	06/15/2026	930.00 930.00	930.00	Open	Y 05/06/2026
14001366 52466	STERLING NETWORK INTEGRATION ADDITIONAL SECURITY CAMERA SERVER 01-14-786-000 ADDITIONAL SECURITY CAMERA SERVER LICENC	05/16/2026	06/15/2026	1,060.00 1,060.00	1,060.00	Open	Y 05/16/2026
14001405 52554	STERLING NETWORK INTEGRATION SENTINEL ONE ENDPOINT SECURITY & 01-14-675-000 MONTH COSTPER ENDPOINT SENTINEL 40/40/20 01-14-675-001 MONTH COSTPER ENDPOINT SENTINEL 40/40/20 01-14-675-002 MONTH COSTPER ENDPOINT SENTINEL 40/40/20 01-14-675-000 MICROSOFT OFFICE 365 BASIC 45/40/15 01-14-675-001 MICROSOFT OFFICE 365 BASIC 45/40/15 01-14-675-002 MICROSOFT OFFICE 365 BASIC 45/40/15 01-14-675-000 MICROSOFT OFFICE 365 PREMIUM 45/45/10 01-14-675-001 MICROSOFT OFFICE 365 PREMIUM 45/45/10 01-14-675-002 MICROSOFT OFFICE 365 PREMIUM 45/45/10 01-14-675-000 MICROSOFT OFFICE 365 STANDARD	06/01/2026	06/15/2026	1,388.20 93.22 93.22 46.62 113.85 101.20 37.95 390.48 390.48 86.77 34.41	1,388.20	Open	Y 06/01/2026

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14001332 52563	STERLING NETWORK INTEGRATION SENTINEL ONE ENDPOINT SECURITY & 01-14-675-000 MONTH COSTPER ENDPOINT SENTINEL 40/40/20 01-14-675-001 MONTH COSTPER ENDPOINT SENTINEL 40/40/20 01-14-675-002 MONTH COSTPER ENDPOINT SENTINEL 40/40/20 01-14-675-000 MICROSOFT OFFICE 365 BASIC 45/40/15 01-14-675-001 MICROSOFT OFFICE 365 BASIC 45/40/15 01-14-675-002 MICROSOFT OFFICE 365 BASIC 45/40/15 01-14-675-000 MICROSOFT OFFICE 365 PREMIUM 45/45/10 01-14-675-001 MICROSOFT OFFICE 365 PREMIUM 45/45/10 01-14-675-002 MICROSOFT OFFICE 365 PREMIUM 45/45/10 01-14-675-000 MICROSOFT OFFICE 365 STANDARD #2	05/01/2026	06/15/2026	1,365.73	1,365.73	Open	Y 05/01/2026
151570 52497	TAKEFORM ADA SIGNAGE FOR FRC BUILDING 09-01-800-000 ADA SIGNAGE 09-01-800-000 PRODUCTION 09-01-800-000 S&H	05/20/2026	06/15/2026	2,445.19	2,445.19	Open	Y 05/20/2026
0218462-IN 52474	TAMELING INDUSTRIES INC. TOP SOIL 01-05-790-022 LANDSCAPING / ORNAMENTAL SUPP.	05/14/2026	06/15/2026	144.00	144.00	Open	Y 05/14/2026
0218968-IN 52525	TAMELING INDUSTRIES INC. TOP SOIL 01-04-790-010 LANDSCAPE SUPPLIES 01-05-790-022 LANDSCAPING / ORNAMENTAL SUPP.	05/21/2026	06/15/2026	948.00	948.00	Open	Y 05/21/2026
051226 52436	TIMOTHY S WILSEY PIONEER LECTURE 5/14/26 02-50-760-000 PIONEER CLASSES	05/12/2026	06/15/2026	175.00	175.00	Open	Y 05/14/2026
D655563 52551	TOTAL FIRE & SAFETY, INC. INSPECTION- MAY 2026 01-05-770-009 EXTINGUISHER INPSECTION	05/12/2026	06/15/2026	158.05	158.05	Open	Y 05/12/2026
D655580 52552	TOTAL FIRE & SAFETY, INC. FIRE EXTINGUSIHER INSPECTION CPN 01-04-750-005 MAY 2026 INSPECTION	05/12/2026	06/15/2026	133.15	133.15	Open	Y 05/12/2026
D655591 52564	TOTAL FIRE & SAFETY, INC. FIRE EXTINGUISHER INSPECTION 01-15-750-013 ANNUAL INSPECTION	05/14/2026	06/15/2026	365.55	365.55	Open	Y 05/14/2026

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
D655604 52565	TOTAL FIRE & SAFETY, INC. FIRE EXTINGUISHER INSPECTION/SERVICE 01-20-750-003 ANNUAL INSPECTION, SERVICE	05/14/2026	06/15/2026	174.65 174.65	174.65	Open	Y 05/14/2026
225165095 52527	TRUGREEN SPRING WEED AND FEED APPLICATIONS 01-08-750-013 CHILLEM PARK	06/03/2026	06/15/2026	181.23 181.23	181.23	Open	Y 06/03/2026
225158652 52528	TRUGREEN SPRING WEED AND FEED APPLICATIONS 01-07-750-013 FOREST GLEN PARK	06/03/2026	06/15/2026	381.82 381.82	381.82	Open	Y 06/03/2026
225196886 52529	TRUGREEN SPRING WEED AND FEED APPLICATIONS 01-06-750-013 SADDLEBROOK PARK	06/03/2026	06/15/2026	379.41 379.41	379.41	Open	Y 06/03/2026
1047379 52518	UMB BANK N.A. PAYING AGENT FEE 06-94-945-000 MISCELLANEOUS EXPENSE	05/11/2026	06/15/2026	318.00 318.00	318.00	Open	Y 04/30/2026
26-1443-02 52452	UPLAND DESIGN LTD TENNIS CENTER COURT PROJECT DESIGN 07-80-805-000 CONSTRUCTION DOCUMENTS 07-80-805-000 PERMITTING 07-80-805-000 IMEG ELECTRICAL ENGINEERING 07-80-805-000 WETLAND DELINEATION 07-80-805-000 CIVIL ENGINEERING 07-80-805-000 EXPENSES (MILEAGE, PRINTING,	04/01/2026	06/15/2026	59,127.48 36,025.00 775.00 16,875.00 3,568.42 1,588.52 295.54	59,127.48	Open	Y 04/30/2026
26-1473-02 52480*	UPLAND DESIGN LTD PICKLEBALL COURT DESIGN/DEVELOPMENT 02-81-805-000 DESIGN DEVELOPMENT 02-81-805-000 CONSRUCTION DOCUMENTS 09-01-805-000 CONSRUCTION DOCUMENTS 02-81-805-000 PERMITTING 09-01-805-000 PERMITTING 02-81-805-000 BIDDING 09-01-805-000 BIDDING 02-81-805-000 CONSTRUCTION ADMINISTRATION 09-01-805-000 CONSTRUCTION ADMINISTRATION 02-81-805-000 CIVIL ENGINEERING 09-01-805-000 CIVIL ENGINEERING 02-81-805-000 PERMITTING, BIDDING, CONSTR REDUCTION 09-01-805-000 ADD 50% PLAN SPLIT FROM TENNIS PROJECT	05/05/2026	06/15/2026	66,580.00 5,250.00 18,150.00 1,650.00 3,675.00 1,225.00 750.00 250.00 9,000.00 3,000.00 15,562.50 5,187.50 (23,400.00) 905.00	66,580.00	Open	Y 04/30/2026

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
	12-95-940-065	ADD 50% PLAN SPLIT FROM TENNIS PROJECT		2,715.00			
	09-01-805-000	ADD BALL FIELD PARKING PROJECT DD-CONST		5,665.00			
	12-95-940-065	ADD BALL FIELD PARKING PROJECT DD-CONST		16,995.00			
VC3-247249 52477	VC3, INC DATAGARD TIME BASED RETENTION FY	05/08/2026	06/15/2026	999.00	999.00	Open	Y 05/08/2026
	01-14-675-000	MONTHLY DATA BACKUP		450.00			
	01-14-675-001	MONTHLY DATA BACKUP		450.00			
	01-14-675-002	MONTHLY DATA BACKUP		99.00			
29625 52432	VILLAGE OF OAK BROOK FUEL CHARGES - PARKS MARCH 2026	05/05/2026	06/15/2026	5,876.52	5,876.52	Open	Y 04/30/2026
	01-05-790-025	FUEL CHARGES - PARKS		5,876.52			
6143523-0 52455	WAREHOUSE DIRECT INC. PAPER TOWELS	05/08/2026	06/15/2026	35.04	35.04	Open	Y 05/08/2026
	01-05-790-005	MAINTENANCE GARAGE SUPPLIES		35.04			
6146845-1 52463	WAREHOUSE DIRECT INC. FACILITY PAPER AND CLEANING	05/14/2026	06/15/2026	159.26	159.26	Open	Y 05/14/2026
	01-15-790-001	FRC CLEANING PRODUCTS		159.26			
6146845-0 52520	WAREHOUSE DIRECT INC. FACILITY PAPER AND CLEANING	05/08/2026	06/15/2026	1,933.66	1,933.66	Open	Y 05/08/2026
	01-15-790-000	FRC PAPER PRODUCTS		981.92			
	01-15-790-001	FRC CLEANING PRODUCTS		951.74			
6136062-0 52568	WAREHOUSE DIRECT INC. TENNIS JANITORIAL SUPPLIES	04/21/2026	06/15/2026	1,497.76	1,497.76	Open	Y 04/21/2026
	07-71-790-001	JANITORIAL SUPPLIES		1,497.76			
4556431982 52496	WILSON SPORTING GOODS GROMMETS	05/14/2026	06/15/2026	54.87	54.87	Open	Y 05/14/2026
	07-75-870-007	RACQUET STRINGING & REPAIR		54.87			
4556504955 52498	WILSON SPORTING GOODS RACQUETS	05/19/2026	06/15/2026	191.87	191.87	Open	Y 05/19/2026
	07-75-870-000	TENNIS RACQUETS		191.87			
4556525504 52499	WILSON SPORTING GOODS WILSON STRINGS AND ACCESSORIES	05/20/2026	06/15/2026	1,073.50	1,073.50	Open	Y 05/20/2026
	07-75-870-007	WILSON STRINGS		864.00			
	07-75-870-007	WILSON ACCESSORIES		209.50			

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INVOICE REGISTER REPORT FOR OAK BROOK PARK DISTRICT
 EXP CHECK RUN DATES 06/15/2026 - 06/15/2026
 BOTH JOURNALIZED AND UNJOURNALIZED
 OPEN

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
4556368311 52509	WILSON SPORTING GOODS TENNIS BALLS 07-75-870-001	05/11/2026	06/15/2026	983.92	983.92	Open	Y 05/11/2026
	TENNIS BALLS			983.92			
MAY 2026 52566	ZAZZO'S PIZZA MAY ORDER AQUATIC AND TENNIS PIZZA 02-25-705-001 07-75-790-008	05/31/2026	06/15/2026	3,358.40	3,358.40	Open	Y 05/31/2026
	AQUATIC PARTY PIZZA ORDERS			2,987.60			
	TENNIS PARTY PIZZA ORDERS			370.80			
# of Invoices:	176	# Due:	176	Totals:	290,501.25		290,501.25
# of Credit Memos:	1	# Due:	1	Totals:	(17.92)		(17.92)
Net of Invoices and Credit Memos:					290,483.33		290,483.33
* 4 Net Invoices have Credits Totalling:					(23,698.91)		

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INVOICE REGISTER REPORT FOR OAK BROOK PARK DISTRICT
 EXP CHECK RUN DATES 06/15/2026 - 06/15/2026
 BOTH JOURNALIZED AND UNJOURNALIZED
 OPEN

	Inv Amt	Amt Due
--- TOTALS BY FUND ---		
01 - GENERAL CORPORATE FUND	73,641.41	73,641.41
02 - RECREATION FUND	82,090.15	82,090.15
06 - DEBT SERVICE FUND	318.00	318.00
07 - RECREATIONAL FACILITIES FUND	85,690.38	85,690.38
09 - SPECIAL RECREATION FUND	20,913.39	20,913.39
12 - CAPITAL PROJECTS FUND	27,830.00	27,830.00
--- TOTALS BY DEPT/ACTIVITY ---		
01 - ADMINISTRATION CORPORATE	27,315.00	27,315.00
02 - FINANCE	1,019.37	1,019.37
04 - CENTRAL PARK NORTH	2,971.94	2,971.94
05 - CENTRAL PARK	18,345.49	18,345.49
06 - SADDLEBROOK PARK	1,478.57	1,478.57
07 - FOREST GLEN PARK	1,227.29	1,227.29
08 - CHILLEM PARK	303.42	303.42
09 - DEAN PROPERTY	189.25	189.25
10 - PROFESSIONAL SERVICES	470.00	470.00
14 - INFORMATION TECHNOLOGY	32,278.96	32,278.96
15 - BUILDING/RECREATION CENTER	11,038.50	11,038.50
20 - CENTRAL PARK WEST	1,816.74	1,816.74
21 - FITNESS CENTER	3,917.39	3,917.39
25 - AQUATIC CENTER	15,654.71	15,654.71
26 - AQUATIC-RECREATION PROGRAMS	9,114.88	9,114.88
30 - YOUTH ATHLETICS	641.95	641.95
31 - PRESCHOOL PROGRAMS	1,340.21	1,340.21
32 - YOUTH PROGRAMS	1,142.15	1,142.15
50 - PIONEER PROGRAMS	2,483.96	2,483.96
60 - SPECIAL EVENTS & TRIPS	11,908.10	11,908.10
71 - BUILDING/RACQUET CLUB	18,034.70	18,034.70
75 - TENNIS PROGRAMS	7,306.78	7,306.78
80 - MARKETING	63,348.47	63,348.47
81 - CAPITAL OUTLAY	28,987.50	28,987.50
94 - DEBT SERVICE FUND	318.00	318.00
95 - CAPITAL PROJECTS FUND	27,830.00	27,830.00

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
53233 52517	ABLE PRINTING SERVICE INC ABLE PRINTING - QUARTERLY NEWSLETTER 02-80-710-002	02/20/2026	06/04/2026	1,241.76	0.00	Paid	Y 04/30/2026
	ABLE PRINTING - QTLY NEWSLETTER MAILING			1,241.76			
42430549 52420	JOHNSON CONTROLS SECURITY SOLUTIONS ALARM MONITORING (QUARTERLY) 01-05-770-009	05/09/2026	05/31/2026	273.00	0.00	Paid	Y 05/09/2026
	FIRE/SECURITY MAINTNCE GARAGE			273.00			
APRIL2026 52485	LENNO LASN STRINGING SERVICES 07-75-870-007	04/30/2026	06/04/2026	800.00	0.00	Paid	Y 04/30/2026
	RACQUET STRINGING & REPAIR			800.00			
19737E 52492	PARVIN-CLAUSS SIGN COMPANY INC REPLACEMENT LETTERS FOR JORIE 02-80-960-000	05/28/2026	05/29/2026	607.00	0.00	Paid	Y 05/27/2026
	REPLACEMENT LETTERS			607.00			
# of Invoices:	4	# Due:	0	Totals:	2,921.76	0.00	
# of Credit Memos:	0	# Due:	0	Totals:	0.00	0.00	
Net of Invoices and Credit Memos:					2,921.76	0.00	
--- TOTALS BY FUND ---							
	01 - GENERAL CORPORATE FUND			273.00	0.00		
	02 - RECREATION FUND			1,848.76	0.00		
	07 - RECREATIONAL FACILITIES FUND			800.00	0.00		
--- TOTALS BY DEPT/ACTIVITY ---							
	05 - CENTRAL PARK			273.00	0.00		
	75 - TENNIS PROGRAMS			800.00	0.00		
	80 - MARKETING			1,848.76	0.00		

Staff Recognition

(None)

Presentations / Proclamations



JULY 2026 IS PARK AND RECREATION MONTH
A PROCLAMATION BY THE
NATIONAL RECREATION AND PARK ASSOCIATION
AND THE OAK BROOK PARK DISTRICT

WHEREAS parks and recreation programs are an integral part of communities throughout this country, including Oak Brook, Illinois and

WHEREAS our parks and recreation are vitally important to establishing and maintaining the quality of life in our communities, ensuring the health of all citizens, and contributing to the economic and environmental well-being of a community and region; and

WHEREAS parks and recreation programs build healthy, active communities that aid in the prevention of chronic disease, provide therapeutic recreation services for those who are mentally or physically disabled, and also improve the mental and emotional health of all citizens; and

WHEREAS parks and recreation programs increase a community's economic prosperity through increased property values, expansion of the local tax base, increased tourism, the attraction and retention of businesses, and crime reduction; and

WHEREAS parks and recreation areas are fundamental to the environmental well-being of our community; and

WHEREAS parks and natural recreation areas improve water quality, protect groundwater, prevent flooding, improve the quality of the air we breathe, provide vegetative buffers to development, and produce habitat for wildlife; and

WHEREAS our parks and natural recreation areas ensure the ecological beauty of our community and provide a place for children and adults to connect with nature and recreate outdoors; and

WHEREAS the U.S. House of Representatives has designated July as Parks and Recreation Month; and

WHEREAS the Oak Brook Park District recognizes the benefits derived from parks and recreation resources as we strive to fulfill our mission statement, "...to provide the *very best* in park and recreational opportunities, facilities and open lands for our community."

THEREFORE, WITH THE U.S. HOUSE OF REPRESENTATIVES AND THE NATIONAL RECREATION AND PARK ASSOCIATION, the **Oak Brook Park District** does hereby proclaim the month of July as "Park and Recreation Month." We call upon park and recreation supporters to join us in recognizing the importance of our nation's parks and recreation facilities and to learn more about how to support the places that bring our communities a higher quality of life, safer places to play and healthy alternatives through recreation programming for everyone.

WE DO ALSO RESOLVE that during "Park and Recreation Month" all citizens enjoy what their community has to offer by taking part in their favorite sports, visiting the outdoors, spending time with family and friends or just relaxing.

Given under our Hand and Seal this 15th Day of June, 2026.



Ivana Ivkovic Kelley, Treasurer

Sharon Knitter, Vice President

Mario C. Vescovi, Commissioner

Tina Chan, Commissioner

Ron Gondek, President

Reports

Administration and Enterprise Operations Report
Finance and Human Resources Report
Recreation and Communications Report
Parks and Facilities Report



Memo

To: Oak Brook Park District Board of Commissioners
From: Laure Kosey, Executive Director
Date: June 9, 2026
Re: June Board Report: Administration & Enterprise Operations

May Board Meeting Follow Up Discussion Points:

May 18, 2026 Regular Board Meeting Follow-Up: Clarifying Information

\$300,000 Banking Scandal

The Oak Brook Park District is not involved in any "banking scandal" and has never lost \$350,000 dollars. Furthermore, none of the District's cash or investments is "unaccounted for" as alleged. The Park District has in fact generated monthly positive investment (interest) income on its portfolio of investments, while safeguarding all of the District's principal balances. Per our existing investment policy, the primary objective is "preservation of investment principal" followed by "compliance with all legal requirements".

Solar Panel Project Cost Savings

The Solar Project would have saved an estimated \$1.7 million over 20 years, not \$9 million.

Agenda Item: 9b General Use Regulations Chapter 1

The intention was to simply redefine "neuter". Below is what was in the board packet.

a). Words and Terms:

And/Or

"And" may be read "or" and "or" may be read "and" if the sense requires it.

Gender

~~Words in any section importing the masculine gender shall include the feminine and neuter as well as the masculine. All references to gender in this document are intended to be inclusive. Terms appearing in masculine, feminine, or neutral form should be understood to encompass all genders.~~

Central Park West Bathrooms

The District is looking into adding a single stall restroom at Central Park West; however, as of today, it is not funded. As for all the other facilities at the Park District, there are no changes being made to any restrooms or locker rooms.

The Family Locker Room

The Family Locker Room is intended to provide a private and accessible space for individuals who require assistance from a caregiver, as well as families with young children or multi-generational family members who need a space to change together. It is not a replacement for traditional men's and women's locker rooms which are also available, but an additional accommodation designed to support privacy, safety, dignity, and accessibility for all patrons.

June Board Meeting Discussion Points:

Tennis Center Report

- Seasonal Court Time renewal letters were sent out in May with great response.
- The NITTTL adult tennis league play-off finals resulted in two TC teams finished in 1st place.
- Tennis Center hosted the Junior Team Tennis - Chicago District Championships. The TC teams finished first in the 10&U Green Dot division and 1st & 2nd in the 12&U divisions.

Objectives and Key Results (OKR's)

Staff has been working hard on upcoming OKR's with an emphasis on resident participation, inclusive opportunities, and sustainability initiatives to remain connected to our Core Values.

Transfer of Funds

This ordinance authorizes staff to transfer unexpended funds from certain appropriation line items to shortages in other certain appropriation line items. Per Park District Code, this ordinance needs approval by two-thirds of the Park District Board.



Memo

To: Board of Commissioners and Executive Director, Laure Kosey
From: Marco Salinas, Chief Financial Officer
Date: June 10, 2026
Re: May 2026 Financials

General Fund

Fiscal Year 2026/2027 is now underway, and we have completed our first month of our current fiscal year (8.33% of the year). Year-to-date (YTD) revenues, expenditures, and transfers-out for this fund equal \$444,481, \$178,013, and \$0, respectively. This is resulting in a YTD net surplus of \$266,467, which is a \$36,500 decrease from the \$302,967 YTD net surplus experienced in the prior fiscal year. The following is additional commentary:

- **Revenues-** Total current YTD revenues are slightly higher than budgeted expectations at 10.9% of the annual budget. During the month we collected the initial payments for the 2025 property tax levy. These collections are expected to continue through December 2026. We also collected the first of six expected payments of the Personal Property Replacement Taxes (PPRT). Field rental revenues at our Central Park fields have increased approximately \$12,000 over the prior year due to having long term licensing agreements with Wizard F.C. and Eclipse Select Soccer whereas at this time last year we only had an agreement with Wizard F.C.
- **Expenditures-** Total current YTD expenditures are lower than budgeted expectations at 4.1% of the annual budget. In our Central Park department expenditures have increased over prior year due to higher field maintenance costs (e.g. turf tank lease), and the timing for processing the recurring portable restroom billings. In our Information Technology department we have processed the payment of numerous annual software licenses (e.g. Productive Parks, Office 365) whereas in the prior year some of these were processed later in the fiscal year.

Recreation Fund

YTD revenues, transfers-in, and expenditures equal \$976,908, \$0, and \$225,400, respectively. This is resulting in a YTD net surplus of \$751,508, which is a \$73,841 increase from the \$677,668 YTD net surplus experienced in the prior fiscal year. The following is additional commentary:

- **Revenues-** Total current YTD revenues are higher than budgeted expectations at 16.6% of the annual budget. In our Preschool Programs department, we have prematurely recognized revenues for our morning preschool which is causing revenues to be much higher than prior year. Finance is working with the recreation department to correct this and such correction will be reflected in the June 2026 financials. In our Fitness Center department, in-district and out-of-district membership revenues are higher than in the prior year.
- **Expenditures-** Total current YTD expenditures are lower than budgeted expectations at 4.2% of the annual budget. In our Aquatic Center department, expenditures are higher than the prior year, primarily due to the timing for the processing of the private party food billings, purchases of various safety supplies, and purchase of aquatic safety staff uniforms.

Recreational Facilities Fund (Tennis Center)

YTD revenues and expenses in this fund are currently at \$223,456 and \$107,119, respectively. This is resulting in a YTD net surplus of \$116,337, which is an \$8,128 decrease over the prior year's surplus of \$124,465. The following is additional commentary:

- **Revenues-** Total current YTD revenues are in-line with budgeted expectations at 7.7% of the annual budget. In the Programs department, group lesson revenues are approximately \$10,000 higher than the prior year.
- **Expenses-** Total current YTD expenses are lower than budgeted expectations at 2.4% of the annual budget. In the Building department, we incurred approximately \$6,400 in repair and maintenance costs for an HVAC unit that services our indoor courts. In the Programs department, we have incurred costs for the purchase of tennis balls and processed the billing for racquet restringing and repairs.

FINANCE & HUMAN RESOURCES UPDATES:

- Finance staff is working with various departments to compile the expanded FY 2026/2027 budget document for submission to the GFAO budget award program.
- H.R. staff has been busy onboarding numerous personnel in preparation for our busy summer programming.



Memo

To: Oak Brook Park District Board of Commissioners
From: Robert Pechous, Director of Recreation and Communications
Date: June 6, 2026
Re: Recreation and Communications Report

Recreation:

- Athletics
 - Two successful tournaments were hosted this month: the Wizards Soccer Tournament and the US Lacrosse Tournament, both receiving positive feedback from participants and spectators.
 - Fall ballfield and soccer field rentals are beginning to be booked.
- Youth/Preschool
 - Preschool teachers were recognized during Teacher Appreciation Week. Special thanks to our preschool families for their generosity in providing lunches, treats, and other expressions of appreciation throughout the week.
 - Preschool Graduation was held at Ginger Creek Pavilion, where 34 graduates from the Purple Room and Rainbow Room celebrated their transition to kindergarten.
 - Staff reviewed preliminary 2026/2027 preschool enrollment projections, class sizes, and ratios. The 4-year-old program remains strong, the 2-year-old program currently has a waitlist, and additional enrollment opportunities remain available in the 3-year-old program.
 - Summer camp planning and seasonal staff hiring have been completed in preparation for a busy summer season.
- Pioneers
 - Pioneers celebrated World Bee Day with local beekeeper Dale Kleber, who shared his passion for beekeeping, discussed the process of producing healthy bees and honey, and highlighted the challenges facing bee populations today.
 - The first National Mah Jongg League Card Class was held, with new instructor Angela guiding participants through the newly released 2026 Mah Jongg card and strategy updates.
 - Thirteen Pioneers participated in a technology class focused on online shopping and banking safety, leaving with practical knowledge to navigate digital transactions more confidently and securely.
 - Nineteen Pioneers attended Sweet Home Chicago: A Taste of History, where presenter Tim Wisley explored the origins of Chicago's iconic foods, including the story behind Portillo's, while participants enjoyed a classic Chicago-style lunch.
- Specialty/Events
 - Staff reviewed plans for the annual Trick-or-Treat Trail event, including a new registration tier structure.
 - Due to reduced use of Central Park West by Gateway SRA this fall, additional rental opportunities will be made available to community groups and organizations.

- The lineup for the Summer Concert Series has been finalized and features a selection of bands that residents are sure to enjoy.

Marketing & Information Technology:

- Quarterly Newsletter was completed and distributed to all residents.
- Staff implemented enhanced email security measures for website forms to strengthen protection against spam, phishing, and unauthorized submissions.
- The new front desk phone automation system was successfully implemented, helping streamline call routing and improving customer service efficiency.
- The Raise It for Rao fundraising campaign through the Foundation is officially underway.

Corporate and Community Relations:

Sponsorships	\$ 4,300.00
Advertising	\$ 1,650.00
Vendors	\$ 600.00
In-Kind Donations	\$ 100.00
Oak Brook Park District Foundation	\$ 878.00
Total for May:	\$ 7,528.00

Social Media and Website Engagement:

Facebook Analytics

Total Followers: 6,328 (up 29)
 Posts: 29 (24 posts, 5 stories)
 Post Reach (organic and paid): 30.5K
 Post Engagement: 410
 (Reactions, Comments, and Shares)

Instagram Analytics:

Total Followers: 3,363 (up 23)
 Posts: 26 (22 posts, 4 stories)
 Post Reach (organic and paid): 1.3K
 Post Engagement: 316

Top Facebook Post



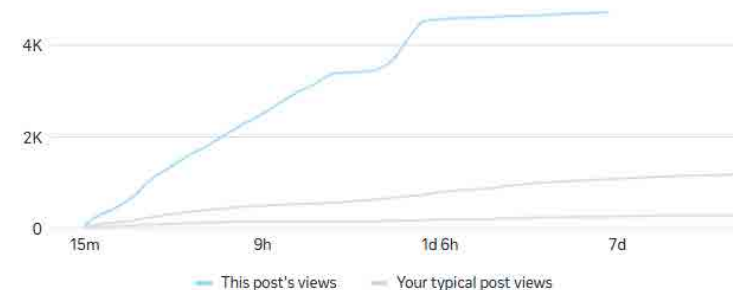
Overview

Views ⓘ	Viewers ⓘ	Interactions ⓘ	Watch time ⓘ	Follows ⓘ
4.8K	1.2K	3	8h 52m	0

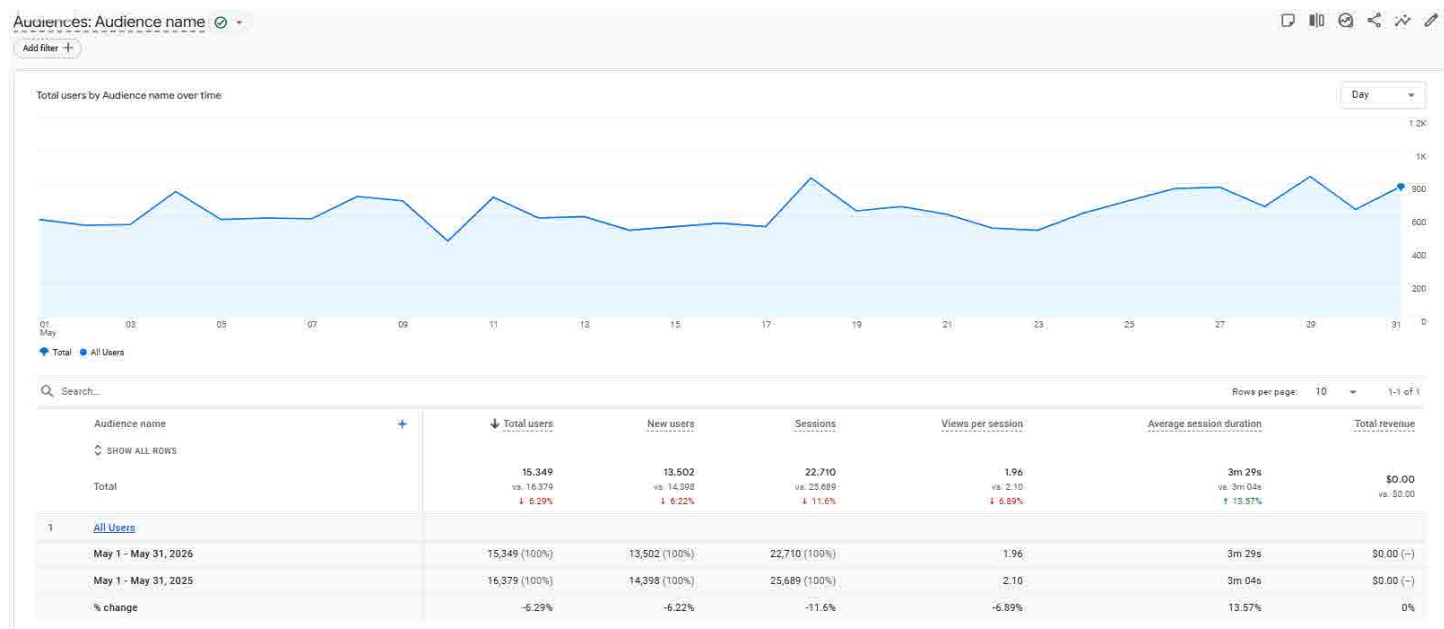
📈 This post received more views compared to your recent Facebook posts.

Views ⓘ
4.8K

Total Audience Age & gender



May 2026 Website Traffic



May 2026 Top Pages

1. /obparks.org
2. /Program Guides
3. /Swim Central
4. /Family Recreation Center
5. /Splash Island
6. /Programs
7. /Employment
8. /Membership
9. /Aquatic Parties
10. /Pink 5K

obparks.org Acquisition Value

Referral Percentage Values	May 2026	May 2025
Direct:	28.6%	26.2%
Organic Search:	66.5%	66.6%
Social:	2.9%	5%
Referrals:	2.0%	2.2%



Oak Brook Park District Facility Statistics and Data

Facility Rentals

25/26 FY	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	FEB	MARCH	APRIL	Total
Gym Rentals Hours	288	266	322	286	280	346	312	303	420	341	288	298	3,748
Gym Revenue	\$14,128	\$15,389	\$18,080	\$16,012	\$15,431	\$19,099	\$17,232	\$16,988	\$23,131	\$18,098	\$15,704	\$16,267	\$205,557
Room Rentals	26	23	17	22	36	46	29	25	20	24	36	20	324
Room Revenue	\$1,800	\$960	\$630	\$720	\$1,360	\$1,990	\$860	\$2,310	\$2,744	\$810	\$2,650	\$880	\$17,714
CPW Rentals	7	9	6	9	6	6	7	1	2	5	11	3	72
CPW Revenue	\$3,595	\$5,875	\$4,790	\$6,876	\$3,925	\$3,700	\$4,500	\$270	\$1,200	\$4,650	\$7,045	\$2,275	\$48,701

26/27 FY	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	FEB	MARCH	APRIL	Total
Gym Rentals Hours	249												249
Gym Revenue	\$14,747												\$14,747
Room Rentals	32												32
Room Revenue	\$1,900												\$1,900
CPW Rentals	8												8
CPW Revenue	\$4,775												\$4,775

Totals	20-21	21-22	22-23	23-24	24-25	25-26
Gym Rentals Hours	4,195	4,874	4,379	4,441	3,981	3,748
Gym Revenue	\$207,521	\$261,155	\$228,514	\$227,924	\$213,837	\$205,557
Room Rentals	0	10	79	203	224	324
Room Revenue	\$0	\$700	\$7,355	\$7,335	\$13,726	\$17,714
CPW Rentals	20	73	88	74	24	72
CPW Revenue	\$12,938	\$48,226	\$54,458	\$50,951	\$11,185	\$48,701



Oak Brook Park District Facility Statistics and Data

Outdoor Pickleball Court Rentals

25/26 FY	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	FEB	MARCH	APRIL	Total
Court Rentals	67	170	134	144	84	65	10	0	0	0	32	49	755
Court Hours	217	310	253	271	161	135	18	0	0	0	60	92	1,517
Revenue	\$ 610.00	\$ 670.00	\$ 560.00	\$ 430.00	\$ 360.00	\$ 280.00	\$ 30.00				\$ 30.00	\$ 60.00	\$ 3,030.00

26/27 FY	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	FEB	MARCH	APRIL	Total
Court Rentals	78												78
Court Hours	154												154
Revenue	\$ 410.00												\$ 410.00

Totals	23-24	24-25	25-26
<i>Court Rentals</i>	821	662	755
<i>Court Hours</i>	2,326	2,275	1,517
<i>Total Revenue</i>	\$3,280.00	\$3,290.00	\$3,030.00

April 2025

Winter 2025

District	Registered Participants
Burr Ridge	3
Elmhurst	63
Hinsdale	20
Oak Brook	8
Pleasant Dale	2
Westchester	4
Countryside	2
York Center	0
Non-resident	11
Total	113

Winter 2026

District	Registered Participants	Number of Programs
Burr Ridge	5	19
Elmhurst	68	233
Hinsdale	13	68
Oak Brook	6	29
Pleasant Dale	1	1
Westchester	4	13
Countryside	2	10
York Center	0	0
Non-resident	10	31
Total	110	404

Spring 2025

District	Registered Participants
Burr Ridge	4
Elmhurst	73
Hinsdale	23
Oak Brook	8
Pleasant Dale	2
Westchester	4
Countryside	2
York Center	0
Non-resident	15
Total	131

Spring 2026

District	Registered Participants	Number of Programs
Burr Ridge	6	23
Elmhurst	73	216
Hinsdale	17	62
Oak Brook	6	23
Pleasant Dale	3	7
Westchester	5	15
Countryside	2	10
York Center	0	0
Non-resident	15	33
Total	127	389

Winter 2026 Program Line Up (Dates: January 12 – March 31)

- Elevate Day Services (M-F)
- 20 Weekly Youth and Adult
- 3 Gators Athletics – Basketball, Swimming, Indoor Soccer
- 9 Winter Special Events (January – March)
- Spring Break Camp (youth & teens)
-

Spring 2026 Program Line Up (Dates: April 6 – May 23)

- Elevate Day Services (M-F)
- 24 Weekly Youth and Adult
- 3 Gators Athletics –Swimming, Soccer, Track and Field, Floor Hockey, Flag Football, Softball
- 5 Winter Special Events (April – May)

District	Registered Participants
Burr Ridge	5
Elmhurst	5
Hinsdale	3
Oak Brook	3
Westchester	1
Total	17

Currently:
Mondays - 10
Tuesdays - 10
Wednesdays - 11
Thursday - 12
Fridays - 11



Gateway Vehicles Update as of 5/13/2026

Vehicle #	Type	Year	Mileage	Maintenance	Plans
298	15p Ford Transit	2019	30,309	None	None
312	15p Ford Transit	2023	31,697	None	None
320	Paratransit Bus Ford E450 15P + WC	2025	7,848	None	None

Summer Day Camp

District	Registered Participants
Burr Ridge	3
Elmhurst	32
Hinsdale	6
Westchester	2
Non-Residents	3
Total	46

Locations: Elmhurst, Hinsdale, Countryside
 ESY Options available for all camps

Summer 2026

Digital copies are attached to email packet. Registration began April 18. Highlights – Unified Volleyball, Flag Football, Senior Travelers, Youth/Teen special events, August Adventure Days, Summer Vacation Trip to Door County.

Ongoing - 2026 Promotion & Visibility Focus

Recent Activity: Gateway SRA continued utilizing a consistent weekly social media strategy throughout April to highlight participant experiences, athletics, special events, and community engagement across Facebook and Instagram. Featured content included weekly Elevate recaps, coverage of Gateway SRA-Con, and Gators Soccer qualifier highlights through Special Olympics Illinois. The continued "Built at Gateway SRA" series remains a strong focus in showcasing participant experiences and program impact across programs and services.

Upcoming Focus: Over the next month, social media efforts will continue promoting summer programming, Gators athletics, and participant success stories while placing additional emphasis on team member appreciation and staff recognition. Gateway SRA will also continue exploring opportunities to increase community visibility through outreach efforts, special events, partnerships, and expanded promotion of programs and services across member communities.

April Program Highlights

Gators Soccer – 2nd place with an invitation to Summer Games in June; WrestleMania Night 1 Watch Party; Gateway SRA Con (Comic-Con Style)



<u>Strategic Priority</u>	<u>3-Year Goal</u>	<u>FY26 Focus (Stabilize)</u>	<u>FY26 Status & Notes</u>	<u>FY27 Focus (Grow)</u>	<u>FY28 Focus (Sustain)</u>	<u>Success Measures</u>
Program Growth	Maintain quality & prepare for growth	Stabilize enrollment & refine mix	In Progress: Auditing registration/waitlist data.	Expand high-demand programs	Scale high-impact services	Enrollment, Retention
Elevate Weekday	Strategic growth while maintaining quality	Maintain quality & staffing stability	Active: "Weekly Elevate Recaps" social campaign driving high engagement and family visibility.	Strengthen operations for expansion	Expand enrollment & days	Growth, Satisfaction
Youth & Young Athletes	Strengthen as a long-term pipeline	Rebuild foundation & increase outreach	On Track: Engaging families on youth initiatives	Expand youth pathways	Sustain & evaluate expansion	Enrollment, Referrals
Inclusion & Unified	Expand access & unified pathways	Strengthen partnerships & track outcomes	On Track: Stronger Special Olympics IL storytelling.	Increase progression opportunities	Formalize sustainable model	Participation, Data
Outreach & Marketing	Improve awareness via consistent messaging	Implement simple marketing system	Complete: M-F content calendar active on Meta.	Strengthen PR & referral pipelines	Maintain visibility & impact	Engagement, Growth
Financial & Governance	Long-term stability & diversified revenue	Strengthen tracking & pricing reviews	In Progress: Reviewing Q4 pricing & revenue diversity.	Expand grants & fundraising	Secure multi-year funding	Revenue, Reserves
Staffing & Capacity	Support staff growth & long-term sustainability	Strengthen training & role clarity	Hired: Full Time Program Specialist – Brianna Cortez 20hrs Gateway SRA & 20hrs RGA TRS	Build leadership & staff pipeline	Maintain sustainable ratios	Retention, Coverage
Resources & Invest.	Maximize facility & equipment use	Optimize current improvements	Underway: Summer equipment readiness review complete.	Identify capital & resource needs	Implement long-term facility plan	Utilization, Planning



Memo

To: Board of Commissioners
From: Bob Johnson, Deputy Director
Date: June 8, 2026
Re: Board Report

Parks

- The irrigation systems throughout Central Park have been activated and tested. Staff completed several repairs to ensure all four zones are fully operational.
- Park staff applied a liquid re-binding agent to the poured-in-place surfacing at Sandlot Playground as part of routine preventative maintenance that combats the wear of heavy use on the playground. Performing this work in-house resulted in substantial cost savings for the district.
- The Landscape Team has begun its annual beautification efforts at the district's satellite parks. Work includes weed removal, tree and shrub pruning, mulching, and turf restoration to enhance the appearance and overall health of the park grounds.
- Davey Resource Group completed its first stewardship visit of the season at Dean Nature Sanctuary and Ginger Creek. These visits support ongoing ecological management efforts and invasive species removal which help maintain the health and sustainability of the district's natural areas.
- Weed control and fertilizer applications have been completed at all District sites. A preventative grub control treatment was applied to the athletic fields at Central Park.

Aquatics

- Splash Island officially opened for the season on Saturday, May 23rd. Staff worked diligently preparing the facility, completing safety inspections, and ensuring all operational systems were ready.
- Group and Private Swim Lesson are scheduled to begin on Monday, June 8. In preparation the Aquatics Program Manager hosted the pre-season onboarding and safety training for new and returning swim lesson instructors. Training focuses on skill levels, class management, communication, and water safety.
- The Stars Youth Swim Team and the USMS Adult Swim Team will also begin their summer season on Monday, June 8. Head Coaches Jennifer Lawler and Devin Fren dreis are returning to lead the teams and provide a positive and rewarding experience for the swimmers prepping them on stroke technique and competition.
- Staff received initial engineering drawings for the Virginia Graeme Baker Act (VGBA) pool grate project which is anticipated to take place in late fall. The VGBA is regulated and permitted through the Illinois Department of Public Health and the DuPage County Health Department. The project will ensure all underwater pool grates are compliant with the latest code requirements.

Facilities and Maintenance

- Please see the agenda histories for two project bids going live on June 16th.
- Staff finalized the anticipated capital project schedules for 2026-2027.
- A contract has been executed for the replacement of the exterior bi-fold door between Splash Island and Swim Central. The estimated lead time for fabrication and delivery is 4–6 weeks.
- The Maintenance team staff guided Aquatic Managers through pool pump room and chemical controls safety training.
- Staff completed several Productive Parks work orders, including removing and reinstalling sponsor banners in the Gym, installing a whiteboard, and replacing two broken baby changing tables.
- Staff responded to two separate equipment failures involving the spa jet pump and the Splash Island play feature pump. Both issues were diagnosed and repaired promptly by staff, minimizing operational disruptions and ensuring continued facility availability for patrons.
- Congratulations to the 143 youth athletes who competed in the Annual Tom’s Try-athlon. There were three age groups; 6-8 years old, 9-11 years old, and 12-14 that swam their way through the laps of Swim Central and biked and ran laps through Central Park. It is an encouraging event to experience for the young athletes themselves, who may be just beginning their competitive journey. Thank you to the Oak Brook Police Department for providing traffic control at the corner of Jorie Blvd. and Forest Gate Road, and to the residents of the Forest Gate community for their patience while the cyclists were biking.
- Summer Camp Counselors successfully completed *CPR/AED for All Ages* certification as part of their pre-season training requirements. This training helps ensure staff are prepared to respond effectively in emergency situations.



2026 Membership Package Data																				
	January					February					March					April				
	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate
Central Park Campus	37	4	32	73	56%	38	4	33	75	56%	36	4	31	71	56%	36	3	30	69	57%
Family Recreation Center	688	159	986	1833	46%	684	164	985	1833	46%	670	164	1092	1926	43%	678	163	977	1818	46%
SilverSneakers	298		1224	1522	20%	291		1186	1477	20%	292		1178	1470	20%	295		1163	1458	20%
Renew Active	108		436	544	20%	107		421	528	20%	111		410	521	21%	111		404	515	22%
Total Memberships	1131	163	2678	3972	33%	1120	168	2625	3913	33%	1109	168	2711	3988	32%	1120	166	2574	3860	33%

	May					June					July					August				
	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate
Central Park Campus	39	3	26	68	62%															
Family Recreation Center	689	164	977	1830	47%															
SilverSneakers	290		1154	1444	20%															
Renew Active	112		381	493	23%															
Total Memberships	1130	167	2538	3835	34%															

	September					October					November					December				
	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate
Central Park Campus																				
Family Recreation Center																				
SilverSneakers																				
Renew Active																				
Total Memberships																				

2025 Membership Package Data																				
	January					February					March					April				
	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate
Central Park Campus	33	1	35	69	49%	39	3	41	83	51%	38	1	38	77	51%	38	1	37	76	51%
Family Recreation Center	678	168	939	1785	47%	678	143	946	1767	46%	659	168	919	1746	47%	659	170	919	1748	47%
SilverSneakers	262		1095	1357	19%	273		972	1245	22%	287		1012	1299	22%	288		1038	1326	22%
Renew Active	99		377	476	21%	102		320	422	24%	104		342	446	23%	107		352	459	23%
Total Memberships	1072	169	2446	3687	34%	1092	146	2279	3517	35%	1088	169	2311	3568	35%	1092	171	2346	3609	35%

	May					June					July					August				
	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate
Central Park Campus	38	1	37	76	51%	38	1	37	76	51%	39	1	36	76	53%	38	3	31	72	57%
Family Recreation Center	671	166	923	1760	48%	681	163	954	1798	47%	690	167	954	1811	47%	685	159	949	1793	47%
SilverSneakers	293		1058	1351	22%	295		1092	1387	21%	304		1119	1423	21%	310		1149	1459	21%
Renew Active	107		367	474	23%	109		380	489	22%	111		390	501	22%	114		396	510	22%
Total Memberships	1109	167	2385	3661	35%	1123	164	2463	3750	34%	1144	168	2499	3811	34%	1147	162	2525	3834	34%

	September					October					November					December				
	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate	In District	Corporate	Out of District	Total	% In District with Corporate
Central Park Campus	36	1	31	68	54%	38	1	32	71	55%	39	3	27	69	61%	39	4	30	73	59%
Family Recreation Center	673	151	954	1778	46%	687	153	956	1796	47%	698	160	963	1821	47%	701	158	970	1829	47%
SilverSneakers	316		1143	1459	22%	317		1194	1511	21%	321		1215	1536	21%	327		1263	1590	21%
Renew Active	114		438	522	22%	114		414	528	22%	114		418	532	21%	116		430	546	21%
Total Memberships	1139	152	2566	3857	33%	1156	154	2596	3906	34%	1172	163	2623	3958	34%	1183	162	2693	4038	33%



2026 First on the 1st Data				
	January	February	March	April
	In District	In District	In District	In District
Daily Fee	0	4	0	18
Central Park Campus	0	2	0	0
Family Recreation Center	3	2	3	1
	May	June	July	August
	In District	In District	In District	In District
Daily Fee	16	4		
Central Park Campus	0	0		
Family Recreation Center	7	4		
	September	October	November	December
	In District	In District	In District	In District
Daily Fee				
Central Park Campus				
Family Recreation Center				

2025 First on the 1st Data				
	January	February	March	April
	In District	In District	In District	In District
Daily Fee		22	8	25
Central Park Campus		0	0	0
Family Recreation Center		1	0	0
	May	June	July	August
	In District	In District	In District	In District
Daily Fee	4	4	12	7
Central Park Campus	0	0	2	0
Family Recreation Center	3	3	6	5
	September	October	November	December
	In District	In District	In District	In District
Daily Fee	0	0	3	4
Central Park Campus	0	0	0	0
Family Recreation Center	2	7	7	6



2026 Swim Central Rental Data												
	January			February			March			April		
	In District	Out of District	Revenue	In District	Out of District	Revenue	In District	Out of District	Revenue	In District	Out of District	Revenue
Pool Parties	4	21	\$ 13,169.00	3	19	\$ 11,358.00	2	25	\$ 14,256.00	3	18	\$ 11,279.00
Private Rentals	1	6	\$ 7,150.00	0	2	\$ 2,612.50	0	6	\$ 6,800.00	0	4	\$ 4,450.00
Scout Swims	0	2	\$ 450.00	0	1	\$ 125.00	0	3	\$ 840.00	0	3	\$ 350.00
Group Swims	1	1	\$ 380.00	0	2	\$ 490.00	0	2	\$ 700.00	0	1	\$ 250.00
Cabana Rentals	n/a	n/a	\$ -	n/a	n/a	\$ -	n/a	n/a	\$ -	n/a	n/a	\$ -
Total	6	30	\$ 21,149.00	3	24	\$ 14,585.50	2	36	\$ 22,596.00	3	26	\$ 16,329.00

	May			June			July			August		
	In District	Out of District	Revenue	In District	Out of District	Revenue	In District	Out of District	Revenue	In District	Out of District	Revenue
Pool Parties	0	23	\$ 12,835.00									
Private Rentals	2	1	\$ 2,040.00									
Scout Swims	0	1	\$ 175.00									
Group Swims	0	2	\$ 260.00									
Cabana Rentals	0	0	\$ -									
Total	2	27	\$ 15,310.00									

	September			October			November			December		
	In District	Out of District	Revenue	In District	Out of District	Revenue	In District	Out of District	Revenue	In District	Out of District	Revenue
Pool Parties												
Private Rentals												
Scout Swims												
Group Swims												
Cabana Rentals												
Total												

FY 26-27	Summer			Fall			Winter/Spring		
	In District	Out of District	Revenue	In District	Out of District	Revenue	In District	Out of District	Revenue
Group Lessons	77	183	\$ 32,395.00						
Private Lessons	68	30	\$ 22,791.00						
Total	145	213	\$ 55,186.00						

FY 26-27	Summer Team			Fall & Winter Team		
	In District	Out of District	Revenue	In District	Out of District	Revenue
Stars Swim Team	8	14	\$ 5,120.00			

Unfinished Business



Oak Brook Park District

<p>BOARD MEETING</p> <p>AGENDA ITEM – HISTORY/COMMENTARY</p>	
<p>ITEM TITLE: OBJECTIVES AND KEY RESULTS FOR MAY 1, 2026, THROUGH APRIL 30, 2027</p>	<p>AGENDA NO.: 8 A</p> <p>MEETING DATE: JUNE 15, 2026</p>
<p>STAFF REVIEW: Director of Recreation and Communication, Robert Pechous: <i>Robert Pechous</i></p>	
<p>RECOMMENDED FOR BOARD ACTION: Executive Director, Laure Kosey: <i>Laure Kosey</i></p>	
<p>ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):</p> <p>Over the past year, staff have been diligently working toward six primary annual goals established for the period of May 1, 2025, through April 30, 2026. These goals are carefully crafted to be specific, measurable, achievable, relevant, and time-bound, ensuring clarity of purpose and accountability across the organization. Progress updates are provided to staff monthly, with reports distributed internally and included in the monthly board packet. The structured goal-setting and tracking initiative was first introduced in January 2023.</p>	
<p>ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):</p> <p>The Leadership Team developed 6 new goals, once again based on the core values, to be measured from May 1, 2026, to April 30, 2027. If the objectives are met, full-time staff would receive paid time off (PTO), and part-time staff (working at least 400 hours) would receive a cash bonus equivalent to the PTO received by the full-time staff. Starting this year, bonus eligibility requires an overall "Exceeds Expectations" rating - equivalent to 75% or higher - on their annual performance appraisal. The document has been updated since the first reading, and is attached for the Board's review and consideration.</p>	
<p>ACTION PROPOSED:</p> <p>A Motion (and a Second) to approve the Objectives and Key Results for May 1, 2026, through April 30, 2027</p>	



OBJECTIVES AND KEY RESULTS

May 1, 2026 - April 30, 2027

Oak Brook Park District OKR (Objectives and Key Results) Program Information

1. Clear Accountability with Built-In Flexibility

The program requires all 6 objectives to be accomplished, but defines “accomplished” as completing 2 of 3 subgoals per objective. This structure keeps expectations high while allowing teams to focus on their strongest contributions—reducing burnout without sacrificing results.

2. Comprehensive Community Focus

The OKRs span every season and every segment of the community—from water safety and sensory-friendly programming to teen-led events and senior wellness. This ensures the District serves all residents, not just the most visible groups.

3. Balanced Internal and External Goals

The six objectives strike a balance between outward-facing community programs (Holistic Wellness, Community Engagement, Open Communication) and internal organizational health (Teamwork, Inclusion, Environmental Stewardship). This dual focus drives both public impact and staff culture.

4. Staff Incentive Structure Drives Ownership

By tying bonus PTO and cash payouts directly to OKR completion and performance appraisals, the program creates meaningful personal investment for staff at every level—part-time, full-time, and CPI employees alike. This turns organizational goals into individual motivation.

5. Measurable and Trackable

Each subgoal is concrete and verifiable—whether it's hosting a specific number of events, securing a membership count, or earning a certification. This eliminates ambiguity at review time and makes progress easy to monitor throughout the year.

6. Aligns with the District's Gold Medal Standards

As a National Gold Medal Agency, Oak Brook Park District sets a high bar. This OKR framework reflects that commitment—pushing the organization to continuously improve community wellness, environmental responsibility, and inclusive access, all while maintaining a culture of transparency and collaboration.

Accomplish 6 of 6 OKR's: May 1, 2026 – April 30, 2027

“Accomplish” means 2 of 3 subgoals (A,B,C) under each main objective, are completed.

Updated June, 2026



OBJECTIVES AND KEY RESULTS

1. HOLISTIC WELLNESS - PROVIDE PROGRAMS, SERVICES, AND OPPORTUNITIES DESIGNED TO IMPROVE ALL ASPECTS OF THE OVERALL WELLNESS OF THE COMMUNITY.

COMPLETE?

- A Summer Community Connection Programming
 1. Serve as an official host site for the World's Largest Swimming Lesson to expand community participation and advance water safety awareness.
 2. Send a lifeguard team to compete at the Illinois Parks and Recreation Association Lifeguard Games.
 3. Host three sensory-friendly, low-stimulation session at the outdoor splash pad for the special recreation group to promote accessibility and inclusive participation.

- B Fall Community Connection Programming
 1. Launch a recurring community walk/run club with a consistent schedule to drive participation and build sustained engagement.
 2. Organize and execute a community blood drive.
 3. Launch four community initiatives during November and December related to holiday wellness.
 1. _____
 2. _____
 3. _____
 4. _____

- C Winter/Spring Community Connection Programming
 1. Organize employee participation in volunteer initiatives with accessible opportunities within the community with a 90% full-time employee attendance rate.
 2. Host four wellness-focused accessible, guided events for a local organization that increases resident participation and fosters community engagement.
 1. _____
 2. _____
 3. _____
 4. _____

 3. Host two nutrition wellness classes for the community.
 1. _____
 2. _____



OBJECTIVES AND KEY RESULTS

2. ENVIRONMENTAL STEWARDSHIP - FOSTER THE RESPONSIBLE USE AND PROTECTION OF THE NATURAL ENVIRONMENT THROUGH EDUCATION, CONSERVATION, AND SUSTAINABLE PRACTICES. COMPLETE?

- A Collaborate with a local community organization to identify and implement two environmental initiatives.
 1. _____
 2. _____
- B Introduce two new free activities or programs for the community that promote conservation, sustainability, or environmental awareness.
 1. _____
 2. _____
- C Earn Earth Flag by executing required sustainability efforts and submitting all materials.

3. INCLUSION - PROMOTE A SENSE OF BELONGING AND PROVIDE ACCESS TO THE VERY BEST IN PARK AND RECREATIONAL OPPORTUNITIES FOR ALL. COMPLETE?

- A Inclusive Programs & Membership Initiatives
 1. _____
 2. _____
- B Inclusive Facilities Initiatives
 1. _____
 2. _____
- C Inclusive Park Initiatives
 1. _____
 2. _____

4. TEAMWORK - EMBRACE THE INDIVIDUALITY AND DIVERSE VIEWPOINTS OF OUR STAFF IN ORDER TO FOSTER RECREATIONAL CREATIVITY AND ENCOURAGE A COLLABORATIVE CULTURE. COMPLETE?

- A Schedule and complete quarterly supervisor-employee feedback meetings, working collaboratively to improve performance and achieve annual goals for all full-time staff.

Q1 Q2 Q3 Q4
- B Organize and implement a quarterly team spotlight series where departments present their functions, fostering teamwork and engagement while engaging at least 50 staff participants.

Parks Tennis Facilities Recreation/Administration
- C Work collaboratively to secure 20 new Central Park Campus memberships through coordinated outreach and engagement efforts.



OBJECTIVES AND KEY RESULTS

5. COMMUNITY ENGAGEMENT - PROVIDE THE VERY BEST CUSTOMER EXPERIENCE WITH EVERY INTERACTION.

COMPLETE?

- A Create a Community Ambassador Program to strengthen community connections, increase engagement, and promote Park District programs and initiatives.
- B Develop and implement three new programs or events based on recommendations and feedback from resident teens from the T.E.A.M Rec program.
 1. _____
 2. _____
 3. _____
- C Collaborate with three local community groups to strengthen local engagement.
 1. _____
 2. _____
 3. _____

6. OPEN COMMUNICATION - ENGAGE IN HONEST, AND RESPECTFUL COMMUNICATION, TO CONNECT AND BUILD RELATIONSHIPS WITH OUR COMMUNITY.

COMPLETE?

- A Implement a user friendly centralized section on the website to improve access to key information.
 1. _____
 2. _____
 3. _____
- B Host three community engagement sessions to provide updates, gather feedback, and strengthen communication with residents.
 1. _____
 2. _____
 3. _____
- C Develop an “Explore Oak Brook” initiative to encourage community exploration and engagement.
 1. _____
 2. _____
 3. _____



May 1, 2026 - April 30, 2027

Employee Status	Accomplish 6 of 6 OKR's
Part-Time <400 Hours Annually	No Bonus PTO hours
Part-Time 400-999 Hours Annually	Cash payout of 8 PTO hours
Part-Time 1000-1,500 Hours Annually	Cash payout of 16 PTO hours
*CPI & Full-Time 1,501 and Greater Hours Annually	Credit of 24 bonus PTO hours. Hours do not roll forward into the subsequent fiscal year.

*CPI employees and full-time employees with 20 or more years of service, can elect to receive a pay-out of any bonus PTO hours awarded to them. Each hour is paid out at \$20.00 an hour.

In order for staff to qualify for bonuses, they must receive an overall "Exceeds Expectations" or 75% rating on their annual performance appraisal.





Oak Brook Park District

BOARD MEETING

AGENDA ITEM – HISTORY/COMMENTARY

ITEM TITLE: ORDINANCE 26-0518: AN ORDINANCE FOR TRANSFERRING ANTICIPATED UNEXPENDED FUNDS FROM CERTAIN APPROPRIATION ITEMS TO OTHER ITEMS OF APPROPRIATION.

AGENDA No.: 8 B

MEETING DATE: JUNE 15, 2026

STAFF REVIEW:

Chief Financial Officer, Marco Salinas:

RECOMMENDED FOR BOARD ACTION:

Executive Director, Laure Kosey:

ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):

This ordinance authorizes staff to transfer anticipated fiscal year 2025/2026 unexpended funds from certain appropriation line items to other certain appropriation line items. Per Section 4-4 of the Illinois Park District Code, such transfers may only occur after the first six months of any fiscal year have elapsed and require approval by two-thirds of the Park District Board.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):

If approved, the transfers listed in Exhibit A will be entered into our financial reporting software retroactively, so they are reflected in the month of April 2026; the twelfth (12th) and final month of our previous fiscal year.

ACTION PROPOSED:

A Motion (and a second) to approve Ordinance 26-0518: An Ordinance for transferring anticipated unexpended funds from certain appropriation items to other items of appropriation.

ORDINANCE NO. 26-0518**AN ORDINANCE FOR TRANSFERRING ANTICIPATED UNEXPENDED FUNDS FROM CERTAIN APPROPRIATION ITEMS TO OTHER ITEMS OF APPROPRIATION**

WHEREAS, the first six months of fiscal year 2025-2026 of the Oak Brook Park District have elapsed; and

WHEREAS, Section 4-4 of the Park District Code provides that, after the first six months of any fiscal year, anticipated unexpended funds from any appropriation item may be transferred, by a two-thirds vote, to any other item of appropriation, so that the item to which said transfer is made is increased to the extent of the amount so transferred; and

WHEREAS, the Board of Park Commissioners has determined that it is necessary and desirable to make certain appropriation transfers as provided herein,

NOW, THEREFORE, BE IT ORDAINED by the Board of Park Commissioners of the Oak Brook Park District, DuPage and Cook Counties, Illinois, as follows:

Section 1: Anticipated unexpended funds from certain specified budget and appropriation line items in the Budget and Appropriation Ordinance for fiscal year 2025-2026, in the amounts set forth in Exhibit A attached hereto, are hereby transferred to those specific line items and in the amounts, which are also set forth in such Exhibit A, such line items to be increased to the extent of the amount so transferred.

Section 2: This Ordinance shall be in full force and effect after its passage and approval by a two-thirds vote of the Board of Commissioners.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

Passed and approved this 15th day of June, 2026.

AYES: _____

NAYS: _____

ABSENT: _____

Approved:

Ron Gondek, President

ATTEST:

Laure L. Kosey, Secretary

OAK BROOK PARK DISTRICT
EXHIBIT A
BUDGET TRANSFERS- FISCAL YEAR 2025-2026

Fund and Department	Account Description	Original/ Updated Budget Balanc	Transfer To	Transfer From	Revised Budget Balance	Explanatory Information
Administration (01-01)						
01-01-650-000	Group Medical & Life	\$ 35,218.00	\$ 6,500.00	\$ -	\$ 41,718.00	Employee had unanticipated qualifying event which resulted in increased medical insurance coverage and increased premium costs to the District.
01-01-660-002	Mileage Reimbursement	75.00	30.00	-	105.00	Higher than expected Illinois Tollway charges.
01-01-840-002	Mastercard/Visa Fees	92.00	250.00	-	342.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
01-01-630-000	Administration Full-Time	280,224.00	-	(6,780.00)	273,444.00	Unanticipated use of Family Care Leave benefits for an employee, resulting in temporary reduction in compensation/wages paid to employee.
Total:		\$ 6,780.00		\$ (6,780.00)		
Finance (01-02)						
01-02-630-000	Full-time Personnel	\$ 206,732.90	\$ 1,000.00	\$ -	\$ 207,732.90	Final YTD actual balance approximates \$207,461 resulting in \$728 over budget. This represents less than .5% unfavorable variance.
01-02-680-001	Notices & Ordinances	690.00	-	(500.00)	190.00	Final YTD actual balance approximates \$131. Tax levy public hearing notice fee (\$140 budget) not spent, and underspent on labor law posters (\$435 budget).
01-02-740-020	Safety	1,900.00	-	(500.00)	1,400.00	Final YTD actual balance approximates \$421. Underspent on CPR/AED training supplies (\$1,500 budget). FY 2026/2027 CPR/AED training supplies budget reduced to \$750.
Total:		\$ 1,000.00		\$ (1,000.00)		
Central Park North (01-04)						
01-04-840-002	Mastercard/Visa Fees	\$ 1,218.00	\$ 250.00	\$ -	\$ 1,468.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
01-04-750-022	Road/Trail Maintenance	1,500.00	-	(250.00)	1,250.00	Final YTD actual balance approximates \$345. Underspent on bike trail warning signage. (\$500 budget).
Total:		\$ 250.00		\$ (250.00)		
Central Park (01-05)						
01-05-630-000	Full-time Personnel	\$ 432,715.76	\$ 8,500.00	\$ -	\$ 441,215.76	Increase due to two internal staff promotions.
01-05-800-006	Park Equip. Replace. & Repair	7,900.00	750.00	-	8,650.00	Final YTD actual balance approximates \$10,652 resulting in \$2,752 over budget. The variance was the result of a property fence replacement (\$4,185) due to a car accident that damaged the fence. (Ins. claim)
01-05-631-000	Part-time Personnel	42,913.60	-	(8,500.00)	34,413.60	Final YTD actual balance approximates \$19,300. Underspent as was unable to rehire the year-round part time position.
01-05-750-016	Plumbing Services	2,000.00	-	(750.00)	1,250.00	Final YTD actual balance approximates \$1,990. Underspent on plumbing services (\$2,000 budget) No significant deficiencies during annual testing and inspections.
Total:		\$ 9,250.00		\$ (9,250.00)		
Forest Glen Park (01-07)						
01-07-800-006	Park Equip. Replace. & Repair	\$ -	\$ 250.00	\$ -	\$ 250.00	\$805 to replaced broken tennis rebounder wall at basketball court. Over budget because repair was not anticipated during budget process.
01-07-750-022	Road/Trail Maintenance	1,000.00	-	(250.00)	750.00	Underspent as no trail repairs we needed and was able to receive bulk pricing for new trail posts and signs.
Total:		\$ 250.00		\$ (250.00)		

OAK BROOK PARK DISTRICT
EXHIBIT A
BUDGET TRANSFERS- FISCAL YEAR 2025-2026

Fund and Department	Account Description	Original/ Updated Budget Balanc	Transfer To	Transfer From	Revised Budget Balance	Explanatory Information
Chillem Park (01-08)						
01-08-790-009	Playground Surfacing	\$ -	\$ 500.00	\$ -	\$ 500.00	Over budget as vendor invoiced the playground mulch late, resulting in being invoiced during 25/26 F/Y.
01-08-750-022	Road/Trail Maintenance	750.00	-	(500.00)	250.00	Underspent as no trail repairs we needed and was able to receive bulk pricing for new trail post and signs.
Total:		\$ 500.00		\$ (500.00)		
Dean Property (01-09)						
01-09-770-001	Electricity	\$ 450.00	\$ 150.00	\$ -	\$ 600.00	New parking lot installed in Spring, which resulted in higher cost as did not have last fiscal year.
01-09-750-009	Roads/Bike Path Services	3,500.00	-	(150.00)	3,350.00	Underspent as I-294 corridor project is taking longer than expected. \$1000 (split rail fence) and \$1,500 (trail improvements and signage) were not purchased as a result.
Total:		\$ 150.00		\$ (150.00)		
Professional Services (01-10)						
01-10-821-000	General Counsel	\$ 25,000.00	\$ 25,000.00	\$ -	\$ 50,000.00	Increased work by legal counsel in response to increased requests under the FOIA, complaints filed with the Public Access Counselor, review of several licensing agreements, and assistance with the solar electricity project.
01-04-800-006	Park Equip. Replace. & Repair	8,700.00	-	(6,500.00)	2,200.00	YTD actual balance approximates \$2,002. Underspent as the picnic tables (\$7,200 budget) cost came from Special Recreation funds (09-01) as these were ADA-compliant picnic tables.
01-04-800-010	Concession Stand Equipment	7,350.00	-	(4,000.00)	3,350.00	Did not purchase all food prep planned, as we determined it wasn't worth the revenue payback
01-15-650-000	Group Medical & Life	167,909.02	-	(14,500.00)	153,409.02	Staffing changes (split between departments) resulted in reduced costs in this area
Total:		\$ 25,000.00		\$ (25,000.00)		
Information Technology (01-14)						
01-14-630-000	Full-Time Personnel	\$ 72,306.24	\$ 1,200.00	\$ -	\$ 73,506.24	Vacation Payout to 529 College Savings Plan.
01-14-700-000	Professional Organizations	515.00	15.00	-	530.00	Under budgeted \$15
01-14-675-000	Software Licen. & Contracts-Corp.	29,658.60	3,000.00	-	32,658.60	Overall, software prices increased more than budgeted.
01-14-823-010	Computer Tech./Out-Source	16,000.00	-	(4,215.00)	11,785.00	Completed more projects internally without outsourcing.
Total:		\$ 4,215.00		\$ (4,215.00)		
Building/Recreation Center (01-15)						
01-15-630-000	Full-Time Personnel	\$ 292,918.11	\$ 2,500.00	\$ -	\$ 295,418.11	Slightly underestimated full time wages by less than 1%.
01-15-690-003	Staff Training	500.00	200.00	-	700.00	Increase expense from CPR/AED Staff Certification across all departments.
01-15-710-000	Postage Meter Refills	\$ 150.00	50.00	-	200.00	More mail sent than initially anticipated
01-15-730-001	Office Supplies	1,000.00	500.00	-	1,500.00	Underestimated increase in FRC Front Desk member card supplies.
01-15-840-002	Mastercard/Visa Fees	16,808.00	2,500.00	-	19,308.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
01-15-790-001	Janitorial Supplies/Cleaning Products	15,100.00	2,000.00	-	17,100.00	Increased spending caused by higher than expected usage.
01-15-650-000	Group Medical & Life	153,409.02	-	(3,250.00)	150,159.02	Staffing changes (split between departments) resulted in reduced costs in this area
01-15-631-001	Part-Time Personnel Front Desk	192,144.92	-	(4,500.00)	187,644.92	Decrease due to vacant PT-IMRF Customer Service Representative position.
Total:		\$ 7,750.00		\$ (7,750.00)		

OAK BROOK PARK DISTRICT
EXHIBIT A
BUDGET TRANSFERS- FISCAL YEAR 2025-2026

Fund and Department	Account Description	Original/ Updated Budget Balance	Transfer To	Transfer From	Revised Budget Balance	Explanatory Information
Central Park West (01-20)						
01-20-630-000	Full-Time Personnel	\$ 12,848.16	\$ 250.00	\$ -	\$ 13,098.16	Slightly underestimated full time wages (less than 2%).
01-20-740-000	Alcohol Permits	2,850.00	1,500.00	-	4,350.00	More renters purchased alcohol permits than anticipated.
01-20-840-002	Mastercard/Visa Fees	612.00	3,000.00	-	3,612.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
01-20-750-000	General Maintenance	3,500.00	2,500.00	-	6,000.00	Increased spending caused by sewer line backing up into Cental Park West basement. \$5,337 for professional cleaning and sanitizing of the basement.
01-20-750-004	Plumbing Service & Repairs	1,250.00	2,500.00	-	3,750.00	Increase due to sewer line backing up into Cental Park West basement. \$1,261 to rod out inside sewer line to catch basin. \$1,960 to hydro jet the sewer line and vacuum out sewer basin. (Ins. claim)
01-20-765-500	Cocoa Cabin Supplies	4,626.50	8,000.00	-	12,626.50	Cocoa Cabin Sales were much higher than budgeted; therefore, more supplies were needed.
01-15-770-000	Natural Gas	17,800.00	-	(1,750.00)	16,050.00	Warmer weather resulted in slightly reduced natural gas consumption
01-15-770-001	Electricity	44,000.00	-	(5,500.00)	38,500.00	Illinois "carbon-free energy adjustment" credits applied this fiscal year, reducing costs
01-15-770-002	Water	23,995.00	-	(2,500.00)	21,495.00	Water use slightly lower than anticipated
01-04-631-040	Part-Time Concessions Personnel	5,808.00	-	(4,500.00)	1,308.00	Concession hours and staffing were reduced below plan to be more profitable.
01-04-765-040	Concession Supplies	6,250.00	-	(2,500.00)	3,750.00	Concession sales were lower than budgeted; therefore, fewer supplies were needed.
01-05-631-000	Part-Time Personnel	34,413.60	-	(1,000.00)	33,413.60	Over estimated the number of part time labor hours required during the fiscal year.
Total:		\$ 17,750.00	\$ (17,750.00)			
Grand Total General Fund Budget Transfers: \$ 72,895.00						
Total FY 2025/2026 General Fund Original Appropriation Amount: \$ 3,495,780.00						
Maximum Amt. of Intra-Fund Budget Transfers (Limited to 10%): \$ 349,578.00						
Administration (02-01)						
02-01-680-002	Advertising	\$ 300.00	\$ 15.00	\$ -	\$ 315.00	Higher than usual job openings that needed to be published.
02-01-710-000	Postage Meter Refills	350.00	75.00	-	425.00	More mail sent than initaly anticipated
02-01-631-000	Administration Part-Time	14,563.96	-	(90.00)	14,473.96	Over estimated the number of part time labor hours required during the fiscal year.
Total:		\$ 90.00	\$ (90.00)			
Fitness Center (02-21)						
02-21-630-000	Full-Time Personnel	\$ 92,601.60	\$ 2,000.00	\$ -	\$ 94,601.60	Underestimated full time wages by 2%
02-21-650-000	Group Medical & Life	14,237.50	3,000.00	-	17,237.50	Underestimated health insurance premium costs.
02-21-710-000	Postage Meter Refills	350.00	100.00	-	450.00	More mail sent than initaly anticipated
02-21-730-001	Office Supplies	720.00	280.00	-	1,000.00	Increased cost of copy paper and supplies
02-21-740-005	Mastercard/Visa Fees	30,228.00	6,000.00	-	36,228.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
02-21-790-008	First Aid Supplies	250.00	150.00	-	400.00	Increased cost of replacement AED Pads.
02-21-640-002	Fitness Contractual Instruction	-	2,500.00	-	2,500.00	Contractual Instruction expenditures were not included in the adopted budget.
02-21-820-000	Overhead Expenditure Allocation	155,858.00	-	(14,030.00)	141,828.00	Allocation based on expenditures that were lower than anticipated.
Total:		\$ 14,030.00	\$ (14,030.00)			

OAK BROOK PARK DISTRICT
EXHIBIT A
BUDGET TRANSFERS- FISCAL YEAR 2025-2026

Fund and Department	Account Description	Original/ Updated Budget Balanc	Transfer To	Transfer From	Revised Budget Balance	Explanatory Information
Aquatic Center (02-25)						
02-25-710-000	Postage Meter Refills	\$ 350.00	\$ 100.00	\$ -	\$ 450.00	More mail sent than initaly anticipated
02-25-740-005	Mastercard/Visa Fees	25,322.00	5,000.00	-	30,322.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
02-25-750-050	Plumbing Service & Repair	1,500.00	11,000.00	-	12,500.00	Emergency repair to spa as a result of multiple under ground leaks within the pipe system. Overall cost for repair was \$15,796. \$12,450 for leak repair (pipe relining) and \$3,346 (leak detection).
02-25-705-001	Birthday Party-Group Rentals	33,560.00	12,000.00	-	45,560.00	Aquatic Parties were much higher than budgeted, therefore, more supplies were needed.
02-25-820-000	Overhead Expenditure Allocation	155,858.00	-	(28,100.00)	127,758.00	Allocation based on expenditures that were lower than anticipated.
Total:		\$ 28,100.00		\$ (28,100.00)		
Children's Programs (02-30)						
02-30-640-215	Youth Basketball Contract. Instruction	\$ 189,250.00	\$ 8,000.00	\$ -	\$ 197,250.00	Increased enrollement which increased costs and generated more revenue.
02-30-840-002	Mastercard/Visa Fees	26,723.00	-	(5,000.00)	21,723.00	Despite an overall increase in credit card payments to the District, we overestimated the fees for our Children's Programs department.
02-30-765-200	Athletic Fencing Supplies	1,000.00	-	(500.00)	500.00	Purchased less then antipated
02-30-765-215	Youth Basketball Supplies	1,000.00	-	(500.00)	500.00	Purchased less then antipated
02-30-631-216	Youth Basketball Wages	18,720.00	-	(2,000.00)	16,720.00	Fewer hours than budgeted
Total:		\$ 8,000.00		\$ (8,000.00)		
Preschool Programs (02-31)						
02-31-840-002	Mastercard/Visa Fees	\$ 14,204.00	\$ 1,500.00	\$ -	\$ 15,704.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
02-31-631-003	Begining Preschool Wages	31,592.65	-	(1,500.00)	30,092.65	2s teacher movement with the program
Total:		\$ 1,500.00		\$ (1,500.00)		
Youth Programs (02-32)						
02-32-740-005	Mastercard/Visa Fees	\$ 9,300.00	\$ 3,000.00	\$ -	\$ 12,300.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
02-32-640-050	Youth Contracted Instruction	13,232.00	-	(3,000.00)	10,232.00	Less programs ran then antipated
Total:		\$ 3,000.00		\$ (3,000.00)		
Adult Programs (02-40)						
02-40-631-181	Part-Time Personnel Pickleball	\$ 41,814.00	\$ 5,000.00	\$ -	\$ 46,814.00	Increased pickleball offerings due to demand.
02-40-640-350	Dance Contractual Instruction	5,600.00	-	(2,500.00)	3,100.00	Not all dance programs ran as planned.
02-40-840-002	Mastercard/Visa Fees	7,065.00	-	(500.00)	6,565.00	Despite an overall increase in credit card payments to the District, we overestimated the fees for our Adult Programs department.
02-40-765-181	Pickleball Supplies	5,400.00	-	(2,000.00)	3,400.00	Less supplies and replacement equipment needed for programs.
Total:		\$ 5,000.00		\$ (5,000.00)		

OAK BROOK PARK DISTRICT
EXHIBIT A
BUDGET TRANSFERS- FISCAL YEAR 2025-2026

Fund and Department	Account Description	Original/ Updated Budget Balanc	Transfer To	Transfer From	Revised Budget Balance	Explanatory Information
Pioneer Programs (02-50)						
02-50-650-000	Group Medical & Life	\$ 7,779.25	\$ 500.00	\$ -	\$ 8,279.25	More than expected due to personal changes.
02-50-840-002	Mastercard/Visa Fees	1,687.00	500.00	-	2,187.00	Increased revenues with increased payments to the District via credit card are resulting in higher than expected credit card fees.
02-50-760-000	Pioneer Classes	5,790.00	2,500.00	-	8,290.00	Class participation higher, so supplies and program materials increased.
02-50-754-300	Trip Admissions	18,000.00	7,000.00	-	25,000.00	Trip revenues were higher, so admissions increased.
02-50-756-230	Luncheon Catering	800.00	7,000.00	-	7,800.00	Planned a Pioneer Holiday Lunch at Gibsons; revenue offset this cost.
02-80-650-000	Group Medical & Life	53,666.20	-	(17,500.00)	36,166.20	Temporary vacancy in a position resulted in lower than expected insurance premium costs
Total:		\$ 17,500.00		\$ (17,500.00)		
Special Events and Trips (02-60)						
02-60-752-005	Contract Services-Autumn Fest	\$ -	\$ 250.00	\$ -	\$ 250.00	Used more contract services and fewer program materials.
02-60-765-034	Program Materials-Cust. Appreciat.	500.00	-	(250.00)	250.00	Used more contract services and fewer program materials.
Total:		\$ 250.00		\$ (250.00)		
Marketing (02-80)						
02-80-710-002	Special Mailings	\$ 4,000.00	\$ 1,250.00	\$ -	\$ 5,250.00	Did not budget enough for the quarterly newsletter.
02-80-650-000	Group Medical & Life	36,166.20	-	(1,250.00)	34,916.20	Less than expected due to personal changes.
Total:		\$ 1,250.00		\$ (1,250.00)		
Grand Total Recreation Fund Budget Transfers: \$ 78,720.00						
Total FY 2025/2026 Recreation Fund Original Appropriation Amount: \$ 5,397,536.00						
Maximum Amt. of Intra-Fund Budget Transfers (Limited to 10%): \$ 539,753.60						
Tennis Center- Administration (07-01)						
07-01-630-000	Full-Time Personnel	\$ 345,951.60	\$ 25,000.00	\$ -	\$ 370,951.60	1 Employee switched from Part time to full time
07-01-650-000	Group Medical & Life	96,589.27	5,000.00	-	101,589.27	Benefits for 1 new full time employee
07-01-631-000	Part-Time Personnel	138,000.00	-	(20,000.00)	118,000.00	Hours from 2 Part time employees were covered by 1 full time employee
07-01-910-000	IMRF-Employer Contribution	35,000.00	-	(10,000.00)	25,000.00	Less than expected
Total:		\$ 30,000.00		\$ (30,000.00)		
Tennis Center- Building (07-71)						
07-71-780-000	Risk Management/PDRMA	44,920.42	50.00	-	44,970.42	Tennis fund's portion of the annual PDRMA premium slightly higher than originally budgeted. Less than \$50 difference.
07-71-910-000	IMRF-Employer Contribution	12,000.00	-	(50.00)	11,950.00	Less than expected
Total:		\$ 50.00		\$ (50.00)		

OAK BROOK PARK DISTRICT
EXHIBIT A
 BUDGET TRANSFERS- FISCAL YEAR 2025-2026

Fund and Department	Account Description	Original/ Updated Budget Balance	Transfer To	Transfer From	Revised Budget Balance	Explanatory Information
Tennis Center- Programs (07-75)						
07-75-800-000	Ball Machines & Repairs	\$ 1,500.00	\$ 600.00	\$ -	\$ 2,100.00	Ball machine control board needed replacement
07-75-915-000	Social Security Contributions	32,000.00	100.00	-	32,100.00	Employer portion of payroll taxes slightly higher than originally budgtd. Less than \$100 difference.
07-75-782-000	Tournament Expenses	6,000.00	-	(700.00)	5,300.00	Lower level tournaments needed less officials
Total:		\$ 700.00	\$ (700.00)			
Grand Total Recreational Facilities Fund Budget Transfers: \$ 30,750.00						
Total FY 2025/2026 Rec. Fac. Fund Original Appropriation Amount: \$ 2,656,854.00						
Maximum Amount of Intra-Fund Budget Transfers (Limited to 10%): \$ 265,685.40						



Oak Brook Park District

BOARD MEETING

AGENDA ITEM –HISTORY/COMMENTARY

ITEM TITLE: GENERAL USE REGULATIONS CHAPTERS 2-3

AGENDA NO: 8 C

MEETING DATE JUNE 15, 2026

STAFF REVIEW:

Deputy Director, Bob Johnson:

RECOMMENDED FOR BOARD ACTION:

Executive Director, Laure Kosey:

ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):

The Oak Brook Park District maintains General Use Regulations to establish and maintain control over District property and its uses by the public. The district is in the process of evaluating and updating the nine chapters and sub-sections of the regulations.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):

Chapter two is the Protection and Use of District Property and chapter three is focused on Animals in and on district properties. A red-lined draft of proposed updates is included for Board review.

ACTION PROPOSED: A motion (and a second) to approve the proposed updates to the General Use Regulations chapters 2-3.



Oak Brook Park District
Administrative Policies and Procedures

Chapter 2. Protection and Use of District Property

Sec. 2.1 Public Use; Hours

a) Regular Hours:

1) Except as otherwise provided in this section, and except for Central Park, District property shall be open to the public from sunrise in the morning until sunset in the evening of the same day, and shall be closed to the public from sunset each day until sunrise the following day, unless in connection with a District-sponsored function or unless a pPermit therefor has first been obtained from the District. The Board may establish other hours during which District property or any parts thereof shall be opened or closed to the public. The District may periodically revise these hours.

2) The general hours of operations for District facilities located in Central Park shall be published in the District's Program Brochure and on its website. Central Park shall be open to the public from sunrise in the morning until sunset in the evening of the same day, except for portions utilized for facility parking or portions granted extended hours of use by pPermit. Only the lighted portion of such facilities, parking lots and fields shall remain open after sunset.

3) No Person shall use, occupy, be in, or remain upon District property or leave any personal property in or upon District property which is closed to the public, or after closing hours, unless a pPermit ~~therefor~~ has first been obtained from the District.

b) Special Closings. The District may close one or more parts of District property, including athletic fields, facilities, or any part thereof, to the public at any time and for any interval of time, either temporarily or at regular intervals, and either entirely or only as to certain uses, as deemed advisable and in the best interest of the public and the District.

c) Schedules, Fees, Rules, and Regulations. Time schedules for the operation of, and the activities to be conducted on District property, and the amount of facility permit and program fees may be reviewed and approved periodically by the Board. As permitted by law, fees charged to non-residents of the District need not be the same as fees charged to residents of the District. The Board may otherwise establish policies, rules, and regulations for proper conduct by Persons using District property. Specific policies, rules and regulations pertaining to District property and programs may be posted at or on the applicable District property, published in the District's Program Brochures, or otherwise made available to the users of District property, who shall be charged with actual knowledge thereof and



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shall obey or comply with all such policies, rules, and regulations. All Persons shall abide by all District ~~polices~~ policies, rules and regulations and with the direct orders or requests of employees or agents of the District when using District property.

d) Admissions/Identification. No Person shall enter into, or be or remain in or upon District property without paying any required admission fees, without complying with any required registration requirements that may be established by the District, and without displaying any required admission identification. All required admission identification cards, papers and tickets are non-transferable and must be individually registered, unless otherwise specifically noted thereon. A charge may be made by the District for replacing required lost admission identification cards, papers, and tickets.

e) Unsupervised Minimum Age. For all open-use facilities, including but not limited to the Fitness Center, Track, Open Gym, and Family Aquatic Center, the minimum age requirement for using open-use facilities is 14 years and older. Children aged 13 and under must be accompanied and supervised by someone 16 years or older.

individuals aged 14 and older may use the facilities unsupervised. Children aged 13 and under shall be supervised by someone who is at least 16 years old.

e)f) Sec. 2.2 Bringing Plants, Shrubs or Trees Prohibited

No Person shall bring into or upon District property any tree, shrub, or plant, or portion thereof that was not purchased by the District for planting or use on District property; provided that any Person who has obtained a pPermit to use District property, or any portion thereof, for an event, may bring plants or flowers onto District property for use only in conjunction with such event.

Sec. 2.3 Camping

a) No Person shall place, erect, or use any hammock, swing, tent, shelter or any other type of temporary or permanent camping equipment, or otherwise camp in any manner on District property, unless a pPermit therefor has first been obtained from the District.

b) Persons holding a valid camping pPermit may display signs in accordance with Section 4.2(b)(4) of these Regulations.

Sec. 2.4 Criminal Trespass to Property

No Person shall:

a) Enter or remain in any building or portion of District property where Persons are prohibited by the District from entering by a sign or other notice, including where use is restricted ~~to Persons of the opposite sex,~~ except as otherwise specifically



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provided in these Regulations:



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- b) Enter or remain in or on any District property when it is closed to the public;
- c) Climb, walk or sit upon any sign, wall, fence, building, railing or fountain on District property that is not specifically designated or customarily used for such purposes;
- d) Go upon any lawn, grass plot, planted area, tree, shrub, monument, fountain, sculpture or structure where access is prohibited by a sign or other notice, or where access is restricted by a fence or other physical barrier;
- e) Enter any District property that is reserved or scheduled for a specific group or activity, unless such Person is invited by the individual or group responsible for such activity, and unless such Person has paid any applicable required admission and/or registration fees;
- f) Enter or remain on District property if ~~his or her~~their admission privileges have been terminated, revoked, forfeited or suspended or if ~~his or her~~their permit, pass, ticket or membership card for admission to, or use of, the specific District property which ~~he~~-they enters has been suspended or revoked.

Sec. 2.5 Damage to District Property

Unless authorized by a written agreement with the District or unless a ~~p~~Permit therefor has first been obtained from the District, no ~~p~~Person shall, while in or on District property:

- a) Deface, paint or write on, post or otherwise affix, any printed or written words, symbols, materials, or other marks to, disfigure, break, cut, injure, destroy, tamper with or displace, or remove in or from any District property or building or other part thereof, any table; bench; fireplace; coping; lamp; post; fence; wall; monument; sculpture; bridge; athletic court or field and its related apparatus, telephone, ~~washroom~~restroom, refuse container, exhibit or display, tool or equipment; vehicle; machine; playground structure; paving or paving material; water line or other public utility or parts or appurtenances thereof; sign, notice or placard, whether temporary or permanent; equipment, facilities or other structure; or other District property or appurtenances whatsoever, either real or personal;
- b) Destroy, cut, break, injure, disturb, sever from the ground or remove any sod, soil, earth, rock, stone, timber, wood, material, or growing thing, including, but not limited to, any plant, flower, flower bed, shrub, tree, growth, or any branch, stem, fruit, or leaf thereof; or bring into or have in his/her possession in or on District property any tool or instrument intended to be used for the cutting thereof, or any



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garden or agricultural implements or tools that could be used for the removal thereof;

c) Set fire to any trees, shrubs, plants, flowers, grass, plant growth or living timber, or allow any fire upon land to extend onto District property;

d) Throw, carry, drag, push or deposit in any District waters any refuse container, picnic table, barricade or other movable or unmovable property; or move, stack or hide any such property in such a way as to render it unavailable to the public for its intended use, cause a hazard to public safety, or damage or destroy such property;

e) Operate or drive any motor car, automobile or vehicle of any kind in or on District property in places other than roadways or in such a manner as to cause the same to collide with, run against, strike or cause to strike, injure, deface or damage any District property or appurtenance of any kind; or use any wheeled vehicle, including any object or toy that has rotating or rolling wheels or that propels a rider, at any time on any hard surfaced tennis, pickleball or basketball court, including, but not limited to, personal mobility devices, bicycles, skateboards, roller skates, roller blades, pedal or push toys, scooters, wagons and remote controlled toys;

f) Fasten any animal or attach any rope, sign, handbill or other things to any tree or shrub or to any protective device around any tree or shrub growing in or on the District property;

g) Allow any animal under the Person's ownership or temporary care to injure or deface any tree, plant, shrub, lawn or grassplot in any manner whatsoever. An animal is under a Person's temporary care if the animal was brought upon District property by the Person or by a minor under the Person's temporary or permanent care;

h) Fasten any personal mobility device, bicycle, motorcycle, ~~moped~~ or other vehicle to or leave the same standing so as to injure any tree, shrublandscaping, lawn ~~or grass plot~~; or other surface or park feature.

i) Deface, destroy, cover or otherwise make unreadable any traffic warning ~~or prohibitory~~ sign or symbol in or on District property;

j) Mark, carve, bend, cut, paint, deface, breakdown, destroy, damage, alter, change, sever, uproot, excavate or otherwise remove, or attach or suspend any rope, wire or other material or contrivance to or from any District property;

k) Fail to maintain District property in a neat and sanitary condition; or

l) Bring into, throw, cast, drop, deposit, or otherwise leave or lay down any smoke bomb, fireworks, or other offensive smelling compound on District property.



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Sec 2.6 Encroachment on District Property

- a) No Person shall construct, place, plant, or otherwise locate on District property any improvement, fixture, or plant material, or otherwise encroach upon District property, unless an easement, license, or ~~p~~Permit therefor has first been obtained from the District.
- b) Any Person who violates Section 2.6 (a) of this section shall, at his or her sole cost and expense, remove any encroachment from District property within sixty (60) days after receiving a written demand from the District.
- c) The District may remove any encroachment(s) from District property and assess the Person who violated this section the cost of removing such encroachment(s), and such charge shall be in addition to and not in lieu of any penalties or remedies provided for in these Regulations or other applicable law.

Sec. 2.7 Pools

The following rules and regulations shall apply to all District swimming pools:

- a) All swimming pools shall be open for public swimming during published and posted hours, weather and safety conditions permitting.
- b) No Person shall enter the locker rooms or pool areas without payment of the admission charge that is established by the District, or without displaying the proper membership identification cards that are issued therefor.
- c) No Person ~~under aged ten-thirteen (1013) years of age and younger~~ shall be admitted to the pool area unless ~~he or she is they are~~ accompanied and supervised by ~~a~~Person ~~who legally possesses an adult pass (ages sixteen (16) years old and over) or an adult daily admission, and~~ who demonstrates competency to assume full responsibility for the care and safety of the Person under ~~ten-thirteen(1013) years of age~~ and under.
- d) If any Person shall refuse to obey any orders of lifeguards, managers, aquatic center staff, or any agent of the District, the District may immediately terminate or suspend such Person's rights to use the ~~pool-aquatic center~~ and other District property. Lifeguards are responsible for enforcing safety rules and responding to emergencies. Parents, guardians, or other Persons who are sixteen (16) years of age or older, and who are accompanying a child who ~~is under ten (10) years~~ thirteen (13) years of age and under, shall supervise the child.
- e) No Person shall attempt admission to the pools, and such admission shall be refused, if the Person has a contagious disease; an infectious condition such as a cold, fever, ringworm, foot infection, skin lesions, diarrhea, vomiting, inflamed eyes, ear discharges, or any other condition which has the appearance of being

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infectious; any excessive sunburn; abrasions which have not healed; corn plasters, bunion pads, adhesive tape, rubber bandages, or other bandages of any kind; or if the Person appears to be under the influence of drugs or alcohol or is exhibiting erratic behavior.

f) Persons with qualifying disabilities under state and/or federal law that require reasonable accommodations to enjoy the ~~Family Aquatic Center~~aquatic center should contact the staff of the aquatic center.

g) Food and beverages are allowed ~~in the concession~~concessioning designated areas only. No glass containers are permitted anywhere in the ~~a~~Aquatic ~~c~~Center. Plastic bottles will be allowed in approved areas. Alcoholic beverages are prohibited at or inside the ~~Family Aquatic Center~~aquatic center.

h) In accordance with the Public Health Code, all ~~Persons~~persons are encouraged to take a shower before entering the pool area.

i) Personal conduct within the pool facility must be such that the safety of self and others is not jeopardized. Running and boisterous or rough play are prohibited, except during supervised water sports.

j) Only clean ~~aquatic~~footwear; ~~baby strollers, or wheelchairs and wheeled devices~~ are allowed ~~in the~~around the pool areas or locker rooms. ~~Street shoes are prohibited on the pool deck.~~

k) Spitting, spouting of water, blowing the nose or otherwise introducing contaminants into the pool is prohibited.

l) Glass, soap, or other material that might create hazardous conditions or interfere with efficient operation of the swimming pool are prohibited in the swimming pool or on the pool deck.

m) All apparel worn in the pool shall be clean.

n) All children who are not toilet-trained shall wear ~~tightly fitting rubber or plastic pants, or~~ approved swim diapers.

o) Diving is allowed only in designated areas under the direction of aquatic staff. Diving in water less than four (4) feet deep is prohibited except when allowed for competitive swimming and training.

p) Metal objects, eyeglasses, and jewelry are not permitted on the slide.

q) A Person must be forty-two (42) inches or taller to ride the slide.



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r) Individuals using the slide are asked to slide feet first only. Chain riding is prohibited.

~~s) Guests with medical conditions, including but not limited to heart disease, high blood pressure, or those taking prescription medications should consult a physician before using the whirlpool or water slide. Elderly Persons, those suffering with heart disease or high blood pressure, and Persons using prescription medications should consult with their physicians before using the whirlpool and water slide.~~

~~t)s) Any Person who refuses to obey pool rules or otherwise violates any other provision of these Regulations may be barred by the District from further use of the pool for the remainder of the pool season, in addition to any other penalties set forth in these Regulations.~~

Sec. 2.8 Public Assemblies and Activities

a) No Person shall do any of the following on District property, unless a **pPermit** ~~therefor~~ has first been obtained from the District:

- 1) Call or hold a public assembly, exhibition or entertainment of any description;
- 2) Conduct any musical concert, play any amplified instrument, or set up or use any communication system; or
- 3) Hold or attempt to hold any meeting, assembly, demonstration, celebration, parade, rally, religious worship, or any sponsored entertainment, social, recreational or athletic event/tournaments, or conduct any play class, day camp, sports league activity, fitness class, personal training, or other organized group of any kind, whether organized or conducted for profit or non-profit.

b) Persons desiring to engage in any of the above activities may apply to the District for a written **pPermit** under the policies established by the Board and subject to fees set by the Board.

c) Any Person issued a **pPermit** by the District shall produce the **pPermit** and exhibit it upon request of any District employee or officer.

d) No Person other than a District employee or **law enforcement** officer shall disturb or interfere with any Person occupying District property under the authority of a **pPermit**.

Sec. 2.9 Use of Restrooms, ~~Washrooms~~Restrooms, and Locker Rooms

a) Every Person shall cooperate in maintaining restrooms, ~~washrooms~~ and locker rooms in a neat and sanitary condition.



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b) No Person shall deposit objects of any kind other than toilet paper in the toilets or plumbing fixtures of a restroom, ~~washroom facility~~ or locker room.

c) Except as otherwise permitted in this section for children under the age of three (3), no Person shall enter into or remain in any restroom, restroom washroom, or locker room designated for the opposite sex. Children five (5) years of age and under may use restrooms, washrooms and locker rooms designated for the opposite sex when a family facility is unavailable.

d) No Person shall use any camera, video recorder or other device to record or transmit visual image(s) in or from any rest room, ~~washroom~~ or locker room of the District.



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Chapter 3. Animals

Sec. 3.1 Domesticated Animals and Pets

a) Except for a service animal as defined in the District's "Service Animal Policy," which Policy is attached in Appendix A of these Regulations, and as regulated and restricted by such Policy, no Person shall bring a dog, horse, or other domestic animal into or onto any District property, except as follows:

1) A domesticated animal may generally be brought into an outdoor area; provided that such domesticated animal shall be kept on a leash of not more than six feet (6') in length, that the handler of any such domesticated animal shall have personal control of the domesticated animal at all times and shall not leave the domesticated animal unattended at any time, even if leashed, and that no domesticated animal may be brought into any playground, ~~ball field,~~ athletic field, or splash pad;

2) With the permission of the Executive Director or ~~his/her~~their designee; or

3) In conjunction with an activity or event conducted or sponsored by the District or in conjunction with a zoo, museum, nature center, or similar facility controlled, permitted or licensed by the District.

b) All owners or Persons having control of any domesticated animal shall be equipped to remove and properly dispose of any animal waste and shall be responsible to remove any ~~excrement~~waste from District property left by such animal.

c) Any domesticated animal found on District property in violation of subsections (a) or (b) may be apprehended, removed to an animal shelter, public pound, or other place provided for that purpose and, unless the owner claims the animal and is financially responsible for violations of these Regulations, such animal may be disposed of pursuant to the applicable laws or ordinances of the State of Illinois and DuPage and Cook Counties. The owner or Person responsible for such animal shall be responsible for all costs and expenses incurred or encumbered in the removal and boarding of such animal, and such charge shall be in addition to and not in lieu of any other penalties provided for in these Regulations, or any applicable federal, state, local and/ or other District laws, ordinances, rules or regulations.

d) Service animals ~~for the visually impaired~~ and other domesticated animals specially trained to assist Persons with disabilities are excluded from the prohibitions of this section when they are accompanying Persons with disabilities for purposes of providing such assistance. See the District's Service Animal Policy for more detail, which policy is provided in Appendix A of these Regulations.



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Sec. 3.2 Protection of Non-Domesticated Animals, Birds, Fish, and Other Wildlife

For purposes of this section “wildlife” means any bird, mammal, reptile, amphibian, fish, or other non-domesticated animal, or the young or eggs thereof.

a) No Person shall bring or release any wildlife onto District property; provided, however, that the District may bring or release, or permit another Person to bring or release, such proscribed animals onto District property in conjunction with an activity or event conducted or sponsored by the District, or unless a pPermit therefor has first been obtained from the District for the ecological re-establishment at the District’s nature center, in District waters, or at any similar facility maintained by the District.

b) No Person shall feed any wildlife on District property except with the permission of the Executive Director or his/hertheir designee.

c) No Person shall hunt, pursue, hurt, molest, wound, kill, harm, trap, catch, poison, abuse, chase, shoot, touch, throw or propel objects at, endanger in any way, remove or cause to be removed, treat cruelly, or have in possession, any wildlife on, upon, over, or under District property, unless a pPermit therefor has first been obtained from the District, provided, however, that fishing is permitted in accordance with Section 3.2(g) below.

d) No Person shall give or offer any harmful, poisonous, or noxious substance to any wildlife on District property.

e) No Person shall touch, tease, frighten, disturb, or otherwise intentionally interfere with any wildlife while feeding, nesting, breeding, sleeping, resting, flying or engaging in any other activity on, upon, over or under District property, unless a pPermit therefor has first been obtained from the District.

f) No Person shall molest, touch, throw or propel an object at, destroy, dig up, crush, shake, rob or disturb, in any way tamper with or damage the nest, lair, den, burrow, or home of any wildlife found on, upon, over or under District property.

g) Fishing

1) No Person shall fish in District waters in areas at which the District has posted signage prohibiting such activities.

2) Every Person fishing in District waters shall comply with these Regulations, or any applicable federal, state, local, and/or other District



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laws, ordinances, rules, and regulations including, without limitation, conservation laws and licensing requirements.

3) Fishing in District waters shall be conducted by means of a hook and line, with the rod or line being closely attended. No Person shall use drugs, poisons, explosives, electricity, or missiles of any kind to fish in District waters.

4) No Person shall dig, scratch or otherwise disturb District property in order to locate or take bait.

5) Every Person shall carefully and immediately return to the water from which it was taken any fish that does not conform to size or species restrictions imposed by any applicable federal, state, local, or District laws, ordinances, rules, or regulations, or that the Person chooses not to keep.

6) Ice fishing is prohibited on any District waters.

New Business



Oak Brook Park District

BOARD MEETING

AGENDA ITEM –HISTORY/COMMENTARY

ITEM TITLE: APPROVAL OF A TRAVEL EXPENSE FOR COMMISSIONER ATTENDANCE AT THE NATIONAL RECREATION AND PARK ASSOCIATION CONFERENCE HELD IN PHILADELPHIA, PENNSYLVANIA SEPTEMBER 28 - OCTOBER 1, 2026

AGENDA No.: 9 A

MEETING DATE: JUNE 15, 2026

STAFF REVIEW:

Chief Financial Officer, Marco Salinas:

RECOMMENDED FOR BOARD ACTION:

Executive Director, Laure Kosey:

ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):

In accordance with the Local Government Travel Expense Act (ILCS 50/150 *et. seq.*) the Board of Commissioners must approve any commissioner travel expenses by roll call vote during an open meeting.

The National Recreation and Park Association Annual Conference will be held September 28 – October 1, 2026 in Philadelphia, Pennsylvania.

The 2026 NRPA Annual Conference provides more than 200 education sessions through 12 education tracks specifically tailored to parks and recreation. The sessions cover a wide variety of topics such as equity and inclusion, leadership and personnel management, recreation and sports programming, revenue development, customer service and much more. Attendees also will have the opportunity to earn up to 1.4 Continuing Education Units (CEUs).

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):

A cost estimate for commissioner travel is presented on the attached travel cost form. The park district will investigate and use every cost savings available to reduce any travel expense. NRPA is also offering a virtual conference package.

As it is anticipated registration filling up quickly for the NRPA Conference, staff is seeking a confirmation from each commissioner regarding their attendance at the 2026 NRPA conference and to approve the travel expenses for commissioners attending the conference.

ACTION PROPOSED:

For Review and Discussion Only

OAK BROOK PARK DISTRICT

Travel, Meal, and Lodging Expense Reporting & Reimbursement Form

120

Name: Estimate		Title: Commissioner			Dept: Board			Travel Purpose: NRPA Conference 2026 - Philadelphia, Pennsylvania				
PRE-TRAVEL ESTIMATED EXPENSES												
Travel/ Event Date (xx/xx/xx)	Registration	Lodging	Airfare	Taxi/Bus/ Train, etc.	Mileage (net miles x rate)	Parking	Misc. (Tolls)	Meals			Total Estimated Costs	Notes
								Breakfast	Lunch	Dinner		
09/28/26	\$ 795.00	\$ 313.00	\$ 450.00	\$ 65.00				\$ 23.00	\$ 26.00	\$ 38.00	\$ 1,710.00	
09/29/26		313.00		30.00				23.00	26.00	38.00	430.00	
09/30/26		313.00		30.00				23.00	26.00	38.00	430.00	
10/01/26				65.00				23.00	26.00		114.00	
											-	
											-	
											-	
Total:	\$ 795.00	\$ 939.00	\$ 450.00	\$ 190.00	\$ -	\$ -	\$ -	\$ 92.00	\$ 104.00	\$ 114.00	\$ 2,684.00	
Requester Signature:							Date:		2025 Per Mile Reimbursement Rate: \$0.70			
Department Director Approval:							Date:					

This form shall be completed and approved prior to the expected travel date. Once travel has been completed, all final expenses are to be documented on page two of this form. Meal per diem rates vary based on travel locations and destinations. Visit the U.S. General Services Administration website <https://www.gsa.gov/> for the current applicable rates.

Calculation of estimated reimbursable miles for business use of a personal vehicle

Enter one-way travel miles from home location to work location: (A)

Enter one-way travel miles between home location and travel destination: (B)

Enter one-way travel miles between work and travel destination: (C)

Once you have entered mileage information at left, proceed to select the corresponding reimbursement amounts as calculated below. Such amounts are for round-trip travel per day.

- Scenario 1:** Depart from work location, travel to destination, and return to work location. $(C) \times 2 = \text{Net miles}$
- Scenario 2:** Depart from work location, travel to destination, and end at home location. $(C) + (B) - (A) = \text{Net miles}$
- Scenario 3:** Depart from home location, travel to destination, and end at work location. $(B) + (C) - (A) = \text{Net miles}$
- Scenario 4:** Depart from home location, travel to destination, and end at home location. $[(B) - (A)] \times 2 = \text{Net miles}$

<u>Net Miles</u> x	<u>Reimb. Rate</u> =	<u>Reimb. Amt.</u>
0.0	\$0.70	\$ -
0.0		\$ -
0.0		\$ -
0.0		\$ -



Oak Brook Park District

BOARD MEETING

AGENDA ITEM – HISTORY/COMMENTARY

ITEM TITLE: REVISION TO SECTION 4.28 WORK RELATED EXPENSE REIMBURSEMENT OF THE PERSONNEL POLICY MANUAL (REQUIRES WAIVING THE BOARD RULES TO APPROVE AT THIS MEETING)

AGENDA NO.: 9 B

MEETING DATE: JUNE 15, 2026

STAFF REVIEW:

Chief Financial Officer, Marco Salinas:

RECOMMENDED FOR BOARD ACTION:

Executive Director, Laure Kosey:

ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):

Section 4.28 “Work-Related Expense Reimbursement” of the District’s Personnel Policy Manual (“personnel manual”) was initially incorporated into the personnel manual in November 2021.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):

The proposed amendment to the above referenced policy will allow the District to recoup any reimbursement paid to an employee within six months of their voluntary employment termination date with the District. The amending language is highlighted in the accompanying excerpt from our personnel manual.

ACTION PROPOSED:

A Motion (and a Second) to waive the Board’s Rules to approve, at this meeting, revision to Section 4.28 Work Related Expense Reimbursement of the Personnel Policy Manual. A Motion (and a Second) to approve revision to Section 4.28 Work Related Expense Reimbursement of the Personnel Policy Manual.

This Policy is designed to assist employees in reporting and receiving reimbursement for reasonable out-of-pocket expenses incurred while conducting business for, or on behalf of the District. Generally, the Park District anticipates that most employees will not need to incur business expenses in order to perform their job duties. Employees that have been issued a District purchasing card (P-card) should make a reasonable attempt to use such P-card to pay for any necessary business expenses before deciding to pay for such expenses out-of-pocket.

The District expects employees to act responsibly and professionally when incurring business expenses. The District will reimburse employees for reasonable out-of-pocket expenses incurred on behalf of the District and that are pre-approved by either the Superintendent, Department Head, or Executive Director (“supervisor”). This includes, for example, travel, mileage, tools, uniforms, airfare, accommodations, meals, and purchases made on behalf of the District. Employees must exercise care to avoid impropriety or the appearance of impropriety and adhere to the District’s existing purchasing policies, when applicable. Reimbursement is allowed only when reimbursement has not been, and will not be, received from other sources.

Employees must adhere to the following general guidelines in order to be reimbursed for any expenses:

- The District will reimburse employees only for reasonable expenses incurred to discharge their job duties, that inure for the primary benefit of the District and that have been pre-approved by the employee’s supervisor.

Full-time employees that are not currently approved for a remote work arrangement in accordance with Personnel Policy Manual Section “4.27 Working Remotely – Telecommuting”, may also be eligible to receive reimbursement for the costs to purchase eligible safety apparel and non-safety apparel, up to a maximum cost of \$250.00 per fiscal year (12-month period). If the District determines that any portion of a reimbursable purchase is taxable income to the employee, the District shall reimburse the employee an additional 20% of the taxable reimbursement amount.

- Original receipts or other documentation evidencing the out-of-pocket expenses are required for reimbursement. Such documentation shall contain sufficient detail to provide the vendor name, a description of the goods and/or services purchased, the quantity and prices of the goods and/or services, and the date that such purchases occurred. If original documents cannot be provided, employees must submit a signed statement explaining the reason such documents are not available.
- All requests for reimbursements and supporting documentation must be submitted to the Finance Department within thirty (30) days of incurring the expense. Expenses not submitted within thirty (30) days may be ineligible for reimbursement and such determination will be arrived at on an individual basis.
- Any reimbursement that exceeds the actual cost incurred by the employee must be returned to the District within thirty (30) days of reimbursement.
- Any employee who voluntarily terminates their employment will be required to reimburse the District for all monetary reimbursements received under this safety apparel and non-safety apparel program, received within the six months preceding their last day of work.

When submitting business meal expenses for reimbursement, please include:

- The business purpose, and/or
- The names of the participants and their affiliations or other information establishing a business relationship with the individual incurring the expense.
- Please refer to *Personnel Policy Manual Section 3.10 Professional Development and Reimbursement of Expenses* for more detailed guidelines.

If an employee does not comply with the above guidelines, or an expense is not pre-approved by the District, the employee may be denied reimbursement. In addition, if an expense is incurred as a result of an employee's own negligence or misconduct, such expense may not be reimbursed by the District. Falsification of any expense reimbursement, supporting documentation or other misrepresentations in connection with a request for expense reimbursement is subject to discipline, up to and including discharge, regardless of the falsification's discovery date. Employees will be required to repay the District for reimbursements improperly obtained by the employee.

Certain employees are required by the Park District to have mobile devices or other tools in order to perform their job duties. The Park District will either provide Park District-owned mobile devices or tools to such employees or reimburse them for a portion of their monthly expenses (subject to the guidelines in *Personnel Policy Manual Section 5.6 Work-Related Cell Phone Policy*). If you have any questions about whether you are required to have a mobile device or certain tools to perform your job duties and/or if you are eligible for reimbursement for such expenses, please contact the Department Head.

Employees that use personal vehicles for work-related travel will be reimbursed at the federal IRS mileage reimbursement rate if all of the requirements above are met, including that the work-related travel has been approved in advance by their immediate supervisor. Employees will be reimbursed only for mileage in excess of an employee's normal commute to the office.

It is the intention of the District that this policy serves as an "accountable plan" (as described by the IRS) so as to allow employees to exclude such reimbursements from taxable income; however, each employee should consult their own tax advisor to determine how any such reimbursements will affect him/her personally in that regard.

**Oak Brook Park District**

BOARD MEETING

AGENDA ITEM –HISTORY/COMMENTARY

ITEM TITLE: GENERAL USE REGULATIONS CHAPTER 4**AGENDA NO: 9 C****MEETING DATE: JUNE 15, 2026**

STAFF REVIEW:

Deputy Director, Bob Johnson

RECOMMENDED FOR BOARD ACTION:

Executive Director, Laure Kosey

ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):

The Oak Brook Park District maintains General Use Regulations to establish and maintain control over District property and its uses by the public. The district is in the process of evaluating and updating the nine chapters and sub-sections of the regulations.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):

Chapter four addresses personal conduct at the Oak Brook Park District. A red-lined draft is included for Board review and comment.

ACTION PROPOSED: For Discussion Only



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Chapter 4. Personal Conduct

Sec. 4.1 Abandonment of Property

- a) It is unlawful for any Person to abandon any personal property on District property, including, but not limited to, cars, boats, appliances, garbage, furniture, or refuse.
- b) Property left unattended for longer than twenty-four (24) hours or unattended property that interferes with any District visitors' safety, orderly management of District property, or presents a threat to District resources may be impounded or removed by the District at any time. The owner of such property shall be responsible and liable for all costs and expenses associated with the impounding, removal, storage, or other disposal of the property.
- c) Any Person finding lost or unattended property on District property shall report such finding to the District as soon as is practicable. Whenever a District employee finds lost or unattended property on District property he shall report such find to the Director. The District will attempt to make every reasonable effort to locate the property's owner(s).
- d) Unattended property that has been impounded or property that has been found shall be stored for a minimum period of thirty (30) days. All property not claimed shall be disposed of as the District deems appropriate.
- e) In addition to all fines and other penalties for violation of this section, the District may remove and destroy such property and assess the costs for such removal to the Person abandoning the property.

Sec. 4.2 Advertisement, Signs, Peddling, and Solicitation

The purpose of this section is to control commercial enterprises or sales on District property and to ensure the public unimpeded use and enjoyment of District property without being subjected to purely commercial exploitation.

- a) No Person shall offer for sale any articles or things, or conduct or solicit any contributions, business, trade, occupation, or profession on District property, unless a Permit therefor has first been obtained from the District, and when required, the Village of Oak Brook.
- b) No Person shall fix any placard, sign, handbill, pamphlet, circular, or any other writing or printed material or objects containing advertising matter or announcements of any kind whatsoever on any District tree, shrub, post, building, gate, sign, or other District property unless:



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1) The Executive Director or ~~his~~/~~her~~/~~their~~ designee has granted permission therefor;

2) The advertising matter provides information about events, activities, programs and facilities sponsored by the District, sponsored by other governmental entities, or special recreation associations of which the District is a member or with which the District has an agreement;

3) The advertising matter is information displayed or distributed by groups whose purpose is to provide financial or volunteer support for the District and its events, activities, programs, property and facilities; or

4) The Person holds a valid picnic, camping, or special event Permit, in which case the Person shall request the assistance of District staff to display signs to identify the permittee's location or direct others to such location; provided that such signs shall be temporary and shall be removed by the permittee at the termination of the activity or otherwise upon the District's direction in the event the sign poses a safety hazard or includes content that is obscene, abusive or violent; and further provided that such signs are no larger than 24" x 30" and are not attached to any tree shrub, post, building, gate, District sign, or other structure located on District property.

c) No Person shall distribute, display, post, or fix any sign, handbill, pamphlet, circular or any other writing or printed material or objects within any District building, except in areas expressly designated for such use and except with the permission of the Executive Director or ~~his~~/~~her~~/~~their~~ designee.

d) No peddler, vendor, or any other Person shall engage in any activity upon District property for gain, or for which any charge is made, or in any commercial sale, rental, exhibition, or distribution of goods or services, including, without limitation, the giving of instruction or lessons for a fee, unless such Person has first obtained a Permit, license, or contract therefor from the District.

e) No Person shall sell printed or written material on District property unless a Permit has first been obtained therefor from the District.

f) No Person engaged in the activities described in this section shall obstruct or impede pedestrians or vehicles; harass visitors on District property with physical contact or persistent demands; misrepresent the affiliations of those engaged in such activities; misrepresent what the solicited funds will be used for or whether the merchandise is available without cost or donation; or interfere with, interrupt, or engage in conduct incompatible with the purpose of any program, activity, function, and/or special event conducted or sponsored by the District.



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Sec 4.3 Charitable, Religious, Political, or Non-Profit Activities

- a) For purposes of this section, charitable, religious, political, or non-profit activities shall include, without limitation, soliciting contributions, the sale or distribution of merchandise, soliciting votes or circulating petitions for or against any candidate for election to public office or with respect to any referendum or other public question.
- b) Soliciting contributions for charitable, religious, political, or non-profit organizations is permitted on District property provided that a Permit therefor has first been obtained from the District.
- c) The sale or distribution of merchandise by charitable, religious, political, or non-profit organizations is permitted on District property provided that a Permit therefor has first been obtained from the District.
- d) Soliciting votes and circulating petitions for or against candidate for election to public office or with respect to any referendum or other public question is permitted on District property in areas open to the general public without a Permit, subject to the limitations set forth in paragraphs (e) and (h) of this Section 4.3, Section 4.4 and Illinois law.
- e) No Person shall engage in any activity described in subsections (a) through (d) of this Section 4.3 in District buildings or facilities in rooms or other locations in which any program, activity, class, function or special event conducted, sponsored by the District is in progress.
- f) No Person shall distribute, display, post, or fix any sign, handbill, pamphlet, circular or any other writing or printed material or objects within any District building, except in areas expressly designated for such use and except with the permission of the Executive Director or his/her/their designee.
- g) No Person shall fix any placard, sign, handbill, pamphlet, circular, or any other writing or printed material or objects containing advertising matter or announcements of any kind whatsoever on any District tree, shrub, post, building, gate, sign, or other District property except as provided in 4.2(b)(1-4).
- h) No Person engaged in the activities described in this section shall obstruct or impede pedestrians or vehicles, harass park visitors with physical contact or persistent demands, misrepresent the affiliations of those engaged in such activities, misrepresent what the solicited funds will be used for or whether the merchandise is available without cost or donation, or interfere, interrupt, or engage in conduct incompatible with the purpose of, any program, activity, function, and/or special event conducted or sponsored by the District.

Oak Brook Park District
Administrative Policies and Procedures**Sec. 4.4 Fairs and Special Events: Sale and Distribution of Merchandise; Soliciting Contributions**

No Person shall sell and/or distribute merchandise or printed or written materials or solicit contributions, votes or signatures during fairs or special events conducted or sponsored by the District except at a fixed location designated by the District and unless a Permit therefor has first been obtained from the District. The District shall allocate space at the fixed location to applicants on a first-come, first-served basis until no more space remains available.

Sec. 4.5 Aircraft/Model Aircraft/Drones

a) No Person shall fly, cause to be flown or permit or authorize the flying of aircraft of any kind at any time over District property at an elevation lower than the minimum safety requirements established by the Federal Aviation Administration or other governmental authority, at an elevation which is lower than is reasonably safe under the circumstances, or in a manner which endangers the safety of any Person on District property.

b) No Person shall land, cause to be landed, or permit or authorize the landing of any aircraft on District property unless a Permit therefor has first been obtained from the District, except when necessitated by unavoidable emergency.

c) No Person shall bring, use, fly, control, operate; cause to be brought, used, flown, controlled or operated; permit or authorize the bringing, use, flying, controlling or operating, or otherwise participate in the operation of miniature or motorized or wire-controlled or unmanned aircraft systems including model aircrafts and drones, or rockets on or over District property, unless a Permit therefor has first been obtained from the District. For purposes of this section: a) an “unmanned aircraft system” means an unmanned aircraft and its associated elements, including communication links and the components that control the unmanned aircraft, that are required for the safe and efficient operation of the unmanned aircraft in the national airspace system; and b) an “unmanned aircraft” shall mean any aircraft that is operated without the possibility of direct human intervention from within or on the aircraft. Any Person authorized to operate an unmanned aircraft system on District property shall comply with all regulations established by the Federal Aviation Administration, the State of Illinois, the District, Village of Oak Brook and any other governmental authority having jurisdiction over such use and operation of the unmanned aircraft.

d) No Person shall parachute or otherwise descend from an aircraft into or onto District property or cause, permit or authorize another Person to parachute or otherwise descend from any aircraft into or onto District property, unless a Permit



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therefor has first been obtained from the District, except when necessitated by unavoidable emergency.

Sec. 4.6 Alcoholic Liquors/Intoxication

a) The following terms shall have the meanings set forth below for purposes of this section:

“Alcoholic liquor”

Is as defined in the Illinois Liquor Code, 235 ILCS 5/1-1 *et seq.*

“Under the influence”

Means affected by any intoxicating liquor in any determinable manner. A determination of being “under the influence” can be established by a professional opinion, a scientifically valid test, a layperson’s opinion or the statement of a witness.

b) No Person under the influence of alcoholic liquor shall enter into, be, or remain on District property.

c) No Person, other than the District or its authorized agents or permittees, shall bring into; possess; consume; use; sell, serve or otherwise transfer; any alcoholic beverages at any time on District property, unless a Permit has first been obtained from the District for the event for which alcoholic beverages are to be brought in, sold or served, or unless the event will be sponsored by the District. The bringing in, sales and service of alcoholic beverages shall, in all cases, be in accordance with the requirements of the District’s Alcohol Serving Policy and Procedure. Any Permit granted and any District-sponsored event held shall only be for private gatherings that are not open to the public, unless the permittee or the District has obtained a special use Permit from the Village of Oak Brook.

d) Every Person possessing; consuming; using; selling, serving or otherwise transferring alcoholic liquor pursuant to this section shall be subject to and shall comply with these Regulations, and any applicable federal, state, local, and/or other District laws, ordinances, rules, and regulations regarding the possession, use, consumption, or transfer of alcoholic liquor.



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Sec. 4.7 Assault, Battery, Fighting, and Reckless Conduct

No Person shall knowingly start a fight, engage in a fight, or commit any assault, battery, or reckless conduct on District property.

For purposes of this section:

- a) A Person commits an assault when, without lawful authority, ~~he or she~~they engages in conduct which places another in reasonable apprehension of receiving a battery.
- b) A Person commits a battery if ~~he or she~~they intentionally or knowingly, without legal justification, and by any means: (1) causes bodily harm to an individual; or (2) makes physical contact of an insulting or provoking nature with an individual.
- c) A Person commits reckless conduct when ~~he or she~~they: (1) causes bodily harm to or endangers the bodily state of an individual by any means; or (2) performs recklessly any acts which cause harm or endanger safety, regardless of whether the acts are otherwise lawful or unlawful.

Sec. 4.8 Begging and Panhandling

No Person shall beg or panhandle in District buildings, facilities, playgrounds or parks, or at the entrances or stairways of such buildings, facilities, playgrounds, or parks.

No Person begging or panhandling on the District property shall obstruct or impede pedestrians or vehicles; harass park visitors with physical contact or persistent demands; misrepresent ~~his-their or her~~ affiliations; misrepresent what the solicited funds will be used for; or interfere, interrupt, or engage in conduct incompatible with the purpose of any program, activity, function, and/or special event conducted, sponsored licensed or otherwise permitted by the District; or coerce or intimidate another person into giving money, goods or services.

Sec. 4.9 Bicycling

- a) When two or more Persons in a group are operating bicycles, they shall not ride abreast, but shall ride in single file.
- b) No Person shall cling or attach ~~himself/herself~~themselves or ~~his-their~~ bicycle to any other moving vehicle.
- c) The operator of a bicycle shall yield the right-of-way to all pedestrians and vehicles approaching on said roadway.



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- d) No Person operating a bicycle shall carry another Person on the same bicycle unless it is designed to do so. ~~This restriction does not apply to tandem bicycles.~~
- e) No Person shall operate a bicycle on District property between thirty (30) minutes after sunset and thirty (30) minutes before sunrise, without a clear, white, properly lighted headlight, visible under normal atmospheric conditions from the front thereof for not less than five hundred (500) feet and firmly attached to the bicycle, or without a red reflector firmly attached to the bicycle, which is clearly visible in the headlight beam of an automobile for a distance of five hundred (500) feet to the rear of the bicycle.
- f) No Person may operate a bicycle on playgrounds, ~~ball-athletic~~ fields, ~~tennis athletic~~ courts, or sidewalks, except that small children riding three- or more-wheeled cycles may operate such cycles on sidewalks while under the supervision and control of an adult.
- g) No Person shall ride a bicycle on any street or path where signs are posted prohibiting riding bicycles on those streets or paths.
- h) Bicycles shall not, at any time or in any place, be indiscriminately parked by anyone in such manner as to actually or possibly interfere with pedestrians or automobiles. No Person shall leave a bicycle lying on the ground or pavement or set against trees, or otherwise in a place other than a bicycle rack when such a rack is provided and there is space available. No Person shall move or in any manner interfere with any bicycle that is properly ~~parked, or parked or~~ interfere with or in any manner hinder any Person from properly parking a bicycle.
- i) All bicycles, when operated on roadways, shall be kept to the right and shall be operated as nearly as practicable at the right-hand edge of the roadway or sidewalk.
- j) No Person shall operate a bicycle faster than is reasonable and proper, and every bicycle shall be operated with reasonable regard for the safety of the rider and of other Persons and property. No person shall, under any circumstance, operate any bicycle at a speed greater than 20 miles per hour.
- k) Every Person operating a bicycle on District property shall observe all traffic and Illinois Vehicle Code rules and regulations applicable to motor vehicles under these Regulations, except those provisions of these Regulations which, by their nature, can have no application, and except as otherwise provided by this section.



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Sec. 4.10 Boating, Kayaking and Canoeing/Model Watercraft

- a) No Person shall bring into, launch or attempt to launch, use or navigate any boat, kayak, canoe raft, floatation device, or other vessel in District waters, except from such places as may be designated therefor, and then only in compliance with these Regulations, and any applicable federal, state, local, and/or other District laws, ordinances, rules and regulations.
- b) No Person shall use, employ, or be in or upon any District launching ramp, except on the dates and during the hours as established by the District for such use.
- c) All vessels shall be registered with the Illinois Department of Natural Resources according to the Boat Registration and Safety Act, 625 ILCS 45/1-1 *et seq.*
- d) No Person shall bring into, use, control or otherwise participate in the operation of miniature or motorized model watercraft on any District waters, except for a District-sponsored event or unless a Permit therefor has first been obtained from the District.

Sec. 4.11 Bribing Employees

No Person shall give or offer any money, gift, privilege or article of value to any District employee, officer, or agent in order to violate the provisions of these Regulations or any other District ordinance, contract, Permit or statute of the State of Illinois or the United States, or in order to gain or receive special consideration in applying for any use or privilege, or treatment in the use of District property. This section shall apply both on and off District property.

Sec. 4.12 Commercial Photography

No Person shall take or cause to be taken any ~~pictures or recording for still or motion pictures commercial photography, videography, drone filming, or content creation intended for business promotion, advertising, or monetary without first obtaining a permit from the District.(including video tapes), or make sketches or paintings of District property, programs, or events for commercial purposes or for use in commercial advertising, unless a Permit therefor has first been obtained from the District.~~



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Sec. 4.13 Disorderly Conduct

- a) No Person shall hinder, interfere with, or cause or threaten to do bodily harm to any employee or the District while such employee is engaged in performing his or her duties in and on behalf of the District.
- b) No Person shall commit any act in such an unreasonable manner as to alarm or disturb another and to provoke a breach of the peace.
- c) No Person shall engage in violent, abusive, indecent, profane, boisterous, unreasonably loud, or otherwise disorderly conduct under circumstances in which such conduct tends to cause or provoke a disturbance or a breach of peace.
- d) No Person shall congregate with other Persons on District property with the intent to restrict vehicular or pedestrian traffic or with the intent to restrict the free ingress to or egress from District property and fails to comply with a lawful order of the Village of Oak Brook Police to disperse.
- e) No Person shall commit any other act which may be defined as disorderly conduct under the Illinois Criminal Code, 720 ILCS 5/26-1, 2, 3, or 4.

Sec. 4.14 Drugs/Cannabis/Controlled Substances

- a) For purposes of this section, the following words will have the meanings set forth below:

“Cannabis”

Means any substance so defined in the Cannabis Control Act, 720 ILCS 550/1 *et seq.*;

“Controlled substance”

Means any substance so defined in the Illinois Controlled Substances Act, 720 ILCS 570/100 *et seq.*;

“Intoxicating compounds”

Includes all substances listed in the Use of Intoxicating Compounds Act, 720 ILCS 690/0.01 *et seq.*;

“Under the influence”

Means affected by cannabis, any controlled substance, or any intoxicating compound in any determinable manner. A determination of being “under the influence” can be established by a professional opinion, a scientifically valid test, a layperson’s opinion or the statement of a witness.



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b) Except as provided in 4.14(d), no Person shall bring, possess, sell, deliver to another Person or use cannabis or any controlled substance upon District property. No Person shall produce, plant, cultivate, tend or harvest the cannabis plant on or in connection with any District property.

c) Except as provided in 4.14(d), no Person under the influence of cannabis, intoxicating compound, controlled substance, or any combination thereof, shall enter into, be, or remain on District property.

d) No Person shall bring into or possess cannabis upon District property except as permitted for a registered qualifying patient pursuant to the Compassionate Use of Medical Cannabis ~~Pilot~~ Program Act (410 ILCS 130/1 et seq.). No Person shall be under the influence of cannabis while on District property except as permitted for a registered qualifying patient pursuant to the Compassionate Use of Medical Cannabis ~~Pilot~~ Program Act.

Sec. 4.15 Dumping, Polluting, and Littering

a) No Person shall litter, cast, throw, drop, leave, scatter, place, pile, or otherwise dump, or deposit in any manner, any kind of dirt, rubbish, placard, handbill, pamphlet, circular, book, notice, flyer, other promotional material, paper of any kind, ashes, garbage, waste material, including yard waste and/or tree branches and construction debris, manure, snow, ice, or other substance, whether liquid or solid, or any other refuse in or upon District property, unless a Permit therefor has first been obtained from the District; provided, however, that paper, glass, cans, garbage and other refuse resulting from picnics or other lawful use of District property shall be deposited in receptacles provided by the District for that purpose. Where receptacles are not provided, are missing, or are full to capacity, all such garbage, refuse, or other material shall be carried away from the area of use by the Person responsible for its creation and ~~presence, and~~ presence and shall be properly disposed of elsewhere. Individuals found to be dumping, polluting, and littering in violation of section 4.15 may be subjected to fines, cost recovery for cleanup and remediation, and other applicable enforcement measures.

b) No Person shall urinate or defecate on District property other than in toilets in restroom facilities expressly provided for such purposes.

c) No Person shall drain refuse from a trailer or other vehicle on District property.

d) No Person shall bathe or wash themselves or food, clothing, dishes, or other property at water outlets, fixtures or pools on District property, except at those areas designated by the District for such use.

e) No Person shall pollute or contaminate District property.



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- f) No Person shall deposit, dump, throw or place any garbage, refuse, rubbish, construction debris, landscape debris, bottles, cans or other similar containers of any description, or any other liquid or solid that will or may result in the pollution or hindrance of the use of any District waters.
- g) No Person shall dispose of fish remains on District property, unless a Permit therefor has first been obtained from the District.
- h) No Person shall dispose of human or animal waste on District property except at designated locations or in fixtures provided for that purpose.
- i) Any Person violating this section shall be assessed the cost of removing any such improperly deposited substance or material, and such charge shall be in addition to, and not in lieu of, any other penalties provided for in these Regulations, or any applicable federal, state, local, and/or other District laws, ordinances, rules, and regulations.

Sec. 4.16 Fires

No Person shall light, maintain, or make use of any fire on District property, except at such places and at such times as the District may designate for such purpose and under such rules as may be prescribed by the District. In the event the District permits a Person to use such a fire, the Person shall comply with the following requirements in addition to any other rules as may be prescribed by the District:

- a) No fire shall ever be left unattended, and every fire shall be under the continuous care and direction of a competent adult from the time it is kindled until the time it is completely extinguished.
- b) All fires must be properly and completely extinguished prior to any Person leaving the site of the fire.
- c) Dumping of ashes from grills is strictly prohibited.
- d) No Person shall throw or otherwise discard lighted or smoldering material in any manner that threatens, causes damage to, or results in the burning of District property or other District resources, or creates a safety hazard.

Oak Brook Park District
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No Person shall offer for sale, expose for sale, sell, possess, use, or explode any firecracker, torpedo, skyrocket, roman candle, bomb, sparkler, rocket, squib or other fireworks of like construction, or anything containing any explosive or inflammable compound, or any tablets or other device commonly used and sold as fireworks, on District property, unless a Permit therefor has first been obtained from the District, or unless authorized to do so by contract with the District.

Sec. 4.18 Gambling/Fortune Telling

No Person shall play or engage in selling fortunes or futures, games of chance or in any other device or game of chance, hazard or skill on District property, either as a bookmaker, dealer, player or otherwise, for the purpose of gaming or gambling for money or other valuable things, except at a fair, carnival or other organized event conducted or unless a Permit therefor has first been obtained from the District.

Sec. 4.19 Games and Sports/Interference with Other Users

a) No Person shall engage in any sport, game, or amusement on District property where prohibited by the District. No Person shall walk, remain, conduct himself or herself, or go upon any portion of District property designated for any particular game, sport, or amusement in such a way as to interfere with the use of that portion of District property by Persons who are using the same for the particular sport, game or amusement for which it has been designated. No Person shall engage in any permitted activity in a rough or reckless manner so as to endanger, injure or damage any Person or property in any way.

b) No Person shall unreasonably disturb or interfere with any Person occupying an area or participating in any activity on District property under the authority of a Permit.

c) No Person shall use a golf club, baseball bat, tennis racket, or other device, to strike, hit, propel or otherwise throw any object, such as balls or rocks, on District property, except in designated areas, and only as such device is intended to be used.



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Sec. 4.20 Hindering Employees

No Person shall interfere with, unreasonably disrupt, delay, or in any manner hinder any employee of the District engaged in the performance of ~~his or her~~their duties.

Sec. 4.21 Hitchhiking

No Person shall solicit a ride nor stand in or near a roadway on District property for the purpose of soliciting a ride from the operator of any vehicle.

Sec. 4.22 Impersonating an Officer

It shall be unlawful for any Person to unlawfully represent or impersonate any police officer or official of the District or pretend to be such officer or official.

Sec. 4.23 Indecent Conduct

a) No Person shall commit any indecent, lewd or lascivious act on District property, or use abusive, insulting, or obscene language, or language calculated to occasion a breach of peace on any District property.

b) No Person shall appear on District property in a state of nudity or make any indecent exposure of ~~his~~their Person or be guilty of any other lewd or indecent act or behavior.

c) No Person shall enter or remain in or on any District property unless fully clothed in a manner generally considered to be appropriate for the game, sport, program or event in which such Person is engaged.

d.) No Person shall exhibit, sell, or offer to sell or give away any obscene or indecent book, pamphlet, paper, drawing, movie film, video tape, picture, photograph, or any other obscene or indecent article of any kind while on District property. For purposes of this subsection, obscene shall have the meaning ascribed to it in 720 ILCS 5/11-20.

Sec. 4.24 Loitering

No Person shall loiter or remain on District property either alone or in consort with other Persons in such a manner that: (1) unreasonably obstructs the usual use of entrances, hallways, corridors, stairways, or rooms designated for specific purposes; (2) impedes or disrupts the performance of official duties by District employees; (3) prevents the general public from obtaining the administrative or recreational services provided on District property in a timely manner; (4) restricts



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vehicular or pedestrian traffic or restricts free ingress to and egress from District property after being requested to leave, move, or disperse by any employee of the District, or where the District has posted a sign or signs that prohibit loitering.

Sec. 4.25 Metal Detectors

No Person shall operate any device which is designed for the detection of metal objects on or below District property.

Sec. 4.26 Minors

a) No parent, guardian, or custodian of a minor shall knowingly assist or allow such minor to do any acts on District property in violation of any of these Regulations or any other law, ordinance or rule of the District. A minor is defined herein as any Person who is under the age of eighteen (18) years.

b) The parent or legal guardian of an unemancipated minor who resides with such parent or legal guardian shall be liable for damages caused by the willful or malicious acts of such minor as provided in the Illinois Parental Responsibility Act, 740 ILCS 115/1, *et seq.* This section shall not affect the recovery of damages in any other course of action where the liability of the parent or legal guardian is predicated on a common law basis.

Sec. 4.27 Mob Action

No Person shall engage in mob action. Mob action consists of any of the following: (1) the use of force or violence disturbing the public peace by two (2) or more Persons acting together without authority of law; or (2) the assembly of two (2) or more Persons to do an unlawful act; or (3) the assembly of two (2) or more Persons, without authority of law, for the purpose of doing violence to the Person or property of anyone supposed to have been guilty of a violation of the law or for the purpose of exercising correctional powers or regulative powers over any Person by violence.

Sec. 4.28 Obstructing Travel

No Person shall set, or cause to be set or placed, any goods, wares, merchandise, or property of any kind so as to obstruct travel on District property.



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Sec. 4.29 Picnics

- a) Picnics may be held in any unrestricted area on District property not specifically set aside for other recreational activity. A Permit is required for group picnics involving ~~ten-fifteen~~ (150) or more Persons. Groups of less than ~~ten-fifteen~~ (4015) Persons do not require a Permit unless the group desires to reserve a designated area or shelter to the exclusion of others.
- b) No Person shall use, infringe upon or disturb a group in possession of a valid Permit for use of District property, except with the permission of the group possessing such Permit.
- c) Persons holding a valid picnic Permit may display signs in accordance with Section 4.2(b)(4) of these Regulations.

Sec. 4.30 Resisting or Interfering With Officer

No Person shall:

- a) Resist any police officer in the discharge of said officer's duties;
- b) Interfere in any way with or hinder or prevent a police officer from discharging ~~his/her~~ their duties as such officer, or offer or endeavor to do so;
- c) Assist any Person in the custody of any member of the police force, in any manner, to escape or attempt to escape from such custody, or attempt to rescue any Person in custody.
- d) No Person shall falsely represent that he is, or otherwise pretend to be, a District officer or employee, a member of the police, or an agent or other representative of the District.
- e) No Person shall knowingly display a false, expired or revoked Permit, pass or membership card, or give a false report or false information (including, without limitation, information requested in a Permit application) for the purpose of misleading a District employee or agent, or a member of the police in the conduct ~~of his~~ their official duties.

Sec. 4.31 Skateboarding and Scooters

No Person using roller-skates, in-line skates, skateboards, scooters, roller-skis, coasting vehicles, or similar devices on District property shall interfere with pedestrian use of sidewalks or use of the streets by vehicles, or otherwise act negligently,

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recklessly or without due caution or in any manner so as to endanger any Person or property. No Person shall use such devices on any District property not designated or customarily used for such purpose or where such use has been posted as prohibited.

Sec. 4.32 Sleeping in or on District Property/Vagrancy

- a) No Person shall sleep on District property at any time, unless a Permit therefor has first been obtained from the District.
- b) No Person shall use District property in a manner designed or calculated to act as a substitute for a residence or means of support, including, but not limited to, such uses as sitting or laying down in locations or facilities or on District equipment or fixtures intended for use by the public for picnicking, playing, or similar activities; storage, whether temporary or permanent, of personal belongings not directly related to the intended or designated use of District property, facilities, equipment or fixtures; and use of park space for extended periods of time for purposes other than those intended or designated for the particular District property, facility, equipment or fixtures.

Sec. 4.33 Sledding/Snowboarding/Ice Skating

- a) No Person shall ice skate, sled, toboggan, inner tube, ski, snowboard, slide, or engage in similar activities on District property except at such times and places as the District may designate for such purposes, and no Person shall drive or walk upon any ice over District waters.
- b) No Person shall engage in any such activity in a reckless manner that endangers that Person or others, or at a speed greater than is safe and proper under the circumstances.
- c) No Person shall use any vehicle to tow, push, pull, or otherwise propel another Person on skis, sled, or other sliding device on District property.

Sec. 4.34 Smoking, E-Cigarettes, and Chewing Tobacco

No Person shall smoke any tobacco products or any e-cigarettes, and no Person shall chew tobacco in or upon any District property which is posted as a non-smoking area and/or non-chewing area. For purposes of this section, “smoking” shall mean the carrying, smoking, burning, inhaling, or exhaling of any kind of lighted pipe, cigar, cigarette, hookah, weed, herbs, vapors, or any other lighted smoking equipment, lighting of cigarettes, electronic cigarettes, cigars or pipes, the carrying of lighted cigarettes, electronic cigarettes, cigars or pipes, or the intentional and direct inhalation of smoke or vapor from these objects.



Oak Brook Park District
Administrative Policies and Procedures

Sec. 4.35 Sound and Energy Amplification

a) No Person shall play or operate any sound amplification devices including public address systems, sound equipment, musical instruments, radios or stereos, noisemakers and the like, or operate any other energy amplification device or musical instrument, unless a Permit therefor has first been obtained from the District, and no such Permit shall be issued or maintained where sound produced by such devices is judged by the District to be a public annoyance. This section shall not apply to the playing of any musical instrument, public speaking, or the amplification thereof, in conjunction with activities conducted, sponsored or licensed by the District.

b) No Person shall make or causes to be made any excessively loud or unreasonable noise, which disturbs the peace. For purposes of this subsection, excessively loud or unreasonable noise is defined as noise inconsistent with or not reasonably attendant to appropriate and customary activities on District property, considering the nature and purpose of the actor's conduct, location, time of day or night, and other factors that would govern the conduct of a reasonably prudent Person under the circumstances.

Sec. 4.36 Swimming

No Person shall bath, swim, wade, float, splash, or otherwise enter District waters other than in District swimming pools.

Sec. 4.37 Theft of Property/Services/Utilities/Technology

No Person shall remove, without the permission of the Executive Director or his/her/their designee, any furniture, equipment, materials, landscaping, tree, rock, soil or other property from any District property.

Nonpayment of any fee or charge required to be paid to the District for use of any property, facility, program, or class of the District or for services rendered is prohibited.

No Person shall transfer, misuse, or tamper with any District membership identification card or any other authorized identification, pass, gift certificate or document issued by the District.

No person shall access, attempt to access, interfere with, damage, or misuse any District technology system, wireless network, security system, or electronic equipment.



Oak Brook Park District
Administrative Policies and Procedures

No Person shall connect to, access, utilize, tamper with, or draw electricity, water, internet, communications services, or other utilities from District property, facilities, equipment, or infrastructure without authorization from the District.

No Person shall connect generators, extension cords, charging devices, lighting equipment, audio/visual equipment, inflatables, food service equipment, or other electrical devices to District electrical systems without prior authorization from the District.

No Person shall alter, open, damage, bypass, or interfere with any electrical panel, outlet, utility connection, communication device, irrigation controller, or other utility-related equipment located on District property.

Any Person authorized to utilize District utilities shall comply with all conditions established by the District and shall be responsible for any damage resulting from such use.



Oak Brook Park District
Administrative Policies and Procedures

Sec. 4.38 Throwing Missiles

No Person shall throw or cast any stones or other missiles on District property, except where such throwing or casting is involved in a recognized game or recreational activity, and then only upon such portions of District property as may be designated for such purpose.

Sec. 4.39 Unlawful Assemblies

It shall be unlawful to collect, gather or be a member of any disorderly crowd, or any crowd gathered together for any unlawful purpose, or for any Person to join in or stay with or near any such gathering.

Sec. 4.40 Unlawful Construction or Maintenance

No Person shall erect, construct, install, perform any maintenance on, below, over, or across any District facility, property, or park, or otherwise place any building, stand, scaffold, platform or other structure of whatever kind, whether stationary or moveable and whether permanent or temporary, except by proper authorization of the District authorizing such activity and then only in accordance with written permission of the District or by written contract with District, specifying in detail the work to be done and the conditions to be fulfilled pursuant to the terms of such authorization.

Sec. 4.41 Weapons and Firearms

a) Except for Persons licensed to carry a concealed firearm under the Illinois Firearm Concealed Carry Law ("Licensee"), and who are using a trail or bikeway only a portion of which includes a public park, no Person other than police officers shall bring, attempt to bring, carry, or use in any way, any gun, pistol or other firearm, or any portion thereof, upon District property. Except for a Licensee, no Person shall have in any vehicle on District property a concealed firearm. A Licensee may carry a concealed firearm on or about ~~his~~-~~their~~ or her person within a vehicle into a parking area on District property and may store a concealed firearm or ammunition concealed in a case within a locked vehicle or locked container out of plain view within the vehicle in the parking area. A Licensee may carry a concealed firearm in the immediate area surrounding ~~his~~-~~their~~ or her vehicle within a prohibited parking lot area on District property only for the limited purpose of storing or retrieving a concealed firearm within the vehicle's trunk. The term "case" as used above includes a glove compartment or console that completely encloses the concealed firearm or ammunition, the trunk of the vehicle, or a firearm carrying box, shipping box or other container.



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Administrative Policies and Procedures

- b) No Person shall bring, attempt to bring, carry, or have in his-their vehicle, or use in any way, any knife having a blade longer than three (3) inches, any air gun, pellet gun, paint-ball gun, or sling shot on District property.
- c) No Person shall bring, attempt to bring, carry, have in his-their vehicle, or use in any way, any explosives, ammunition, or bottles of gasoline with a rag attached.
- d) No Person shall bring, attempt to bring, carry or use in any way, any bow or arrow upon District property, except with the permission of the Executive Director or his/her/their designee as part of a directly supervised District program.
- e) No Person shall use or explode any toy pistol, toy cannon, toy cane, or toy gun in which explosives are used, or use or explode any blank cartridge on District property, except that starter pistols may be used for sporting or athletic events authorized by the District.
- f) No Person, while on District property, shall use; bring onto; carry; have in his-their possession or on or about his-their Person, concealed or otherwise; fire, set off or otherwise cause to explode, discharge or burn; or throw any bludgeon, black-jack, billy-club, sand-club, sand-bag, metal knuckles, throwing star, switchblade knife, ballistic knife, any other dangerous knife (including without limitation, a dirk, dagger, or stiletto), razor, broken bottle or other dangerous piece of glass, liquid or gaseous substance, or any other object not specifically named herein whose intended use is as a weapon.

Sec. 4.42 Display of Permit or Pass

Every Person shall produce or display a Permit or pass when requested to do so by any authorized Person for the purpose of enforcing compliance with any federal, state, local, or District law, ordinance, rule, or regulation, when such Permit or pass is required to engage in an activity on District property.

Sec. 4.43 Misappropriation of Property

- a) No Person shall knowingly obtain or exercise unauthorized control over the property of another.
- b) No Person shall knowingly obtain by deception control over property of another.
- c) No Person shall knowingly obtain by threat control over property of another.



Oak Brook Park District
Administrative Policies and Procedures

- d) No Person shall knowingly obtain control over stolen property knowing the property to have been stolen or under such circumstances as would reasonably induce ~~him~~ them to believe that the property was stolen, where ~~he or she~~ they:
- (1) Intends to deprive the owner permanently of the use or benefit of the property; or,
 - (2) Knowingly uses, conceals, or abandons the property in such a manner as to deprive the owner permanently of such use or benefit; or,
 - (3) Uses, conceals, or abandons the property knowing such use, concealment, or abandonment probably will deprive the owner permanently of such use or benefit.

Sec. 4.44 Reporting of Accidents

Persons involved in an incident on District property resulting in personal injury or property damage, shall report the incident to the Park District as soon as possible, and to the police within twenty-four (24) hours after the incident.

Sec. 4.45 Restrictions Applicable to Specific Recreational Activities

- a) Classes and Camps. No Person shall bring or cause to be brought onto District property any class, play class, day camp, group lesson or similar organized group activity of any kind unless a Permit allowing such use or activity has first been obtained from the District.
- b) Tournaments, Leagues, or Other Organized Recreational Activities. No Person shall utilize any District property, including without limitation playing fields and other District facilities, for tournaments, leagues, or other organized recreational activities and outings unless a Permit allowing such use or activity has first been obtained from the District.
- c) This section does not apply to normal or scheduled District programs or activities. Where a conflict between normal or scheduled District programs or activities and a requested activity occurs, District programs and activities shall take precedence.



Oak Brook Park District

BOARD MEETING

AGENDA ITEM –HISTORY/COMMENTARY

ITEM TITLE: FAMILY RECREATION CENTER EXTERIOR MAINTENANCE BID

AGENDA NO.: 9 D

MEETING DATE: JUNE 15, 2026

STAFF REVIEW: Superintendent of Parks & Maintenance, Jake Stachowiak: *Jake Stachowiak*

RECOMMENDED FOR BOARD ACTION: Executive Director, Laure Kosey: *Laure Kosey*

ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):

The paint on the exterior of the Family Recreation Center is primarily original to construction of the various phases of the facility. The exterior requires maintenance including power-washing, repair of cracks and holes in walls, replacement of caulk joints, and repainting. These repairs will stop and prevent water infiltration while rejuvenating the appearance and longevity of the facility. The exterior walls are made of an Exterior Insulation Finish System, or EIFS, which has an appearance like stucco. The brick masonry on the building is not part of this scope of work.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):

The bid packet includes the following scope of work; Painting of all exterior EIFS walls and accent stripes, exterior ceiling sections, flag poles (3), awning and skylight at the main entrance, window trim around the east elevation of the Family Recreation Center, exterior doors (2), air vents (3), and power washing areas to be painted.

The bid also contains alternates for repair of all EIFS holes and cracks, and replacing all missing, cracked, and deteriorated exterior caulk. The bid and project timeline are as follows:

- Bid Packets Available: June 16, 2026
- Mandatory Pre-Bid Meeting: June 23, 2026
- Bids Due: July 6, 2026
- Recommendation to the Board: July 20, 2026
- Project Commencement: August 24, 2026
- Project Substantial Completion: September 25, 2026

ACTION PROPOSED: For Review and Discussion Only

Oak Brook Park District

Family Recreation Center Exterior Maintenance Bid Packet



Jake Stachowiak, Superintendent of Parks and
Maintenance 630-645-9575

jstachowiak@obparks.org

Bob Johnson, Deputy Director 630-645-9540

bjohnson@obparks.org

Laure Kosey, Executive Director 630-645-9535

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**INVITATION TO BID
OAK BROOK PARK DISTRICT
FAMILY RECREATION CENTER EXTERIOR MAINTENANCE PROJECT**

The Oak Brook Park District (the “District”) is accepting bids for the Family Recreation Center Exterior Maintenance Project.

Sealed bids for Family Recreation Center Exterior Maintenance Project in Oak Brook, IL, shall be received at the Park District offices: 1450 Forest Gate Road, Oak Brook, Illinois 60523 until 11:30 a.m. local time, July 6th, 2026, at which time all bids will be publicly opened and read Aloud.

Work generally includes power washing and preparation of surfaces, followed by painting of exterior EIFS walls, accent stripes, selected ceiling sections, three flagpoles, the main entrance awning and skylight, window trim, doors and air vents around the Family Recreation Center. The bid also contains alternates for repair all EIFS holes and cracks and replacing all missing, cracked, and deteriorated exterior caulk.

Bid documents will be available in PDF format at the District’s website: <https://www.obparks.org/bids-rfps> beginning June 16, 2026 at 9:00am.

A mandatory pre-bid meeting will be held for this Project at the Oak Brook Park District’s Family Recreation Center, 1450 Forest Gate Road, Oak Brook, IL 60523 on June 23rd, 2026 at 1:00 p.m. All potential Bidders for this Project must attend the pre-bid meeting.

The Oak Brook Park District Board of Park Commissioners reserves the right to waive all technicalities, to accept or reject any or all bids, to accept only portions of a bid and reject the remainder without disclosure for any reason. Failure to make such a disclosure will not result in accrual of any right, claim or cause of action by any Bidder against the Oak Brook Park District.

Specifications require the submittal of a 10% Bid Surety with the proposal. In addition, the successful contractor(s) must be able to provide a satisfactory Performance Bond, Labor and Material Payment Bond, and required proof of insurance following the award of a contract.

All contracts for work herein are subject to all Park District rules and regulations and providing for the payment of DuPage County’s prevailing wage rate to all workers involved in these projects.

The Contractor selected will also be required to comply with all applicable federal, state and local laws, rules, regulations and executive orders including but not limited to those pertaining to equal employment opportunity.

The District encourages women and minority business firms to submit bids and encourages bidders to utilize minority businesses for supplies, equipment, and services.

Laure Kosey, Executive Director Oak Brook Park District.

**INSTRUCTIONS TO BIDDERS
OAK BROOK PARK DISTRICT
FAMILY RECREATION CENTER EXTERIOR MAINTENANCE PROJECT**

INSTRUCTIONS TO BIDDERS

The Oak Brook Park District and Owner are one and the same.

The words "Contractor" and "Bidder" shall mean the party bidding for or entering the Contract for the performance of the Work covered by the written Specifications and Drawings, and their legal representatives or authorized agents.

A. BID DOCUMENTS

1. Bid Documents for this Project will be available in PDF format at the District's website: <http://www.https://www.obparks.org/bids-rfps>
2. **A mandatory pre-bid meeting will be held for this Project at the Oak Brook Park District's Family Recreation Center, 1450 Forest Gate Road, Oak Brook, IL 60523 on June 23rd, 2026 at 1:00 p.m. All potential Bidders for this Project must attend the pre-bid meeting.**

B. BID FORM

1. Each bid shall be made on the "Bid Form" furnished by the District. The Bid Form shall be executed properly and all writing, including all signatures, shall be with black ink. Failure to use the Bid Form provided could result in rejection of the bid.
2. All applicable blank spaces on the "Bid Form" shall be fully completed, including the List of Subcontractors and the Bidder's Reference List, and all amounts shall be in words as well as in figures where applicable.
3. The bid shall bear the legal name of the business organization. The signatures shall be in longhand and executed by a duly authorized official of the Bidder's organization and the name of the official and title shall be typed below the signature.
4. Erasures, interlineations, corrections, or other changes on the "Bid Form" shall be explained or noted over the signature of the Bidder. No bid submitted with deviations or reservations from the full contract called for will be considered.
5. Bidders' prices are to include the delivery of all materials; including plant, equipment, supplies, tools, scaffolding, transportation, insurances, bonds, warranties, and all other items and facilities, and the performance of all labor and services, necessary for the proper completion of the Work except as may be otherwise expressly provided in the

Contract Documents. Bids shall not include federal excise tax or state sales tax for materials to be incorporated in, or totally consumed in the prosecution of, the Work. An exemption certificate will be furnished by the Park District upon request of the Bidder.

6. Bidder must acknowledge all Addenda received in the spaces provided on the Contractor Bid Form. By submitting a bid, Bidder indicates that all considerations issued by Addendum are incorporated in the bid.
7. Attached to the Bid Form will be one or more certifications regarding the Bidder's compliance with applicable laws. **Failure of a Bidder to complete/submit a required certification shall be the basis for immediate rejection of that Bidder's bid.** The certification of the successful Bidder shall become a part of the Contract with the Park District.
8. The bids shall be sealed in an opaque envelope, marked with the name of the Bidder, the date and time of the bid, and addressed as follows:

Sealed Bid: Family Recreation Center Exterior Maintenance Project
Oak Brook Park District
1450 Forest Gate Road
Oak Brook, IL 60523

9. **Bid documents shall be delivered or mailed in time for delivery to the foregoing address no later than July 6th, 2026 at 11:30 a.m.** Oral bids or oral modifications to bids will not be considered. It is the sole responsibility of the Bidder to see that their bid is received in proper time. **No faxed or e-mail bid or modification of a bid will be considered.** The Park District is not responsible for the premature opening of bids not marked as required. Any bid opened prematurely due to the failure of the Bidder to mark the envelope in accordance with these Bid Documents will be considered non-responsive.
10. No bid can be withdrawn prior to the opening of the bids unless a written request for any such withdrawal, showing good cause for said withdrawal, is first delivered to the District at the foregoing address prior to commencement of the opening of bids. No Bidder may withdraw a bid after opening of the bids.
11. Bids will be publicly opened on the due date.

C. REQUIREMENTS OF BIDDERS

Bidders must be able to demonstrate that they: 1) have experience in performing and have successfully performed and are still actively engaged in performing work similar in kind and scope to the Work of the Project; and 2) are able to show that they have adequate laborers and materials to successfully complete the Work as indicated in the Bid Documents and within the time required by the Bid Documents. The Contractor shall not have been debarred or determined ineligible for public contracts by any governmental agency.

The following information must be attached to the bid proposal. Failure to do so may result in disqualification of the Bidder.

1. On a separate sheet, list all projects your organization has in progress, giving the name of the project, project description, project address, owner and telephone number, architect and telephone number, contract amount, percent complete, and scheduled completion date.

2. On the Bidder's Reference List form provided herein, list at least three (3) projects your organization has completed in the past five (5) years, which are comparable in scope, giving the name of the project, project description, project address, owner and telephone number.

3. On the List of Subcontractors form provided herein, provide a list of anticipated subcontractors, if any, including their firm names, addresses and telephone numbers. All subcontractors to be used shall be approved by the Owner. If the Contractor subcontracts any part of the Work for this project, the Contractor shall not under any circumstances be relieved of their liabilities and obligations; any subcontractor for this project will be recognized only in the capacity of an employee of the Contractor.

4. On a separate sheet, list all administrative proceedings and litigation filed by or against Bidder in the past five (5) years, including the name and case number, name/jurisdiction of the court or administrative agency, and a summary of each claim/case, including current status and if no longer pending, the disposition. The foregoing includes but is not limited to information regarding any proceedings and actions taken by any governmental agency to debar or disqualify the Bidder from bidding on public contracts, including the name of the agency initiating the proceeding/action, the nature of the proceeding/action, the claimed basis for the proceeding/action and the current status or disposition of the proceeding/action.

5. On a separate sheet, indicate all instances in which Bidder has been rejected for not being a responsible bidder, giving the name of the project, project description, project address, owner and telephone number, architect and telephone number, contract amount, and an explanation of the circumstances surrounding the rejection.

6. On a separate sheet, provide a list of all contracts to which you were a party and with respect to which you were declared to be in breach of one or more provisions, giving the type of contract, the project location where applicable, the names and addresses of the parties to the contract, the name of the party declaring the breach, the nature of the claimed breach and current status or resolution of the claim. If a construction contract, also provide the name, address and telephone number of the architect and, if applicable also the construction manager or Owner's representative.

Other required submittals include: Bid Form; Contractor's Compliance and Certification Attachment/ Substance Abuse Prevention Program Certification. **Failure of a Bidder to**

complete/submit these documents shall be the basis for immediate rejection of that Bidder's bid.

The Park District reserves the right to require of any Bidder such information to verify the Bidder's qualifications and financial status and to withhold formal signing of the contract until such information is received.

D. MODIFICATION OF BIDS

Any Bidder may modify their bid by written notice (signed by the Bidder) at any time prior to the scheduled closing time for receipt of bids, provided that such written notice is received by the District prior to the closing time. Modifications of bid submittals sent by facsimile will not be permitted.

E. EXAMINATION OF CONTRACT DOCUMENTS AND SITE

Each Bidder shall visit the site(s) of the proposed Work and fully acquaint themselves with conditions, as they exist, and shall undertake such additional inquiry and investigation as they shall deem necessary so that they may fully understand the requirements, facilities, possible difficulties and restrictions attending the execution of the Work under the Contract. Bidder shall thoroughly examine and be familiar with all of the Bid Documents including, but not limited to, the Drawings and the written Specifications. Any conflicts or discrepancies found between or among Bid Documents including, but not limited to, the Drawings and written Specifications and the site conditions, or any errors, omissions or ambiguities in the Drawings or written Specifications shall be immediately reported to the Park District and written clarification requested prior to submission of a bid.

The failure or omission of any Bidder to obtain, receive or examine any form, instrument, or information or to visit the Project site(s), and become knowledgeable with respect to conditions there existing, or to seek needed clarification shall in no way relieve any Bidder from any obligations with respect to their bid. By submitting a bid, the Bidder agrees, represents and warrants that they have undertaken such investigation as he deemed necessary, has examined the site(s) and the Bid Documents, has obtained all needed clarifications and where the Bid Documents indicate in any part of the Work, that a given result be produced, that the Bid Documents are adequate and the required result can be produced as indicated in the Specifications and Drawing(s). Once the award has been made, failure to have undertaken and completed the foregoing tasks shall not be cause to alter the original Contract or to request additional compensation.

F. ACCEPTANCE OR REJECTION OF BIDS

The Park District may accept the bid of, and award the contract for the Work to, the lowest responsive and responsible Bidder as determined by and in the sole discretion of the Park District.

The Owner reserves the right to (1) reject all bids; (2) reject only certain bids which are non-conforming or non-responsive to the bid requirements; (3) accept only a portion, part

or specific items of Work of all and reject others, as the Owner shall in its sole discretion determine to be in its best interest; and/or (4) award the Contract to the responsible Bidder submitting the lowest bid responsive to the bidding requirements. No bid will be accepted from or Contract awarded to any person, firm or corporation that is in arrears or is in default to the Park District upon any debt or contract, or that is a defaulter, as surety or otherwise, upon any obligation to said Park District or that has failed to perform faithfully any previous contract with the Park District.

In the event of a rejection of a portion, part, or certain items of Work of all bids, the bid of each Bidder shall automatically be deemed reduced by the amount of such rejected part or item at the unit price or other cost designated therefore by that Bidder on its submitted Contractor Bid Form. The successful Bidder so selected may not refuse to enter into a Contract with the Owner on the basis that the Owner awarded a Contract for less than all portions or items of the Work specified in the Bid Documents. The Oak Brook Park District Board of Park Commissioners reserves the right to waive any technicalities or irregularities, and to disregard any informality on the bids and bidding, when in its opinion the best interest of the Park District will be served by such actions and in accordance with applicable law.

G. SURETY

All bids must be accompanied by a bid bond or bank cashier's check payable to the Oak Brook Park District for ten percent (10%) of the amount of the bid and drawn on a responsive and responsible bank doing business in the United States. All bids not accompanied by a bid security, when required, will be rejected.

The bid security of all except the three (3) lowest responsive and responsible Bidders will be returned after the decision to accept or reject bids by the Oak Brook Park District Board of Park Commissioners. The bid security of the three (3) lowest responsible Bidders will be returned after acceptance by the Park District from the successful Bidder, an acceptable Performance Bond, Labor and Materials/Payment Bond and a certificate of insurance naming the Oak Brook Park District as the certificate holder and as additional insured, and the successful Bidder has executed and returned to the Park District the Contract for the Work presented by the Park District.

Prior to beginning Work, the successful Bidder shall furnish an original Performance Bond, and Labor and Materials/Payment Bond **in the amount of 110% of the Contract Sum**, using a form similar to the AIA-A312-2010 form, or its current equivalent, or one acceptable to Owner, cosigned by a surety company licensed to conduct business in the State of Illinois and with at least an "A" rating and a financial rating of at least "X" in the latest edition of the Best Insurance Guide. Said bond shall guarantee the faithful performance of the Work in accordance with the Contract, the payment of all indebtedness incurred for labor and materials, and guarantee correction of Work. The cost of each bond shall be included in the Contract Sum. The Bidder and all Subcontractors shall name the Park District as an obligee on all bonds. Said bonds shall meet the requirements of the Illinois Public Construction Bond Act, 30 ILCS 550/0.01 *et seq.* and any further amendments thereto. Bidder shall include

in its Performance Bond and Labor and Material Payment Bond such language as shall guarantee the faithful performance of the Prevailing Wage Act as required in these Bid Documents.

The Performance Bond and Labor and Material Payment Bond will become a part of the Contract. The failure of the successful Bidder to enter into the Contract and supply the required bonds and evidence of insurance within ten (10) days after the Contract is presented for signature, or within such extended period as the Park District may grant, shall constitute a default, and the Park District may either award the Contract to the next responsible Bidder, or re-advertise for bids. In the event of a default, the Owner need not return the defaulting Bidder's bid surety and may charge against the defaulting Bidder for the full difference between the amount for the bid and the amount for which a Contract for the Work is subsequently executed, irrespective of whether the amount thus due exceeds the amount of the defaulting Bidder's bid surety, provided that the District's retention of the bid guarantee shall not preclude the District from holding the Bidder fully liable for any and all damages which are in excess of said partial liquidated damages, and which shall otherwise be incurred by the District, including reasonable attorneys' fees, arising from the Bidder's failure to enter into said Contract and to deliver the same back to the District within said ten (10) day period.

In addition to the required performance and labor and material payment bonds, the successful Bidder shall furnish a maintenance bond and/or irrevocable letter of credit in the amount of the Contract to guarantee the Work performed under the Contract against defective workmanship and/or defective materials of any nature for a period of not less than twelve (12) months from the date of acceptance of the Work, materials or equipment provided. The maintenance bond shall be in a form acceptable to District. A letter of credit furnished in lieu of maintenance bond shall be in a form designated by the District's attorneys. The District reserves the right to waive the maintenance bond in its own interests.

H. WITHDRAWAL OF BID

Bidders may withdraw or cancel their bids at any time prior to the advertised bid opening time by signing and submitting a request for said withdrawal. After the bid opening time, no bid shall be withdrawn or canceled for a period of sixty (60) calendar days.

I. ACCEPTANCE AND CONTRACT

Owner will award the Contract to the lowest most responsible and responsive Bidder, as determined by Owner. In considering the Bidder's responsibility, the Owner may evaluate, among other factors, the ability of the Bidder to provide experienced labor sufficient in numbers to timely and properly complete the services, conformity with the Specifications, serviceability, quality, and the financial capability of the Bidder, and the performance of the Bidder on other projects.

The Owner shall have the right to accept Alternates in any order or combination, and to determine the low Bidder on the basis of the sum of the Base Bid and Alternates accepted.

Bids will be awarded to one Bidder for the entire Project or to any series of Bidders for an appropriate proportion of the Project. If specified in the Bid Form, awards will be based upon the submitted unit prices.

The acceptance of a bid will be by a Notice of Award, signed by a duly authorized representative of the Park District; no other act by the Park District shall constitute the acceptance of a bid. The acceptance of a bid by the Park District shall bind the successful Bidder to execute and perform the Work of the Contract. The successful Bidder to whom the Contract is awarded by the Park District shall sign and deliver to the Park District for execution by the Park District all required copies of the Contract, along with all required insurance and surety documents within ten (10) days after presentation to him of the Contract for signature. In case the Bidder shall fail or neglect to do so, he will be considered as having abandoned the Contract, and as being in default to the Owner. The Owner may thereupon re-advertise or otherwise award said Contract and forfeit the Bid Security.

The Invitation to Bid, Instructions to Bidders, General Conditions, Supplementary and/or Special Conditions, if any, Drawings, Specifications, Contractor Bid Form, Addenda, if any, Contractors Compliance and Certifications Attachment, and Substance Abuse Certification and the Prevailing Wage Determination and Supersedes Notice comprise the Bid Documents. The Bid Documents, together with the Agreement between Owner and Contractor for Family Recreation Center Exterior Painting, substantially in the same form included in these Bid Documents, and the Performance Bond and Labor Material Payment Bond and proof of insurance comprise the Contract Documents.

J. INTERPRETATION OF THE CONTRACT DOCUMENTS

The Park District shall in, all cases, determine the amount or quantity of the several kinds of Work which are to be paid for under this Contract, and shall decide all questions which may arise relative to the execution of the Contract on the part of the Contractor, and all estimates and decisions shall be final and conclusive. The Park District shall have the right to make alterations in the lines, grades, plans, forms, or dimensions of the Work herein contemplated either before or after the commencement of the Work. If such alterations diminish the quantity of the Work to be done, they shall not constitute a claim for damage or for anticipated profits on the work dispensed with, or if they increase the amount of Work, such increase shall be paid according to the quantity actually done and at the price or prices stipulated for such Work in the Contract. The Park District reserves the right to approve, an equal to or superior to product or equipment required under the Specifications, or to reject as not being and equal to or superior to the product or equipment required under the Specifications. If the Bidder is in doubt as to the interpretation of any part of the Bid Documents, or finds errors, discrepancies or omissions from any part of the Contract Documents, he must submit a written request for interpretation thereof not later than five (5) days prior to opening of bids to the Park District. Address all communications to Jake

Stachowiak, jstachowiak@obparks.org. If an error or omission is discovered in the Bid Documents after the bid opening, the Park District reserves the right: i) to determine whether to require the submission of new bids; or ii) if the error or omission is of such a nature that it was reasonably discoverable upon a careful review of the Bid Documents, to award the Contract to the lowest responsive and responsible Bidder as determined by the Park District and to require that Contractor to perform the Work in accordance with an issued correction by the Park District and for the amount bid by the Contractor. Such decisions are final and not subject to recourse. Errors and omissions made by the Bidder cannot be corrected after the bid opening.

K. ADDENDA

Any interpretation, correction to, or addition to the Bid Documents will be made by written Addendum and will be delivered by mail or fax to each prime Bidder of record. The written Addenda constitute the only interpretations of the Bid Documents; the Park District accepts no responsibility for any other claimed interpretations or communications.

It is the responsibility of each Bidder to verify that he has received all Addenda prior to submitting a bid. It is also the responsibility of each Bidder to verify that all subcontractors and material suppliers whose prices are incorporated in the Bidder's bid are familiar with the Bid Documents in their entirety, including all Addenda issued up to the time of bid opening. All addenda will be posted on the district's website <https://www.obparks.org/bids-rfps>.

In the event a conflict or omission is discovered in the Bid Documents after the issuing of the last Addendum such that an interpretation cannot be issued by the Park District prior to bidding, the Bidder is directed to estimate on and provide the quantity and quality of material and labor consistent with the overall represented and indicated Work so as to provide all materials, equipment, labor, and services necessary for the completion of the Work in accordance with the Bid Documents.

L. SUBSTITUTIONS DURING BIDDING

Unless otherwise indicated, the use of brand names in the Specifications is used for the purpose of establishing a grade or quality. Bidders proposing to use an alternate that is equal to or superior to in every respect to that required by the Specifications must request approval in writing to the Park District at least seven (7) business days prior to the bid opening and mark the item as 'or approved equal'.

Additionally, Bidders requesting approval for use of an alternate must provide certification by the manufacturer that the substitute proposed is equal to or superior in every respect to that required by the Contract Documents, and that its in-place performance will be equal to or superior to the product or equipment specified in the application indicated. The Bidder, in submitting the request for substitution, waives the right to additional payment or an extension of Contract Time because of the failure of the substitute to perform as represented in the request for substitution.

The Park District may request additional information or documentation necessary for evaluation of the request for substitution. The Park District will notify all Bidders of acceptance of the proposed substitute by means of an Addendum to the Bid Documents. Park District's approval of a substitute during bidding does not relieve the Contractor of the responsibility to submit required shop drawings and to comply with all other requirements of the Contract Documents, including but not limited to proper performance of all components of the Work and suitability for the uses specified.

Bids proposing alternates not previously approved by the Park District will be considered non-responsive and rejected. The Park District reserves the right to determine whether a substituted selection, in its judgment, is equal to or better quality and therefore an acceptable alternate. Such decisions are final and not subject to recourse.

**CONDITIONS OF THE CONTRACT
OAK BROOK PARK DISTRICT
FAMILY RECREATION CENTER EXTERIOR PAINTING PROJECT**

GENERAL CONDITIONS

The General Conditions are included in the Agreement between Owner and Contractor for Family Recreation Center Exterior Maintenance Project substantially in the same form included in these Bid Documents (the “General Conditions”).

SUPPLEMENTARY CONDITIONS

The General Conditions are hereby amended to include the following:

1. COMMENCEMENT AND COMPLETION DATE

The Work for the Contract shall commence on, or after August 24th, 2026, or on such earlier date as may be agreed upon by the parties. Contractor shall achieve Substantial Completion on or before September 25th. Final Completion is required on or before October 1st, 2026, unless otherwise extended by agreement of the parties pursuant to the General Conditions.

2. USE OF THE SITE

The Contractor shall confine all equipment, the storage of materials and the operations of its workers, to limits indicated by law, ordinances, permits, or directions of the Owner and shall not unreasonably encumber the site with such materials. The site shall not be utilized for the storage of vehicles, materials, equipment, or fixtures not intended for the Work to be performed.

3. COOPERATION WITH UTILITIES

The Contractor shall notify all utility companies, public and private, as necessary in advance of commencing performance of the Work. The responsibility for moving water lines, gas lines, wire lines, service connections, water and gas meter boxes, water and gas valve boxes, light standards, cable ways, signals and all other utility appurtenances which are within the limits of the proposed construction will be assumed by the Contractor, at no additional compensation.

The Contractor shall verify the location of all utilities prior to the start of construction and shall be responsible for the preservation of existing utility installation and the cost of providing precautionary supports, braces, etc. to insure against damage.

The cost to repair and replace any new or existing utilities damaged will be paid for by the Contractor.

It is understood and agreed that the Contractor has considered in its bid all of the permanent and temporary utility appurtenances in their present or relocated positions and that no additional compensation will be allowed for delays, inconvenience, or damage sustained by the Contractor, due to any interference from the said utility appurtenances or the operation of moving them either by the utility company or by the Contractor, or on account of any special construction methods required in performing the Work due to the existence of said appurtenances whether in their present or relocated positions.

4. PROTECTION OF PROPERTY -SAFETY RESPONSIBILITY

In accordance with the Specifications, the Contractor shall protect all existing property and improvements within the Project site and those adjacent to the Owner's property in a manner agreed upon between the Owner and Contractor. The Contractor shall be responsible for the repair cost of any damage created by its operations or the operations of any subcontractors.

Contractor shall comply with State and Federal regulations as outlined in the latest revision of the Federal Construction Safety Standards and with applicable provisions and regulations of Occupation Safety and Health Administration (OSHA), Standards of the William-Steiger Occupational Health and Safety Act of 1970 (revised). The Contractor and Owner shall each be responsible for their respective agents and employees.

The Contractor shall be obligated to indemnify, hold harmless and protect the Owner, its officers, employees and agents, from any actions or suits instituted as a direct or indirect result of any injury or damage consequent upon any failure to use or misuse by the Contractor, its agents and employees and any subcontractor, its agents and employees, of any ladder, support or other mechanical contrivance erected or constructed by any person or any or all kinds of equipment whether or not Owner or furnished by the Owner.

5. INSURANCE

BIDDER'S ATTENTION IS DIRECTED TO THE INSURANCE REQUIREMENTS BELOW. IT IS HIGHLY RECOMMENDED THAT THE BIDDER CONFER WITH ITS INSURANCE CARRIER REGARDING THESE REQUIREMENTS. FAILURE TO MEET THESE REQUIREMENTS IS CAUSE FOR CANCELLATION OF THE CONTRACT.

The successful Bidder shall obtain insurance of the types and in the amounts listed below.

a. Commercial General and Umbrella Liability Insurance

The successful Bidder shall maintain commercial general liability (CGL) and, if necessary, commercial umbrella insurance with a limit of not less than \$2,000,000 each occurrence. If such CGL insurance contains a general aggregate limit, it shall apply separately to this project/location.

CGL insurance shall be written on Insurance Services Office (ISO) occurrence form CG 00 01 04 13, or a substitute form providing equivalent coverage, and shall cover liability arising from premises, operations, independent contractors, products-completed operations, personal injury and advertising injury, and liability assumed under an insured contract (including the tort liability of another assumed in a business contract).

The District, its elected and appointed officials, employees, agents and volunteers shall be included as an additional named insured under the CGL, using ISO additional insured endorsement CG 20 26 or a substitute providing equivalent coverage, and under the commercial umbrella, if any. This insurance shall apply as primary insurance with respect to any other insurance or self-insurance afforded to District. Any insurance or self-insurance maintained by the District shall be deemed excess of such bidder's insurance and shall not contribute with it.

b. Business Auto and Umbrella Liability Insurance

The successful Bidder shall maintain business auto liability and, if necessary, commercial umbrella liability insurance with a limit of not less than \$1,000,000 each accident. Such insurance shall cover liability arising out of any auto including owned, hired and non-owned autos.

Business auto insurance shall be written on Insurance Services Office (ISO) form CA 00 01, CA 00 05, CA 00 12, CA 00 20, or a substitute form providing equivalent liability coverage. If necessary, the policy shall be endorsed to provide contractual liability coverage equivalent to that provided in the 1990 and later editions of CA 00 01.

c. Workers Compensation Insurance

The successful Bidder shall maintain workers compensation and employers liability insurance. The commercial umbrella and/or employers liability limits shall not be less than \$1,000,000 each accident for bodily injury by accident or \$1,000,000 each employee for bodily injury by disease.

Such Bidder waives all rights against District and its officers, officials, employees, volunteers and agents for recovery of damages arising out of or incident to such Bidder's activities.

d. General Insurance Provisions

i. Evidence of Insurance: The successful Bidder shall furnish the District with a certificate(s) of insurance and applicable policy endorsement(s), executed by a duly authorized representative of each

insurer, showing compliance with the insurance requirements set forth above.

All certificates shall provide for 30 days' written notice to the District prior to the cancellation or material change of any insurance referred to therein. Written notice to the District shall be by certified mail, return receipt requested.

Failure of the District to demand such certificate, endorsement or other evidence of full compliance with these insurance requirements, or failure of the District to identify a coverage deficiency from evidence that is provided, shall not be construed as a waiver of such Bidder's obligation to maintain such insurance.

The District shall have the right, but not the obligation, of prohibiting such Bidder from entering the premises until such certificates or other evidence that insurance has been placed in complete compliance with these requirements is received and approved by District.

Failure to maintain the required insurance may result in termination of the Contract entered by the parties at the District's option.

Such Bidder shall provide certified copies of all insurance policies required above within 10 days of the District's written request for said copies.

ii. Acceptability of Insurers: All insurance companies shall maintain a rating no less than A-VII from A.M. Best, based on the most recent edition of the A.M. Best's Key Rating Guide. If the Best's rating is less than A-VII or a Best's rating is not obtained, the District has the right to reject insurance written by an insurer it deems unacceptable.

iii. Deductibles and Self-Insured Retentions: Any deductibles or self-insured retentions must be declared to the District. At the option of the District, the successful Bidder may be asked to eliminate such deductibles or self-insured retentions as respects the District, its officers, officials, employees, volunteers and agents, or such Bidder may be required to procure a bond guaranteeing payment of losses and other related costs, including, but not limited to, investigations, claims administration and defense expenses.

e. Subcontractors

Contractor shall cause each subcontractor employed by Contractor to purchase and maintain insurance of the type specified above. When requested by the Owner, Contractor shall furnish copies of certificates of insurance evidencing coverage for each subcontractor.

6. INDEMNIFICATION

To the fullest extent permitted by law, the Contractor shall indemnify and hold harmless the Owner and its officers, officials, employees, volunteers and agents from and against all claims, damages, losses and expenses including but not limited to legal fees (attorney's and paralegals' fees and court costs), arising out of or resulting from the performance of the Contractor's work, provided that any such claim, damage, loss or expense (i) is attributable to bodily injury, sickness, disease or death, or injury to or destruction of tangible property, other than the work itself, including the loss of use resulting there from and (ii) is caused in whole or in part by any wrongful or negligent act or omission of the Contractor, any subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this Paragraph. Contractor shall similarly protect, indemnify and hold and save harmless the Owner, its officers, officials, employees, volunteers and agents against and from any and all claims, costs, causes, actions and expenses including but not limited to legal fees, incurred by reason of Contractor's breach of any of its obligations under, or Contractor's default of, any provision of the Contract.

Nothing contained herein shall be construed as prohibiting the District, its officers, employees or agents from defending, through the selection and use of their own agents, attorneys and experts, any claims, suits, demands, proceedings or actions brought against them. The District's participation in its defense shall not remove the successful Bidder's duty to indemnify, defend and hold the District harmless as set forth herein.

The indemnification required hereunder shall not be limited by reason of the enumeration of insurance coverage herein provided.

The successful Bidder's indemnification of the District shall survive the termination or expiration of the Contract.

7. WARRANTY

- A. The Work performed and the materials and equipment installed under this Contract shall be in compliance with the Contract Documents and must be guaranteed by the Contractor and the Surety for a period of twelve (12) months from Final Completion against defective workmanship and material of any nature. On all material or equipment incorporated, the Contractor and its Surety must guarantee that the type, quality, design and performance will fully meet the requirements of the Specifications and Drawings.
- B. A Maintenance Bond or Irrevocable Letter of Credit meeting the requirements set forth in the Instructions to Bidders shall be furnished by the Contractor to guarantee the Work performed, and the materials and equipment provided under the Contract.

SPECIAL CONDITIONS

1. The Family Recreation Center will be open to the public for the duration of the Project but will require cooperation in scheduling and the use of space. As such, Contractor shall maintain the Project site in a manner that ensures safe access to the Family Recreation Center's space by said contractors, Park District staff and others requiring access to the Family Recreation Center. Contractor shall comply with and give notices required by applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities bearing on safety of persons or property or their protection from damage, injury or loss.
2. The site will be available 5:30am-9pm Monday-Friday. Contractor may request additional access outside of these hours to assist with project timelines. Owner approval will be required for reasonable accommodation requests.
3. Upon request of the Contractor, a scissor lift may be made available for use. Contractor must provide proof of lift safety training, and an additional liability waiver may be required by the Owner.

**BID FORM
OAK BROOK PARK DISTRICT
FAMILY RECREATION CENTER EXTERIOR MAINTENANCE PROJECT**

(Please complete in ink, and print or type)

TO: Oak Brook Park District
1450 Forest Gate Road
Oak Brook, IL 60523

FROM: _____
NAME OF BIDDER

STREET ADDRESS

CITY STATE ZIP

PHONE

FOR: Family Recreation Center Exterior Maintenance Project

By submission of its bid, the Bidder acknowledges, agrees, represents, declares and warrants:

- A. That they have carefully examined the written Specifications and Drawings and is thoroughly familiar therewith, and that they have visited the site of the proposed Work to arrive at a clear understanding of the conditions under which the Work is to be done, and that they have compared the site with the Drawings and Specifications and has satisfied themselves as to all conditions affecting the execution of the Work;
- B. That all modifications have been submitted with this bid;
- C. That they have checked carefully the bid figures and understands that they shall be responsible for any errors or omissions based on these Specifications and alternates as submitted on the Bid Proposal Form;
- D. That it is understood and agreed that the Oak Brook Park District reserves the right to accept or reject any or all bids, or to combine or separate any section or work, and to waive any technicalities;
- E. To hold the bid open for sixty (60) days subsequent to the date of the bid opening;
- F. To enter into and execute a Contract with the Owner within ten (10) days after the date of the Notice of Award, if awarded on the basis of this bid, and in connection therewith to:
 - (a) Furnish all bonds and insurance required by the Contract Documents;
 - (b) Accomplish the Work in accordance with the Contract Documents; and
 - (c) Complete the Work within the time requirements as set forth in the Bid Documents.

- G. That if this bid is accepted, the Bidder is to provide all of the necessary equipment, tools, apparatus, labor, and other means of construction, and to do all of the Work and to furnish all of the materials specified in the Bid Documents in the manner and at the time therein prescribed, and in accordance with the requirements set forth;
- H. To commence Work as specified in the Instructions to Bidders, and to prosecute the Work in such a manner, and with sufficient materials, equipment and labor as will ensure its completion within reasonable time, it being understood and agreed that the completion within such reasonable time is an essential part of this Contract;
- I. That any and all prices stated in the proposal include all costs of labor, materials, equipment, insurance, bonds, overhead and profit, and any and all other costs normal to doing business.

The undersigned Bidder agrees to perform the Work for the following lump sum price:

Base Bid	Amount
1. Painting of entire exterior EIFS walls, accent stripes, horizontal wall sections, three flag poles, both awning and skylight at the main entrance.	\$
2. Painting window trim along the front (east elevation) of the Family Recreation Center. Doors #13 and #2B, loading dock bollards, door trim and vehicle stop, and three air vents.	\$
3. Power wash entire exterior of the areas to be painted	\$

Total Lump Sum Base Bid: _____

Alternate Bids	Amount
Alt 1) Replace all EIFS holes and cracks	\$
Alt 2) Replace all missing, cracked, and deteriorated exterior caulking.	\$

The undersigned Bidder hereby acknowledges the receipt of the following addenda (if any) distributed by the Park District.

Addendum No. _____ Date: _____
 Addendum No. _____ Date: _____

The Work for the Contract shall commence on, or after, August 24, 2026. Substantial Completion of the Project is expected on or before September 25th, 2026. Final Completion of the Project shall be on or before October 1, 2026, unless otherwise extended by agreement of the parties pursuant to the General Conditions.

The undersigned Bidder agrees that if this bid is accepted by the Park District, it will perform all Work in accordance with the requirements of the Contract.

DATED THIS _____ DAY OF _____, 2026.

_____	(a) Individual	()
Full Name of Bidder (Print)	(b) Partnership	()
Name and Title of Authorized Agent	(c) Corporation	()
if Corporation or Partnership (Print): _____		

_____ Full Name and Title of Bidder (Signature)

_____ Street Address

_____ City/State/Zip

_____ Phone

_____ Email

LIST OF SUBCONTRACTORS

Bidder submits a list of subcontractors for each trade relative to the Work to be performed under the Contract with the District, and agrees that if selected the successful Contractor, the Bidder will promptly confer with the District’s agents on the question of which subcontractors the Bidder proposes to use, including submission of their qualifications. It is agreed that the District may substitute for any proposed subcontractor, another subcontractor for the trade against whose standing and ability the Bidder makes no objection in writing, and the Bidder will use all such finally selected subcontractors at the amount named in their respective subcontracts, and be in every way responsible for them and their work as if they had been originally named in the Bidder’s bid, the unit, total and alternate Contract prices being adjusted to confirm thereto.

Subcontractor Name & Address Classification of Work Amount of Subcontract

1.		
2.		
3.		
4.		

BIDDER'S REFERENCE LIST

Each Bidder must list the name, address, phone number and project name for at least three (3) projects performed for governmental entities of similar scope and complexity as the Family Recreation Center Exterior Maintenance Project in the past five (5) years. Bidder may include, as a separate attachment, additional information or references on projects completed.

1.

 Name of Park District, School District, or Municipality

 Contact Person

Phone Number	E-Mail
--------------	--------

Description of Work performed	Project Value
-------------------------------	---------------

2.

 Name of Park District, School District, or Municipality

 Contact Person

Phone Number	E-Mail
--------------	--------

Description of Work performed	Project Value
-------------------------------	---------------

3.

 Name of Park District, School District, Municipality

 Contact Person

Phone Number	E-Mail
--------------	--------

Description of Work performed	Project Value
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CONTRACTOR COMPLIANCE AND CERTIFICATIONS ATTACHMENT

Note: The following certifications form an integral part of the Agreement between the Owner and Contractor. Breach by Contractor of any of the certifications may result in immediate termination of the Contractor's services by Owner.

THE UNDERSIGNED CONTRACTOR HEREBY ACKNOWLEDGES, CERTIFIES, AFFIRMS AND AGREES AS FOLLOWS:

- A. Contractor has carefully read and understands the contents, purpose and legal effect of this document as stated above and hereafter in this document. The certifications contained herein are true, complete and correct in all respects.
- B. Contractor shall abide by and comply with, and in contracts which it has with all persons providing any of the services or Work on this Project on its behalf shall require compliance with, all applicable Federal, State and local laws and rules and regulations including without limitation those relating to 1) fair employment practices, affirmative action and prohibiting discrimination in employment; 2) workers' compensation; 3) workplace safety; 4) wages and claims of laborers, mechanics and other workers, agents, or servants in any manner employed in connection with contracts involving public funds or the development or construction of public works, buildings or facilities; and 5) steel products procurement.
- C. All contracts for this Project are subject to the provisions of the Illinois Prevailing Wage Act (820 ILCS 130/0.01 *et seq.*), providing for the payment of the prevailing rate of wage to all laborers, workmen and mechanics engaged in the Work. Contractor shall pay prevailing rates of wages in accordance with the Illinois Department of Labor's wage determination and any subsequent determinations issued by the Illinois Department of Labor, all in accordance with applicable law. These revisions may be accessed by computer at <http://labor.illinois.gov/>. Contractor is responsible for determining the applicable prevailing wage rates at the time of bid submission and at the time of performance of the Work. Failure of Contractor to make such determination shall not relieve it of its obligations in accordance with the Contract Documents. Contractor shall also comply with all other requirements of the Act including without limitation those pertaining to inclusion of required language in subcontracts, job site posting, maintenance and submission of certified payroll records and inspection of records. Contractor is not barred from entering into public contracts under Section 11a of the Illinois Prevailing Wage Act due to its having been found to have disregarded its obligations under the Act. The Contractor shall submit monthly, no later than the 10th day of each calendar month, electronically a certified payroll to the Illinois Department of Labor's Certified Transcript of Payroll Portal, which can be accessed on Illinois Department of Labor website in accordance with the Prevailing Wage Act. Contractor shall include on all bonds and shall cause all subcontractors' bonds required under the Contract Documents to guarantee compliance with the Prevailing Wage Act. Contractor agrees to indemnify and hold harmless the Park District for any violations of the Prevailing Wage Act.

- D. If applicable, Contractor shall abide by the “*Employment of Illinois Workers on Public Works Act*” (30 ILCS 570/0.01 *et seq.*), which stipulates that whenever there is a period of excessive unemployment in Illinois, defined as any month immediately following two (2) consecutive calendar months during which the level of unemployment in Illinois exceeds five percent (5%) as measured by the U.S. Bureau of Labor Statistics in its monthly publication of employment and unemployment figures, the Contractor shall employ only Illinois laborers unless otherwise exempted as so stated in the Act (“Illinois laborer” means any person who has resided in Illinois for at least 30 days and intends to become or remain an Illinois resident). Other laborers may be used if Illinois laborers are not available or are incapable of performing the particular type of work involved, if so certified by the Contractor and approved by the Owner.
- E. To the best of Contractor's knowledge, no officer or employee of Contractor has been convicted of bribery or attempting to bribe an officer or employee of the State of Illinois, or any unit of local government, nor has any officer or employee made an admission of guilt of such conduct which is a matter of record.
- F. Contractor is not barred from bidding on or entering into public contracts due to having been convicted of bid-rigging or bid rotating under paragraphs 33E-3 or 33E-4 of the Illinois Criminal Code. Contractor also certifies that no officers or employees of the Contractor have been so convicted and that Contractor is not the successor company or a new company created by the officers or owners of one so convicted. Contractor further certifies that any such conviction occurring after the date of this certification will be reported to the Owner, immediately in writing, if it occurs during the bidding process, or otherwise prior to entering into the Contract therewith.
- G. Pursuant to the Illinois Human Rights Act (775 ILCS 5/2-105), Contractor has a written sexual harassment policy that includes, at a minimum, the following information: (i) a statement on the illegality of sexual harassment; (ii) the definition of sexual harassment under State law; (iii) a description of sexual harassment utilizing examples; (iv) the Contractor's internal complaint process including penalties; (v) the legal recourse, investigative and complaint process available through the Illinois Department of Human Rights and the Human Rights Commission and directions on how to contact both; and (vi) protection against retaliation as provided by Section 6-101 of the Illinois Human Rights Act. Contractor further certifies that such policy shall remain in full force and effect. A copy of the policy shall be provided to the Illinois Department of Human Rights upon request.
- H. Contractor shall abide by the “*Employment of Illinois Workers on Public Works Act*” (30 ILCS 570/0.01 *et seq.*) which stipulates that whenever there is a period of excessive unemployment in Illinois, defined as any month immediately following two (2) consecutive calendar months during which the level of unemployment in Illinois exceeds five percent (5%) as measured by the U.S. Bureau of Labor Statistics in its monthly publication of employment and unemployment figures, the Contractor shall employ only Illinois laborers unless otherwise exempted as so stated in the Act. (“Illinois laborer” means any person who has resided in Illinois for at least 30 days and intends to become or

remain an Illinois resident). Other laborers may be used if Illinois laborers are not available or are incapable of performing the particular type of work involved if so certified by the Contractor and approved by the Owner.

- I. (i) Contractor's bid proposal was made without any connection or common interest in the profits anticipated to be derived from the Contract by Contractor with any other persons submitting any bid or proposal for the Contract; (ii) the Contract terms are in all respects fair and the Contract will be entered into by Contractor without collusion or fraud; (iii) no official, officer or employee of the Owner has any direct or indirect financial interest in Contractor's bid proposal or in Contractor, (iv) the Contractor has not directly or indirectly provided, and shall not directly or indirectly provide, funds or other consideration to any person or entity (including, but not limited to, the Owner and the Owner's employees and agents), to procure improperly special or unusual treatment with respect to this Agreement or for the purpose of otherwise improperly influencing the relationship between the Owner and the Contractor. Additionally, the Contractor shall cause all of its officers, directors, employees, (as the case may be) to comply with the restrictions contained in the preceding sentence.
- J. Contractor knows and understands the Equal Employment Opportunity Clause administrated by the Illinois Department of Human Rights, which is incorporated herein by this reference, and agrees to comply with the provisions thereof. Contractor further certifies that Contractor is an "equal opportunity employer" as defined by Section 2000 (e) of Chapter 21, Title 42 of the United States Code Annotated and Executive Orders #11246 and #11375 as amended, which are incorporated herein by this reference.
- K. Neither Contractor nor any substantially owned affiliated company is participating or shall participate in an international boycott in violation of the provisions of the U.S. Export Administration Act of 1979 or the regulations of the U.S. Department of Commerce promulgated under that Act.
- L. Contractor is not barred from contracting with the Owner because of any delinquency in the payment of any tax administrated by the Illinois Department of Revenue, unless it is being contested. Contractor further certifies that it understands that making a false statement regarding delinquency in taxes is a Class A misdemeanor and, in addition, voids the Contract and allows the Owner, a municipal entity, to recover in a civil action all amounts paid to the Contractor.
- M. If Contractor has 25 or more employees at the time of letting of the Contract, Contractor knows, understands and acknowledges its obligations under the Illinois Drug Free Workplace Act (30 ILCS 580/1 *et seq.*) and certifies that it will provide a drug-free workplace by taking the actions required under, and otherwise implementing on a continuing basis, Section 3 of the Drug Free Workplace Act. Contractor further certifies that it has not been debarred and is not ineligible for award of this Contract as the result of a violation of the Illinois Drug Free Workplace Act.
- N. Contractor knows, understands and acknowledges its obligations under the Substance Abuse Prevention on Public Works Act, 820 ILCS 265/1 *et seq.* A true and complete copy

of Contractor's Substance Abuse Prevention Program Certification is attached to and made a part of this Contractor Compliance and Certification Attachment.

- O. The Contractor shall comply with the requirements and provisions of the Freedom of Information Act (5 ILCS 140/1 *et. seq.*) and, upon request of the Oak Brook Park District's designated Freedom of Information Act Officer (FOIA Officer), Contractor shall within two (2) business days of said request, turn over to the FOIA Officer any record in the possession of the Contractor that is deemed a public record under FOIA.

CONTRACTOR

By: _____
 Its: _____

STATE OF _____)
)SS
 COUNTY OF _____)

I, the undersigned, a notary public in and for the State and County, aforesaid, hereby certify that _____ appeared before me this day and, being first duly sworn on oath, acknowledged that they executed the foregoing instrument as their free act and deed and as the act and deed of the Contractor.

Dated: _____

 (Notary Public)

(SEAL)

SUBSTANCE ABUSE PREVENTION PROGRAM CERTIFICATION

The Substance Abuse Prevention on Public Works Projects Act, 820 ILCS 265/1 et seq., (“Act”) prohibits any employee of the Contractor or any Subcontractor on a public works project to use, possess or be under the influence of a drug or alcohol, as those terms are defined in the Act, while performing work on the project. The Contractor/Subcontractor [circle one], by its undersigned representative, hereby certifies and represents to the Oak Brook Park District that [Contractor/Subcontractor must complete either Part A or Part B below]:

A. The Contractor/Subcontractor [circle one] has in place for all of its employees not covered by a collective bargaining agreement that deals with the subject of the Act a written substance abuse prevention program, a true and correct copy of which is attached to this certification, which meets or exceeds the requirements of the Substance Abuse Prevention on Public Works Act, 820 ILCS 265/1 et seq. [Contractor/Subcontractor must attach a copy of its substance abuse prevention program to this Certification.]

Name of Contractor/Subcontractor (print or type)

Name and Title of Authorized Representative (print or type)

Signature of Authorized Representative

_____ Dated: _____

B. The Contractor/Subcontractor [circle one] has one or more collective bargaining agreements in effect for all of its employees that deal with the subject matter of the Substance Abuse Prevention on Public Works Projects Act, 820 ILCS 265/1 et seq.

Name of Contractor/Subcontractor (print or type)

Name and Title of Authorized Representative (print or type)

Signature of Authorized Representative

_____ Dated: _____

IMPORTANT NOTICE OF RESPONSIBILITY FOR PERIODIC REVISIONS TO PREVAILING WAGE RATES

Revisions of the Prevailing Wage Rates are made periodically by the Illinois Department of Labor (IDOL). As required by the Illinois Prevailing Wage Act, the contractor/subcontractor has an obligation to check IDOL's web site for revisions to prevailing wage rates. These revisions may be accessed by computer at <http://labor.illinois.gov/>. Bidders and contractors performing work on this Project are responsible for determining the applicable prevailing wage rates at the time of bid submission and performance of the Work. Failure of a bidder/contractor to make such determination shall not relieve it of its obligations in accordance with the Contract Documents. In consideration for the award to it of the contract for this Project, the contractor agrees that the foregoing notice satisfies any obligation of the public body in charge of this Project to notify the contractor of periodic changes in the prevailing wage rates and the contractor agrees to assume and be solely responsible for, as a material obligation of the contractor under the contract, the obligation to determine periodic revisions of the prevailing wage rates, to notify its subcontractors of such revisions, to post such revisions as required for the posting of wage rates under the Act, and to pay and require its subcontractors to pay wages in accordance with such revised rates.

**AGREEMENT BETWEEN OWNER AND CONTRACTOR FOR FAMILY RECREATION CENTER EXTERIOR
MAINTENANCE**

This Agreement between and Owner and Contractor for Family Recreation Center Exterior Maintenance (the "Agreement") is made as of the __day of July, 2026 by and between the Oak Park District, an Illinois unit of local government (the "Park District" or the "Owner"), with its principal place of business at 1450 Forest Gate Road, Oak Brook, Illinois 60523 and _____, an ____ ("Contractor") with its principal place of business at _____, Illinois, _____. The Park District and Contractor may hereinafter be referred to together as the "Parties" or individually as a "Party".

WITNESSETH

That the Park District and Contractor, for the consideration hereinafter named, agree as follows:

1. Labor and Materials. The Contractor shall provide all labor, equipment and materials required to complete the following work: painting all noted walls, doors, trim and surfaces at the Family Recreation Center as indicated in the Bid Documents for Oak Brook Park District Family Recreation Center Exterior Maintenance Project, dated June 16, 2026 ("Bid Documents").

2. Contract Documents. The Contract Documents consist of this Agreement between the Park District and the Contractor, the Bid Documents, Contractor's Proposal, attached to and incorporated as part of this Agreement as **Exhibit A**, Contractor's Certifications, attached to and incorporated as part of this Agreement as **Exhibit B**, Contractor's Performance Bond and Payment Bond, attached to and incorporated as part of this Agreement as **Exhibit C**, and any modifications issued after the execution of this Agreement. All of the terms, conditions and specifications contained in the Bid Documents are incorporated herein. In the event of conflict between the Contract Documents, this Agreement shall control.

By its execution of this Agreement, Contractor acknowledges, agrees, represents, and warrants that Contractor has carefully and thoroughly examined the Contract Documents, and the Contract Documents are full and complete, include all items necessary for the proper execution and completion of the Work, are sufficient to have enabled the Contractor to determine the cost of the Work and the time required for performance of the Work and to enable Contractor to construct the Work indicated therein in accordance with laws, ordinances, codes, regulations and rules applicable to the Work, and otherwise to fulfill all its obligations thereunder, including, but not limited to, Contractor's obligation to construct the Work for an amount not in excess of the Contract Sum on or before the date(s) of Final Completion. The failure or omission of Contractor to obtain, receive or examine the Contract Documents and become knowledgeable with respect to conditions of the Work, or to seek needed clarification from the Park District shall in no way because to alter this Agreement or the Contract Sum.

By its execution of this Agreement, Contractor represents and warrants that Contractor has visited the site, become familiar with local conditions under which the Work is to be performed, and correlated personal observations with requirements of the Contract Documents. Before commencing activities, the Contractor shall: a) take field measurements and verify field conditions; b) carefully compare this and other information known to the Contractor with the Contract Documents; and c) promptly report errors, inconsistencies, or omissions discovered to the Park District.

3. Commencement and Completion Dates. Contractor shall commence the Work on, or after August 24, 2026. Contractor shall achieve Substantial Completion on or before September 25, 2026. Final Completion

of the Work on or before October 1, 2026. Final Completion means the date the Work has been fully performed, all Work has been completed in accordance with the Contract Documents, including correction of any defective Work, and the Park District has inspected and accepted the completed Work and approved final payment to the Contractor.

The Contractor shall carry the Work forward regularly, diligently, uninterruptedly and expeditiously and in a good workmanlike and professional manner at such a rate of progress and with an adequate work force as will ensure the completion of the Work in accordance with the Contract Documents by the Final Completion date. It is expressly understood and agreed by and between Contractor and Park District that the time for completion of the Work is a reasonable time, taking into consideration the average climatic range, usual industrial conditions, and all other conditions and actors prevailing in this locality.

4. Performance of Work.

a. Contractor shall perform all Work in a good and workmanlike manner. Contractor shall maintain sufficient staff and crews to perform all Work in an expeditious manner consistent with the interests of the Park District. Contractor shall promptly notify the Park District immediately in writing: (i) of any information required from the Park District and necessary for Contractor to complete its Work in a timely manner; and (ii) of any Work requested by the Park District or required for the project that is not included in the scope of Work reflected in the Contract Documents. Contractor shall be solely responsible for means and methods selected in performing the Work. Contractor shall supervise all Work so that it is performed in a safe and expeditious manner. Contractor shall be solely responsible for the Work of its employees and its subcontractors' and suppliers' employees. Contractor shall keep all documents and information related to the project confidential and, except as required by law, shall not disclose such documents or information to any person or other party except the employees of Contractor and its subcontractors who need such documents or information to perform the Work and complete the project.

b. Contractor shall confine all equipment, the storage of materials and the operations of its workers, to limits indicated by law, ordinances, permits, or directions of the Park District and shall not unreasonably encumber the project site with such materials. The project site shall not be utilized for the storage of vehicles, materials, equipment, or fixtures not intended for the Work to be performed.

c. Contractor shall notify all utility companies, public and private, as necessary in advance of commencing performance of the Work. The responsibility for moving water lines, gas lines, wire lines, service connections, water and gas meter boxes, water and gas valve boxes, light standards, cable ways, signals and all other utility appurtenances which are within the limits of the proposed construction will be assumed by the Contractor, at no additional compensation. The Contractor shall verify the location of all

utilities prior to the start of construction and shall be responsible for the preservation of existing utility installation and the cost of providing precautionary supports, braces, or other equipment to insure against damage to said utility installation. The cost to repair and replace any new or existing utilities damaged will be paid for by the Contractor.

d. If Contractor uncovers or discovers any concealed condition differing materially from conditions depicted in the Contract Documents or differing from conditions reasonably anticipated or inherent in the Work, Contractor shall immediately stop the Work and notify the Park District of the condition in writing. The Park District shall then issue directions. The contract time and Contract Sum shall be equitably adjusted if necessitated by such directions of the Park District.

5. Contract Sum. The Park District agrees to pay Contractor for the proper and timely performance of the Work in strict accordance with the Contract Documents the following amount _____00/100 Dollars (\$00) (the "Contract Sum").

6. Payment. Payment shall be made by the Park District to the Contractor upon the Park District's receipt of an invoice itemizing the Work properly performed as determined by the Park District, and delivery of lien waivers and sworn statements, for the period covered by the invoice. The Contract Sum shall be paid in accordance with the Local Government Prompt Payment Act, 50 ILCS 505/1 *et seq.* upon Final Completion of the Work.

Final payment shall not become due until Contractor has fully performed the Work in accordance with the Contract Documents, including but not limited to correction of any defective Work, and delivery of all required documentation in accordance with Section 8 below. Acceptance of final payment by the Contractor, a subcontractor or material supplier shall constitute a waiver of claims by that payee except those previously made in writing and identified by that payee as unsettled at the time of the application for final payment. Final payment by the Park District shall not relieve Contractor of the responsibility for the correction of any and all defects in the Work performed. Contractor shall correct all defects as notified for the applicable warranty period after final payment.

7. Waiver of Liens. Contractor for itself and for all its sub-suppliers and subcontractors, agrees that no mechanic's lien or other claim shall be filed or maintained by Contractor or by any sub-supplier, subcontractor, laborer or any other person, whatsoever, against the Park District's funds for or on account of any Work furnished under this Agreement. Prior to the payment of the Work, Contractor shall provide: a) for final payment, a final waiver of lien from Contractor and each sub-supplier and sub-contractor for the full amount of each subcontract for the Work, showing all materials and labor have been paid in full; and b) sworn affidavit, in triplicate, containing such information and in such form to comply with the Illinois Mechanics Lien Act (770 ILCS 60/23), showing in detail the sources of all labor and materials used in the Work, including the names and addresses of sub-suppliers and subcontractors and showing amounts paid for each.

Final payment shall not become due until the Contractor has fully performed the Work in accordance with the Contract Documents, including but not limited to delivery of all manufacturer's and supplier's warranties, and has delivered to the Park District a complete release of all liens arising out of this Agreement or receipts in full covering all labor, materials and equipment for which a lien could be filed, or a bond satisfactory to the Park District to indemnify the Park District against such lien. If a lien remains unsatisfied after payments are made, the Contractor shall refund to the Park District all money that the

Park District may be compelled to pay in discharging such lien, including costs and reasonable attorneys' fees.

8. Changes in the Work.

a. By appropriate modification, changes in the Work may be accomplished after execution of the Agreement. The Park District may order changes in the Work within the general scope of the Agreement consisting of additions, deletions, or other revisions, with the Contract Sum and contract time being adjusted accordingly. Such changes in the Work shall be authorized by written change order signed by the Park District and Contractor ("Change Order"). Upon issuance of the Change Order, the Contractor shall proceed promptly with such changes in the Work, unless otherwise provided in the Change Order. Contractor shall be solely responsible for the cost of additional work and materials under any change order resulting from Contractor's negligent act or omission or failure to perform the Work in accordance with the Contract Documents.

b. No change in the Work, whether by way of alteration or addition to the Work, shall be the basis of an addition to the Contract Sum or change in the contract time unless and until such alteration or addition has been authorized by a Change Order executed and issued in accordance with and in strict compliance with the requirements of the Contract Documents and applicable law. Accordingly, no course of conduct or dealing between the Parties, nor any express or implied acceptance of alterations or additions to the Work and no claim that the Park District has been unjustly enriched shall be the basis of any claim to an increase in the Contract Sum or change in the contract time.

c. **Adjustments to the Contract Sum for changes in the Work other than changes in the Work involving items for which unit prices were requested by Park District and provided in Contractor's Proposal, shall be made as follows:**

i. In the manner agreed to by the Parties, or in the absence of agreement then the combined allowance for overhead and profit in connection with changes to the Work shall be the lesser of the amount, if any, included in the Contractor's Proposal, or the following: (a) five percent (5%) of the cost of the change in the Work involved if performed by the Contractor not involving subcontractors, or (b) five percent (5%) of the cost of the change in the Work involved performed by subcontractors, plus two percent (2%) of the cost of the change in the Work for the Contractor's supervision of the work performed by the subcontractors. When both additions and credits covering related Work are involved in a change, the allowance for overhead and profit shall be figured on the basis of net increase, if any, with respect to that change.

d. Overtime, if and when specifically authorized in advance in writing by the Park District shall be paid by the Park District on the basis of premium payment if any, plus the cost of insurance and taxes based on the premium payment period. No overhead or profit may be charged for overtime. The Contractor shall not be entitled to any payment for overtime necessitated by the failure of the Contractor to perform the Work in accordance with the Contract Documents including without limitation to the Contractor's failure to prosecute the Work diligently and on an uninterrupted basis and with a sufficient work force so as to achieve completion of the Work within the time and in the manner contemplated by the Contract Documents or otherwise due to the fault of the Contractor. In such instances if the Park District requires the Contractor to perform Work on an overtime basis, all costs for and associates with such overtime shall be borne by the Contractor.

9. Progress Meetings and Coordination. On a weekly basis until Final Completion, or as otherwise agreed by the Parties, the Park District and Contractor shall participate in weekly progress meetings as applicable and necessary. The Contractor shall require its subcontractors and suppliers to be present at such meetings as appropriate based on the status of ongoing and scheduled Work. The Contractor shall report on the status of the Work, and the Parties shall discuss and attempt to resolve all requests for information, submittals, Change Order requests, and all other open items then pending.

10. Owner's Right to Correct the Work. If Contractor defaults or neglects to carry out the Work in accordance with this Agreement and fails within a seven (7) day period after receipt of written notice from the Park District to commence and continue correction of such default or neglect with diligence and promptness, the Park District may, without prejudice to other remedies the Park District may have, correct such deficiencies. In such case, the Park District shall deduct from payments then or thereafter due Contractor the cost of correcting such deficiencies, including compensation to the Park District for any and all expenses related thereto. If payments then or thereafter due Contractor are not sufficient to cover such amounts, Contractor shall pay the difference to the Park District.

The rights and remedies of the Park District stated in this Agreement shall be in addition to and not in limitation of, any other rights of the Park District granted at law or in equity.

11. Delays. In the event the Work is delayed due to a cause beyond the reasonable control of Contractor, including strikes, labor disputes, lockouts, fire, shortages of labor or material, inclemency of weather, accidents, casualties, pandemic outbreaks, or government orders, Contractor shall not be liable for any damages caused by such delays, shortages, or disruptions and, provided that Contractor is in compliance with all other relevant provisions of this Agreement, the contract time shall be extended for such reasonable time as the Park District may determine; provided, however, that such extension of contract time shall be net of any delays caused by or due to the fault or negligence of Contractor or which are otherwise the responsibility of Contractor and shall also be net of any contingency or "float" time allowance included in Contractor's construction schedule. Contractor shall, in the event of any occurrence likely to cause a delay, cooperate in good faith with the Park District to minimize and mitigate the impact of any such occurrence and do all things reasonable under the circumstances to achieve this goal. Any such extension of contract time pursuant to this section shall be reduced to a Change Order. Extension of contract time pursuant to this section shall be the Contractor's sole and exclusive remedy for delay.

12. Warranties. Contractor warrants to the Park District that materials and equipment furnished under the Agreement will be of the best quality and new, that the Work will be free from defects and deficiencies, and that the Work will conform to the requirements of the Contract Documents. Work not conforming to these requirements, including substitutions not properly approved and authorized, may be considered defective. Contractor shall promptly correct any defective Work. Payment by the Park District for any Work later determined to be defective shall not relieve Contractor of its obligation to correct defective Work.

All warranties shall include labor and materials and shall be signed by the manufacturer or subcontractor as the case may be and countersigned by Contractor. All warranties shall be addressed to the Park District and delivered to the Park District. Except as otherwise provided in this Agreement, all warranties shall become effective on the Final Completion of the Work and shall run for a twelve (12) month period, unless a longer period is provided for in the Contract Documents or by law. Where warranties overlap, the more stringent requirement shall govern. Contractor shall promptly repair and replace, as determined by the Park District, any defects or deficiencies at no charge to the Park District during any warranty period.

13. Correction of the Work. In addition to the Contractor's obligations under Section 13, if, within one year after the date of Final Completion of the Work or designated portion thereof or after the date for commencement of warranties established under Section 13, or by terms of an applicable special warranty required by the Contract Documents, any of the Work is found to be not in accordance with the requirements of the Contract Documents, the Contractor shall correct it promptly after receipt of notice from the Park District to do so unless the Park District has previously given the Contractor a written acceptance of such condition. The Park District shall give such notice promptly after discovery of the condition. The obligation under this Section 14 shall survive acceptance of the Work under the Contract Documents and termination of the Agreement. Corrective Work shall be warranted to be free from defects for a period equal to the longer of twelve (12) months after the completion of the corrective Work or one (1) year from the date of Final Completion of the Work, or such longer period of time as may be prescribed by law or in equity or by the terms of any applicable special warranty. Notwithstanding the foregoing, Contractor shall correct Work deficiently or defectively performed and replace defective or non-conforming materials and equipment, even though such deficiency, defect or non-conformity may be discovered more than one (1) year after Final Completion, if the correction is of a latent defect and arises from poor workmanship or improper materials or equipment, or is required to be made to Work, materials or equipment covered by the Contractor or a subcontractor contrary to the Park District's request or to the request of a governmental officer, or to the requirements of the Contract Documents or governmental requirements, and was therefore not visible for inspection by the Park District or governmental officer, as applicable, at the time of inspection. Contractor shall, within a reasonable time under the circumstances, after receipt of written notice thereof, correct, repair, replace and otherwise make good any defects or non-conformity in the Work. If the Contractor fails to correct nonconforming Work within a reasonable time, the Park District may correct it in accordance with Section 11.

14. Cleaning Up. The Contractor shall keep the project site and surrounding area free from accumulation of waste materials or rubbish caused by operations under the Agreement. At completion of each site visit, the Contractor shall remove from and about the site waste materials, rubbish, the Contractor's tools, equipment, machinery and surplus materials. If the Contractor fails to clean up as provided herein, the Park District may do so and the cost thereof shall be charged to the Contractor.

15. Safety of Persons and Property.

- a. The Contractor shall take reasonable precautions for the health and safety of, and shall provide reasonable protection to prevent damage, injury or loss to:
 - (i). employees engaged in the Work, Park District employees and patrons and other persons who may be affected thereby; and
 - (ii). the Work and materials and equipment to be incorporated therein, whether in storage on or off the site, under care, custody or control of the Contractor or the Contractor's subcontractors or sub-subcontractors.
- b. The Contractor shall comply with and give notices required by applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities bearing on safety of persons or property or their protection from damage, injury or loss.
- c. The Contractor shall promptly remedy damage and loss to Park District property caused in whole or in part by the Contractor, a subcontractor, a sub-subcontractor, or anyone directly or indirectly

employed by any of them, or by anyone for whose acts they may be liable and for which the Contractor is responsible.

16. Insurance. The Contractor shall acquire and keep in force the following insurance coverage:

a. Commercial General and Umbrella Liability Insurance. Contractor shall maintain commercial general liability (CGL) and, if necessary, commercial umbrella insurance with a limit of not less than \$2,000,000 each occurrence. If such CGL insurance contains a general aggregate limit, it shall apply separately to this project/location.

CGL insurance shall be written on Insurance Services Office (ISO) occurrence form CG 01 04 13, or a substitute form providing equivalent coverage, and shall cover liability arising from premises, operations, independent contractors, smoke and fire, products-completed operations, personal injury and advertising injury, and liability assumed under an insured contract (including the tort liability of another assumed in a business contract).

The Park District, its elected and appointed officials, employees and agents shall be included as an additional insured under the CGL, using ISO additional insured endorsement CG 20 10 or a substitute providing equivalent coverage, and under the commercial umbrella, if any. This insurance shall apply as primary insurance with respect to any other insurance or self-insurance afforded to the Park District. Any insurance or self-insurance maintained by the Park District shall be excess of the Contractor's insurance and shall not contribute with it.

There shall be no endorsement or modification of the CGL limiting the scope of coverage for liability arising from smoke, fire, pollution, explosion, collapse, or underground property damage.

b. Business Auto and Umbrella Liability Insurance. Contractor shall maintain business auto liability and, if necessary, commercial umbrella liability insurance with a limit of not less than \$1,000,000 each accident. Such insurance shall cover liability arising out of any auto including owned, hired and non-owned autos.

Business auto insurance shall be written on Insurance Services Office (ISO) form CA 00 01, CA 00 05, CA 00 12, CA 00 20, or a substitute form providing equivalent liability coverage. If necessary, the policy shall be endorsed to provide contractual liability coverage equivalent to that provided in the 1990 and later editions of CA 00 01.

c. Workers Compensation Insurance. Contractor shall maintain workers compensation as required by statute and employers liability insurance. The commercial umbrella and/or employers liability limits shall not be less than \$1,000,000 each accident for bodily injury by accident or \$1,000,000 each employee for bodily injury by disease.

If the Park District has not been included as an insured under the CGL using ISO additional insured endorsement CG 20 10 under the Commercial General and Umbrella Liability Insurance required in this Agreement, the Contractor shall waive subrogation and all other rights against the Park District and its officers, officials, employees, and agents for recovery of damages arising out of or incident to the Contractor's work.

d. General Insurance Provisions

1. Evidence of Insurance. Prior to beginning Work, Contractor shall furnish to the Park District with a certificate(s) of insurance and applicable policy endorsement(s), executed by a duly authorized representative of each insurer, showing compliance with the insurance requirements set forth above. All certificates shall provide for 30 days' written notice to the Park District prior to the cancellation or material change of any insurance referred to therein. Written notice to the Park District shall be by certified mail, return receipt requested.

Failure of the Park District to demand such certificate, endorsement or other evidence of full compliance with these insurance requirements or failure of the Park District to identify a deficiency from evidence that is provided shall not be construed as a waiver of Contractor's obligation to maintain such insurance. The Park District shall have the right, but not the obligation, of prohibiting Contractor or any subcontractor from beginning the Work until such certificates or other evidence that insurance has been placed in complete compliance with these requirements is received and approved by the Park District

Failure to maintain the required insurance may result in termination of this Agreement at the Park District's option. Contractor shall provide certified copies of all insurance policies required above within 10 days of the Park District's written request for said copies.

2. Acceptability of Insurers. For insurance companies which obtain a rating from A.M. Best, that rating should be no less than A VII using the most recent edition of the A.M. Best's Key Rating Guide. If the Best's rating is less than A VII or a Best's rating is not obtained, the Park District has the right to reject insurance written by an insurer it deems unacceptable.

3. Cross-Liability Coverage. If Contractor's liability policies do not contain the standard ISO separation of insureds provision, or a substantially similar clause, they shall be endorsed to provide cross-liability coverage.

4. Deductibles and Self-Insured Retentions. Any deductibles or self-insured retentions must be declared to the Park District. At the option of the Park District, the Contractor may be asked to eliminate such deductibles or self-insured retentions as respects the Park District, its officers, officials, employees, volunteers and agents or required to procure a bond guaranteeing payment of losses and other related costs including but not limited to investigations, claim administration and defense expenses.

5. Subcontractors. Contractor shall cause each subcontractor employed by Contractor to purchase and maintain insurance of the type specified above. When requested by the Park District, Contractor shall furnish copies of certificates of insurance evidencing coverage for each subcontractor.

17. Indemnification and Hold Harmless. To the fullest extent permitted by law, Contractor shall indemnify, defend and hold harmless the Park District and its officers, officials, employees, volunteers and agents from and against all claims, damages, losses and expenses including but not limited to legal fees (attorney's and paralegals' fees and court costs), arising out of or resulting from the performance of Contractor's performance of the Work, provided that any such claim, damage, loss or expense (i) is attributable to bodily injury, sickness, disease or death, or injury to or destruction of tangible property, other than the work itself, including the loss of use resulting there from and (ii) is caused in whole or in part by any wrongful or negligent act or omission of Contractor, any subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this Paragraph. Contractor shall similarly protect, indemnify, defend and hold and save harmless the Park District, its officers, officials, employees, volunteers and agents against and from any and all claims, costs, causes, actions and expenses including but not limited to legal fees, incurred by reason of Contractor's breach of any of its obligations under, or Contractor's default of, any provision of this Agreement.

Nothing contained herein shall be construed as prohibiting the District, its officers, employees or agents from defending, through the selection and use of their own agents, attorneys and experts, any claims, suits, demands, proceedings or actions brought against them. The District's participation in its defense shall not remove the Contractor's duty to indemnify, defend and hold the District harmless as set forth herein.

The indemnification required hereunder shall not be limited by reason of the enumeration of insurance coverage herein provided. Contractor's indemnification of the Park District shall survive the termination or expiration of the Agreement.

18. Performance, Payment and Maintenance Bonds.

a. Contractor shall deposit with the Park District before commencing any work an *AIA A312-2010 Performance Bond and Payment Bond*, or an approved substitute, for 110% of the Contract Sum, guaranteeing the faithful performance of the Work in accordance with the Contract Documents, the payment of all indebtedness incurred for labor and materials, payment of the prevailing wage, and guarantee correction of Work. The surety must be approved by the Park District and be licensed to conduct business in the State of Illinois and be named in the current list of "Surety Companies Acceptable on Federal Bonds" as published in the Federal Register by the Audit Staff Bureau of Accounts, U.S. Treasury. The payment and performance bonds shall strictly comply with the Public Construction Bond Act, 30 ILCS 550/0.01, *et seq.* and this section. Contractor and all subcontractors shall name the Park District as an obligee on all bonds.

b. Contractor shall also furnish a maintenance bond and/or irrevocable letter of credit in the amount of the Contract Sum to guarantee the Work performed under the Contract Documents against defective workmanship and/or defective materials of any nature for a period of not less than twelve (12) months from the date of acceptance of the Work, materials or equipment provided. The maintenance bond or letter of credit shall be in a form acceptable to District.

c. Whenever Contractor shall be and is declared by the Park District to be in default under the Agreement, the surety and the Contractor are each responsible to make full payment to the Park District for any and all extra work incurred by the Park District as a result of the Contractor's default and

to pay to the Park District all attorneys' fees and court costs incurred by the Park District as a result of the Contractor's default, and in protecting the Park District's rights under the Contract Documents to remedy the Contractor's default.

19. Termination.

a. The Park District may, at any time, terminate the Agreement in whole or in part for the Park District's convenience and without cause. Termination by the Park District under this section shall be by a notice of termination delivered to the Contractor specifying the extent of the termination and the effective date. Upon receipt of a notice of termination, the Contractor shall immediately, in accordance with instructions from the Park District: (1) cease operation as specified in the notice; (2) place no further orders; (3) enter into no further subcontracts for materials, labors, services or facilities except as necessary to complete continued portions of the Work; (4) terminate all subcontracts and orders to the extent they relate to the Work terminated; (5) proceed to complete the performance of Work not terminated; and, (6) take actions that may be necessary or that the Park District may direct, for the protection and preservation of the terminated Work. The Contractor shall recover payment for approved and properly performed Work completed prior to the effective date of termination.

b. The Park District may terminate the Agreement, in whole or in part, for cause as follows:

(i) If Contractor fails to provide the Work as required in the Contract Documents, or otherwise breaches or defaults under any provision of this Agreement and does not remedy such failure, breach or default within seven (7) days after demand from the Park District to take corrective action, or in the event of repeated or multiple failures or defaults by Contractor, the Park District may immediately terminate this Agreement and enter into an agreement with another contractor or contractors to provide the Work. In such event: a) the Park District shall not pay Contractor for any portion of the Work not completed in accordance with the Contract Documents; b) the Park District shall deduct from payments due to the Contractor the cost of correcting any deficiencies in accordance with Section 11 of this Agreement; and c) Contractor shall be liable to the Park District for the increased cost to the Park District of obtaining services from the substitute contractor(s).

(ii) If Contractor is adjudged as bankrupt, or if Contractor makes a general assignment for insolvency, or if any provision of the bankruptcy law is invoked by or against Contractor, then notwithstanding any other rights or remedies granted the Park District, the Park District may, without prejudice to any other right or remedy, a) immediately terminate the retention of Contractor and/or b) finish or cause to be finished the Contractor's services required under this Agreement by whatever method and by whichever persons the Park District deems expedient. In such case, Contractor shall not be entitled to receive any payment until the Work is completed. If the unpaid balance of the Contract Sum exceeds: (1) the expenses of completing the Work, including compensation for additional managerial and administrative services, plus (2) the Park District's losses and damages because of Contractor's default (collectively "Park District Expenses and Damages"), such excess shall be paid to Contractor. If the Park District Expenses and Damages exceed such unpaid balance, Contractor shall pay the difference to the Park District promptly on demand and the Park District may resort to any other rights or remedies the Park District may have by law or under this Agreement.

c. Upon termination of this Agreement for any reason as provided herein: (1) Contractor shall not be entitled to damages or lost profits; and (2) except as otherwise provided herein, the rights and obligations of the Parties shall cease automatically except for the rights and obligations of the Parties accruing but unsatisfied prior to termination.

20. Compliance with Laws and Permits. Contractor shall comply with all applicable local, state and federal codes, laws, ordinances, rules and regulations. Contractor shall be licensed and bonded to perform the Work hereunder and shall, at its sole cost and obligation, be responsible for obtaining all permits required to perform its duties under this Agreement. Any breach by Contractor of the foregoing laws, regulations and rules shall constitute a breach by Contractor of this Agreement. Contractor's Compliance and Certification Attachment is attached to and incorporated as **Exhibit B** to this Agreement.

21. Choice of Law and Venue. This Agreement is governed by the laws of the State of Illinois. Any suit or action arising under this Agreement shall be commenced in the Circuit Court of DuPage County, Illinois, the prevailing party shall be entitled to an award of reasonable attorneys' fees and costs of litigation. Contractor acknowledges that each provision of this Agreement is important and material to the business and success of the Park District, and agrees that any breach of any provision of this Agreement is a material breach of the Agreement and may be cause for immediate termination of this Agreement. In the event of a breach, Contractor shall also pay to the Park District all damages (including, but not limited to, compensatory, incidental, consequential, and punitive), which arise from the breach, together with interest, costs, and the Park District's reasonable attorneys' fees.

22. No Liability. The Park District is not responsible or liable for any injury, damages, loss or costs sustained or incurred by any person including, without limitation Contractor's employees, or for any damage to, destruction, theft or misappropriation of any property, relating in any way, directly or indirectly, to Contractor's Work and obligations under this Agreement. The Park District is not liable for acts or omissions of Contractor or any of Contractor's employees, subcontractor's, agents or other persons purporting to act at the direction or request, on behalf, or with the implied or actual consent, of Contractor.

23. No Third Party Beneficiary. This Agreement is entered into solely for the benefit of the contracting Parties, and nothing in this Agreement is intended, either expressly or impliedly, to provide any right or benefit of any kind whatsoever to any person and/or entity who is not a party to this Agreement or to acknowledge, establish or impose any legal duty to any third party. Nothing herein shall be construed as an express and/or implied waiver of any common law and/or statutory immunities, defenses and/or privileges of the Park District and/or Contractor, and/or any of their respective officials, officers and/or employees.

24. No Waiver. Waiver of any of the terms of this Agreement shall not be valid unless it is in writing and signed by all Parties. The failure of claimant to enforce the provisions of this Agreement or require performance by opponent of any of the provisions, shall not be construed as a waiver of such provisions or affect the right of claimant to thereafter enforce the provisions of this Agreement. Waiver of any breach of this Agreement shall not be held to be a waiver of any other or subsequent breach of the Agreement.

25. Independent Contractor. Contractor acknowledges that it is an independent contractor; that it alone retains control of the manner of conducting its activities in furtherance of this Agreement; that it, as well as any persons or agents as it may employ, are not employees of the Park District; and that neither this

Agreement, nor the administration thereof, shall operate to render or deem either Party hereto the agent or employee of the other.

26. Non-Assignment. This Agreement is non-assignable in whole or in part by the Contractor, and any assignment shall be void without prior written consent of the Park District.

27. Subcontracts. Any subcontract that Contractor enters into for the Work shall be in writing and shall specifically provide that the Park District is an intended third-party beneficiary of such subcontract and that the Park District shall have the right to enforce the subcontractor's obligations thereunder after the occurrence of a default under the Agreement by the Contractor. By appropriate written agreement, the Contractor shall require each subcontractor, to the extent of the Work to be performed by the subcontractor, to be bound to the Contractor by the terms of the Contract Documents, and to assume toward the Contractor all the obligations and responsibilities which the Contractor, by the Contract Documents, assumes toward the Park District.

28. Notices. Notices shall be deemed properly given hereunder if in writing and either hand delivered or sent by United States certified mail, return receipt requested, postage prepaid, or by email transmission with the sending Party retaining confirmation of receipt, to the Parties at their respective addresses provided below, or as either Party may otherwise direct in writing to the other Party from time to time:

If to the Park District:	Oak Brook Park District Attn: Jake Stachowiak 1450 Forest Gate Road Oak Brook, IL 60523 Email: jstachowiak@obparks.org
--------------------------	---

If to Contractor:

Notices personally delivered shall be deemed given on the date of delivery, notices sent by certified mail shall be deemed delivered the second business day following deposit in the mail, and notices sent by email transmission shall be deemed given on the date of transmission if sent on or before 5:00 PM on a business day, or, if later, the next business day.

29. Entire Agreement; No Amendment. This Agreement contains the entire agreement between the Parties, and no statement, promise or inducement made by either Party to the agency of either Party that is not contained in this written Agreement shall be valid or binding. No modification of this Agreement shall be effective unless in writing and dated subsequent to the date of this Agreement and signed by an authorized representative of each Party.

30. Headings. The headings for each paragraph of this Agreement are for convenience and reference purposes only and in no way define, limit or describe the scope or intent of said paragraphs or of this Agreement nor in any way affect this Agreement.

31. Severability. The invalidity of any section, paragraph or subparagraph of this Agreement shall not impair the validity of any other section, paragraph or subparagraph. If any provision of this Agreement is

determined to be unenforceable, such provision shall be deemed severable and the Agreement may be enforced with such provision severed or as modified by such court.

IN WITNESS WHEREOF, each of the undersigned has caused this Agreement to be executed by a duly authorized official thereof effective as of date written above.

OAK BROOK PARK DISTRICT

(CONTRACTOR)

By:

By:

President, Board of Park Commissioners

Attest:

Its:

Secretary, Board of Park Commissioners

TECHNICAL SPECIFICATIONS
Family Recreation Center Exterior Maintenance Work

Scope of work:

1. Preparation
 - a. Surface shall be thoroughly cleaned of all dirt, debris, and dust.
 - b. Surface impurities shall be filled and prepared for proper receipt of primer and paint.
 - c. All areas not being painted shall be covered and/or protected from drips.

2. Bid should provide for painting all surfaces with material appropriate paints.
 - a. Primer should be applied where appropriate.
 - b. Minimum of 2 coats of paint to ensure proper coverage and consistency in appearance.
 - c. Colors used will be agreed upon by the Park District prior to application.
 - d. Proper paint type, specific to surface needs as noted below, will be used according to area painted. Substitute of materials proven comparable, or superior, to those noted must be approved by Park District.

Surface	Product
Exterior Dryvit walls, Accent Stripes, Horizontal Ceiling	Benjamin Moore: Ultra Spec Exterior Paint - Low Lustre
Awning/Skylight, Door, bollard, vents, & Window Trim	Benjamin Moore: High Performance Command (direct-to-metal)

Primers where appropriate
Benjamin Moore: Ultra Spec Masonry Primer

Expansion Joint Caulk
Sikaflex-1A or Sikaflex NP-1
Bi-cellular foam backing rod

3. Surfaces included in scope of work.
 - a. EIFSwalls
 - b. Accent Stripes
 - c. Horizontal Ceiling Sections
 - d. Flag poles (3)
 - e. Doors (#13 and 2B)
 - f. Red awning/structure main entrance
 - g. Red skylight
 - h. Window Trim (13 section)
 - i. Loading dock bollards and stop
 - j. Vents (3)

EXCLUDED SURFACES:
 i. HVAC enclosures on roof

4. Clean up

- a. All splatters and drips are expected to be properly cleaned and removed from unwanted areas of the facility.
- b. Any protective coverings are to be collected and removed from site.

Appendix

Reference Photos



EIFS painting/repairs and window trim.



EIFS painting/repairs and window trim.



EIFS painting/repairs, Awning (both sides).



Awning Ceiling and trim.



EIFS painting/repairs, awing (both sides), skylight, three flag poles, window trim.



EIFS painting/repairs and window trim.



EIFS painting/repairs and window trim.



EIFS painting/repairs, Door (#13) and window trim.



EIFS painting/repairs.



EIFS painting/repair.



Reference photo for failed caulk joint.



EIFS painting/repair.



EIFS painting/repair.



EIFS painting/repair.



EIFS painting/repair.



EIFS painting/repair.



EIFS painting/repair.



EIFS painting/repair.



EIFS painting/ repair and three vents.



EIFS painting/ repair, door (#2B), garage door trim, two bollards, and truck stop.



Oak Brook Park District

BOARD MEETING


AGENDA ITEM –HISTORY/COMMENTARY

ITEM TITLE: TENNIS COURT AND PARKING LOT PROJECT BID

AGENDA No.: 9 E

MEETING DATE: JUNE 15, 2026

STAFF REVIEW:

Deputy Director, Bob Johnson: 

RECOMMENDED FOR BOARD ACTION:

Executive Director, Laure Kosey: 

ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):

The outdoor tennis courts exceeded their life span and require constant expensive repairs that last only one year, cracks are coming back and deteriorating every year. The project was delayed one year due to funds availability. Staff initially recommended optimizing the layout and expanding to 12 courts. Due to the high costs staff are now recommending rebuilding the 8 outdoor tennis courts with the current layout.

The baseball field parking lot adjacent to ball fields one and two needs resurfacing. The existing pavement is more than 20 years old and shows significant deterioration. Combining this project with the asphalt-heavy tennis court project is cost effective and efficient. Additionally, the parking lot renovation is an ideal time to create thirteen additional parking stalls to maximize available parking in the lot. Accessible pathways connecting the new tennis courts to existing pathways near Central Park West are also included in the bid. The district anticipates \$75k in funding for accessible pathways from a DCEO grant. The Tennis Center will apply for a USTA grant valued up to \$200,000 to help offset costs.

The bid calls for an alternate for additional power pedestals, wiring, and conduit at courts 1-8.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):

Design for these projects was completed by Upland Design, LLC., IMEG Electrical Engineering, and Engineering Resource & Associates. The project anticipated timelines are as follows:

- Public bid posted June 16
- Bid opening June 30
- Scope review June 30-July 8
- Recommendation to Board July 15
- Commence work August 10
- Substantial completion October 16

The bid specifications, plans, and bid form are included for reference. The bid documents will be available for download in a plan room hosted by Upland Design.

ACTION PROPOSED: For Review and Discussion Only

Central Park Tennis Court Renovations

1450 Forest Gate, Oak Brook, Illinois 60523



Oak Brook Park District
1450 Forest Gate Road
Oak Brook, Illinois 60523



uplandDesign Ltd

Landscape Architecture & Park Planning
1229 N. North Branch St, #220A, Chicago, IL 60642
24042 Lockport St, Plainfield, IL 60544
312-350-4088 | 815-254-0091 uplandDesign.com

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CIVIL ENGINEERING & SURVEY:

Engineering Resource Associates
35701 West Avenue, Suite 150
Warrenville, Illinois 60555
Phone: 630-393-3060
IL License 184-001186



ELECTRICAL ENGINEERING:

IMEG Consultants Corp.
263 Shuman Blvd Suite 550
Naperville, Illinois 60563
Phone: 630-527-2320
IL License 184-007637-0006



1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT

Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523



LOCATION MAP

Not to scale



SHEET INDEX

0.0	Title Sheet	C2.1	Utility Plan - East
1.0	Overall Site Plan	C3.0	SWPPP Plan - West
2.0	Existing Conditions & Removals Plan - West	C3.1	SWPPP Plan - East
2.1	Existing Conditions & Removals Plan - East	C3.2	SWPPP Plan - Parking
2.2	Existing Conditions & Removals Plan - Parking	C3.3	SWPPP Plan - Notes
3.0	Layout Plan - West	C3.4	SWPPP Plan - Details
3.1	Layout Plan - East	E0.0	Electrical Cover Sheet
3.2	Layout Plan - Parking	E1.0	Overall Electrical Site Plan
4.0	Dimension Plan - West	E2.0	Electrical Site Plan - West
4.1	Dimension Plan - East	E2.1	Electrical Site Plan - East
4.2	Dimension Plan - Parking	E3.0	Electrical Details
5.0	Landscape Plan - West	E4.0	Electrical Schedules
5.1	Landscape Plan - East	6.0	Construction Details
5.2	Landscape Plan - Parking	6.1	Construction Details
C1.0.	Grading Plan - West	6.2	Construction Details
C1.1	Grading Plan - East	6.3	Construction Details
C1.2	Grading Plan - Parking	6.4	Construction Details
C2.0	Utility Plan - West		

ORIGINAL ISSUE DATE
Issue for Permit 01JUNE2026

REVISIONS	
	NOT FOR CONSTRUCTION

This project has been prepared by and reviewed by Licensed Landscape Architects,
Michelle A. Kelly # 157.001002
Heath A. Wright # 157.000994
Elizabeth A. Dafe # 157.001572
Brennon Pelletier # 157.012061
LD/BP

PROJECT NUMBER 1443

SHEET TITLE
Title Sheet

SHEET NUMBER

0.0



800.892.0123



1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
solandesign.com

CIVIL ENGINEER & SURVEYOR
Engineering Resource Associates
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ORIGINAL ISSUE DATE
Issue for Bid 16JUNE2026

REVISIONS

PROJECT NUMBER 1443

SHEET TITLE
Overall Site Plan

SHEET NUMBER

1.0

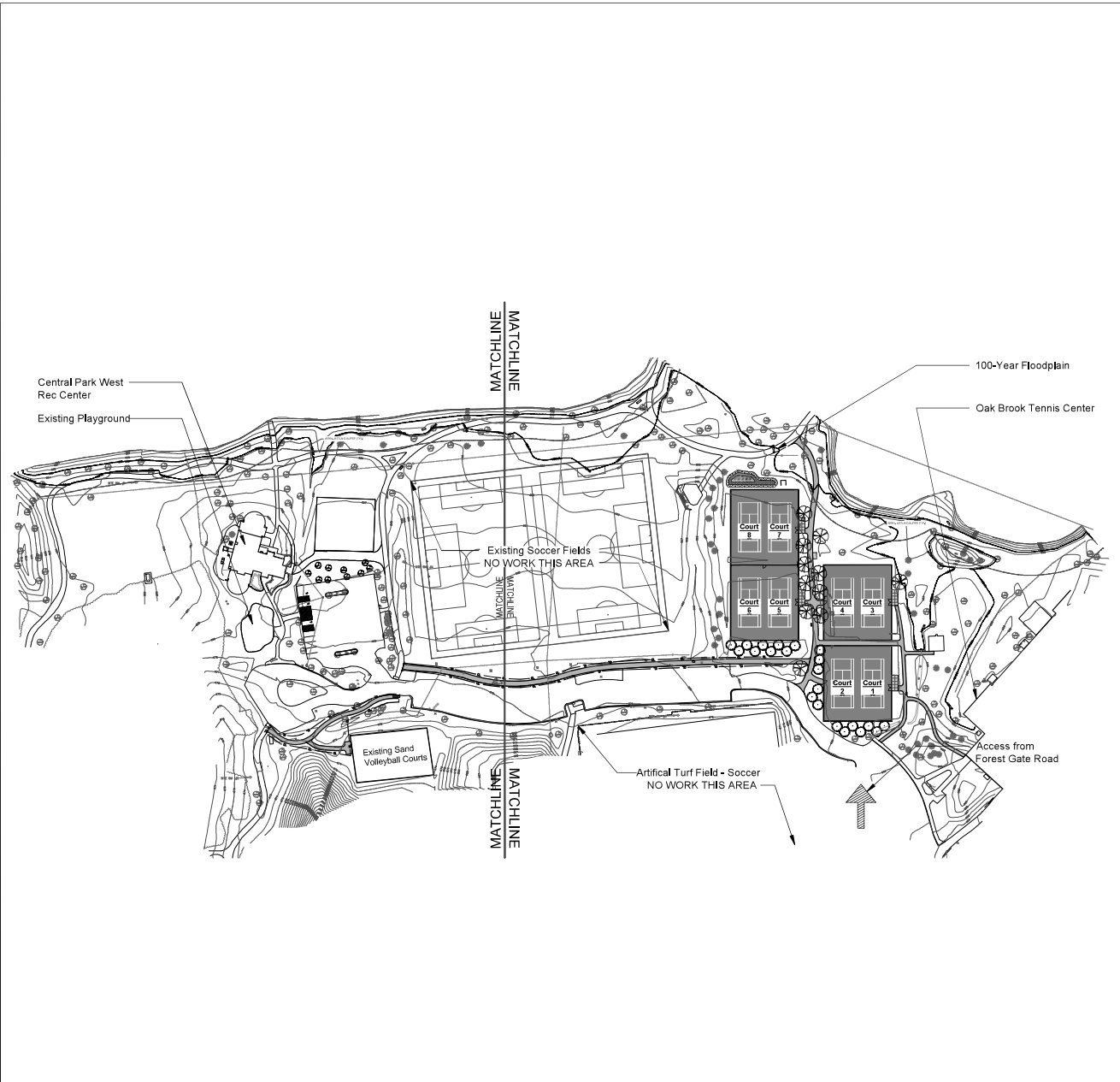
Copyright 2026 Upland Design Ltd.

GENERAL NOTES: LAYOUT

1. It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
2. The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
3. No work to take place in Flood Plain unless indicated on plans.

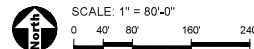
REFERENCED SPECIFICATIONS AND CODES

1. The Americans with Disabilities Act and the Illinois Accessibility Code.
2. The Illinois Urban Manual.
3. NRS's Engineering Field Handbook
4. All codes and ordinances of the Village of Oak Brook, United States Army Corp of Engineers, Illinois Department of Natural Resources, Kane-DuPage Soil and Water Conservation District, and all agencies having jurisdiction.
5. All requirements of the Occupational Safety and Health Administration.
6. The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
7. In case of conflict, the more restrictive provision shall apply.



LEGEND

- Asphalt Paving - Court
- Asphalt Paving - Trail
- Concrete Paving
- Chainlink Fence
- Construction Limits / Construction Fence
- Tree Protection Fencing
- 100YR 100-year Floodplain Elevation: 664.80 (Survey Date 02-12-2006)
- Approx. Wetland Buffer





1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
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culand@design.com

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ELECTRICAL ENGINEER
IMEG Consultants Corp.
263 Shuman Blvd Suite 550
Naperville, Illinois 60563
IL License 184-007637-0006

ORIGINAL ISSUE DATE
Issue for Bid 16JUNE2026

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER 1443

SHEET TITLE
Existing Conditions & Removals Plan - West

SHEET NUMBER

2.0

GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

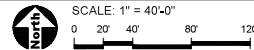
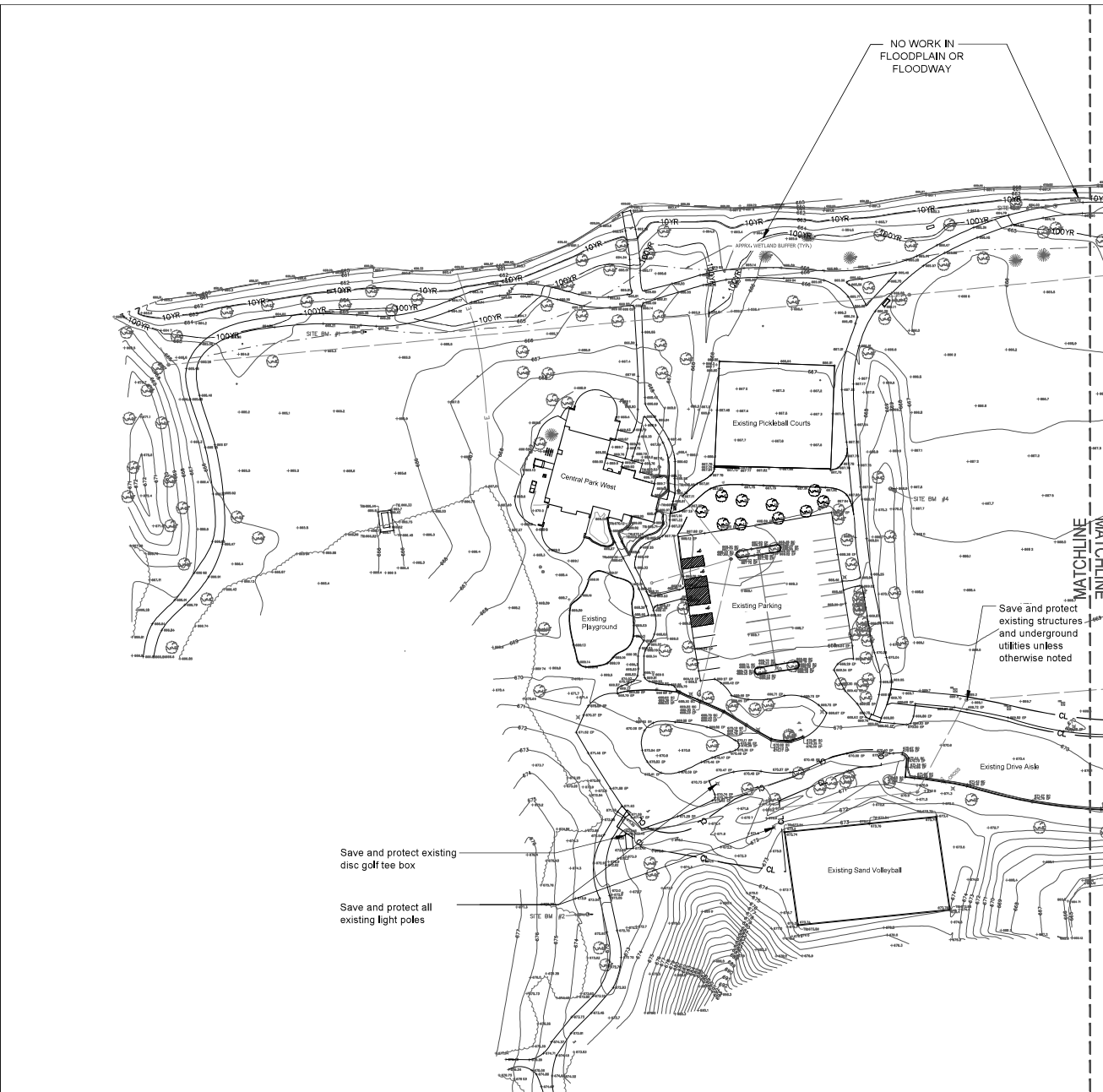
- The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-882-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- Site conditions are shown based upon available information; contractor to verify all existing conditions prior to bidding.
- The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- Contours and elevations shown hereon are referenced to the North American vertical datum of 1988 (navd88)
- A Topographic Survey was completed for the Park District by:
Engineering Resource Associates
35701 West Avenue, Suite 150
Warrenville, Illinois 60555 Phone: (630)393-3060
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
- The Contractor shall protect and preserve all section, property or survey reference markers.
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction, (incidental to cost), Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
- Contractor will be held responsible for damage to items not scheduled for removal.
- Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
- No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
- Work site safety is the responsibility of the Contractor.
- Vehicle Construction access shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- Construction Limits: Construction Limits are as noted on plans. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsoil may be stockpiled for redistribution as needed. Excess topsoil, debris and plant material to be removed off site and disposed of legally.
- Construction fence shall be installed prior to beginning construction. Construction fence to be 6'-0" free standing chainlink, (incidental to contract).
- Place erosion control measures as required to eliminate sedimentation into non-construction areas and as shown on plans and details prior to beginning construction.
- Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
- Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exist between or within the contract documents between and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings. Figure dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
- All necessary site work permits will be obtained by Owner, Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or re-inspections and associated fees.
- Contractor shall follow all permit requirements as part of the project.

PROJECT BENCHMARK

Benchmark #1:
2" IRON PIPE LOCATED APPROXIMATELY 185
NORTHWEST OF
1300 FOREST GATE ROAD,
ELEV: 865.33 (NAVD 88)

REMOVALS LEGEND

- Remove and Dispose of Existing Asphalt Court Paving
- Remove and Dispose of Existing Asphalt Trail Paving
- Mill, Remove, and Dispose of 2" Existing Asphalt Surface
- Remove and Dispose of Existing Concrete Paving
- Remove and Dispose of Existing Fence
- Remove and properly dispose of trees, stump, and grind root mass to a depth of 18" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan - By Owner
- Remove and Dispose of Item as Marked
- Salvage and Reallocate Item as Marked - By Owner
- Construction Limit





1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
**Central Park
Tennis Court
Renovations**

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
uplanddesign.com

CIVIL ENGINEER & SURVEYOR
Engineering Resource Associates
35701 West Avenue, Suite 150
Warrenville, Illinois 60555
IL License 184-001186

ELECTRICAL ENGINEER
IMEG Consultants Corp.
263 Shuman Blvd Suite 550
Naperville, Illinois 60563
IL License 184-007637-0006

ORIGINAL ISSUE DATE
Issue for Bid 16JUNE2026

REVISIONS

	NOT FOR CONSTRUCTION

PROJECT NUMBER 1443

SHEET TITLE
**Existing
Conditions &
Removals Plan
- East**

SHEET NUMBER

2.1

Copyright 2026 Upland Design Ltd.

GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

1. Refer to Notes on Sheet 2.0

- Trail renovation work in 100-year floodplain. No fill, no stockpiling or storage of material to occur in the floodplain
- Remove existing tennis court asphalt paving and base
- Remove existing tennis court asphalt paving; contractor may reuse existing base if material meets compaction standards
- Remove existing tennis net, posts, and footings
- Owner to relocate two existing bleachers
- Sawcut and remove existing asphalt paving, save and protect gravel base
- Remove existing tennis net, posts, and footings
- Remove existing tennis court asphalt paving
- Remove existing chainlink fence and footings
- Remove and dispose of existing benches and footings
- Remove existing practice tennis court asphalt paving and base. Contractor shall restore disturbed area.
- Remove existing chainlink fence and footings
- Save and Protect existing structure and paving

- Remove & dispose of existing underdrainage at all tennis courts
- Remove existing gravel path
- Save & protect existing gravel drainage swale and culvert
- Remove and dispose of existing benches and footings
- Remove existing tennis court asphalt paving and base

PROJECT BENCHMARK

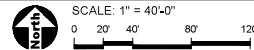
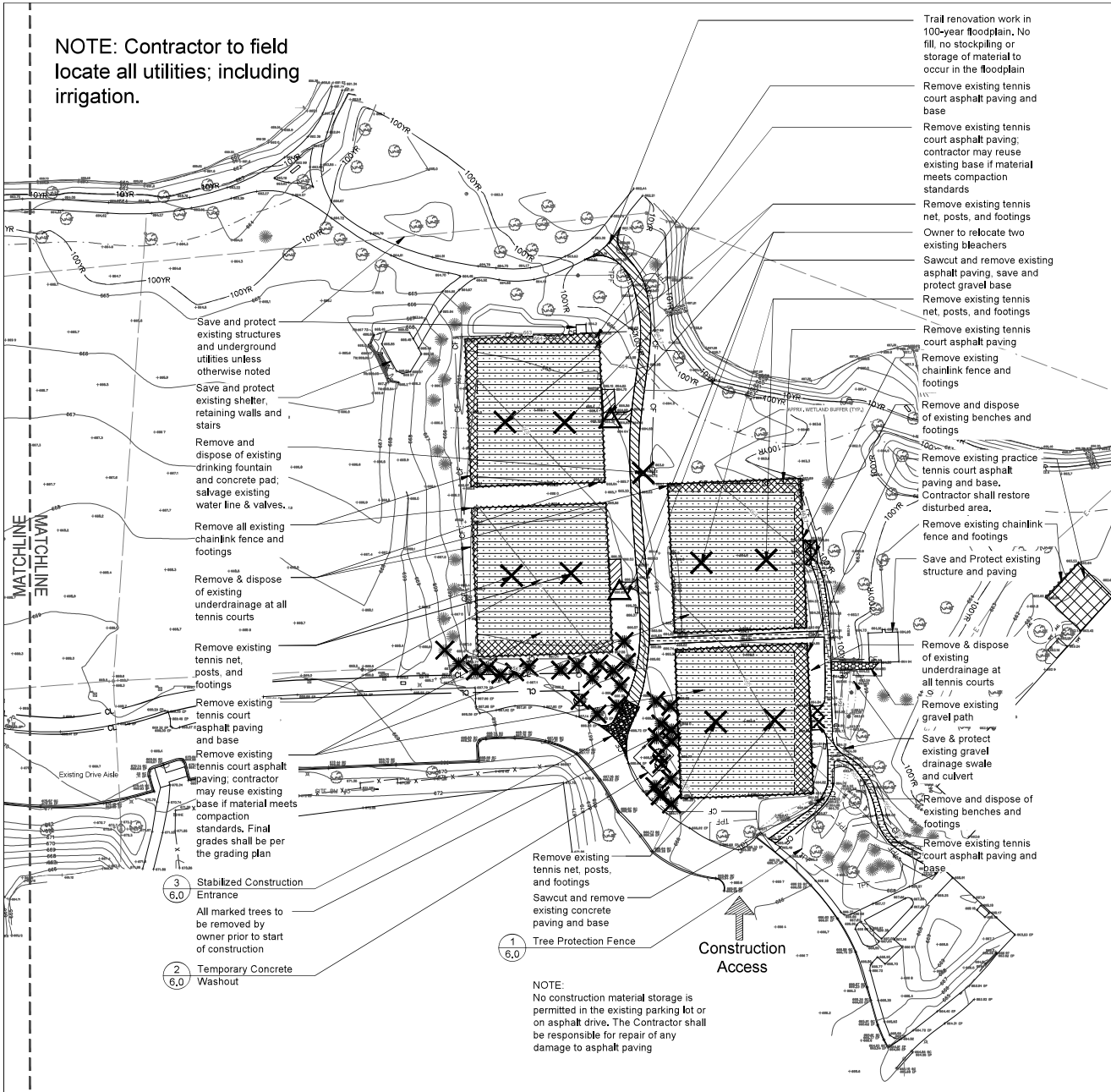
Benchmark #1:
2" FROM PIPE LOCATED APPROXIMATELY 185' NORTHWEST OF 1300 FOREST GATE ROAD, ELEV. 985.33 (NAVD 88)

Control Monument Number 5 South
Northing: 1856997.776 (FT)
Easting: 988121.423 (FT)
Elevation: 690.81 NAVD 88 (691.04 (FT) NGVD 29)

REMOVALS LEGEND

- Remove and Dispose of Existing Asphalt Court Paving
- Remove and Dispose of Existing Asphalt Court Paving. Existing base within new court limits. Existing base course material may be utilized if meets compaction. Contractor responsible to meet grades. See plans
- Remove and Dispose of Existing Asphalt Trail Paving
- Mill, Remove, and Dispose of 2" Existing Asphalt Surface
- Remove and Dispose of Existing Concrete Paving
- Remove and Dispose of Existing Gravel Path
- Remove and Dispose of Existing Fence
- Remove and properly dispose of trees, stump, and grind root mass to a depth of 18" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan -By Owner
- Remove and Dispose of Item as Marked
- Salvage and Relocate Item as Marked-By Owner
- Construction Limits
- Construction Fence
- Tree Protection Fence

NOTE: Contractor to field locate all utilities; including irrigation.





1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
uplandDesign.com

CIVIL ENGINEER & SURVEYOR
Engineering Resource Associates
35701 West Avenue, Suite 150
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ELECTRICAL ENGINEER
IMEG Consultants Corp.
263 Shuman Blvd Suite 550
Naperville, Illinois 60563
IL License 184-007637-0006

ORIGINAL ISSUE DATE

Issue for 90% 29APR2026

REVISIONS

PROJECT NUMBER 1443

SHEET TITLE

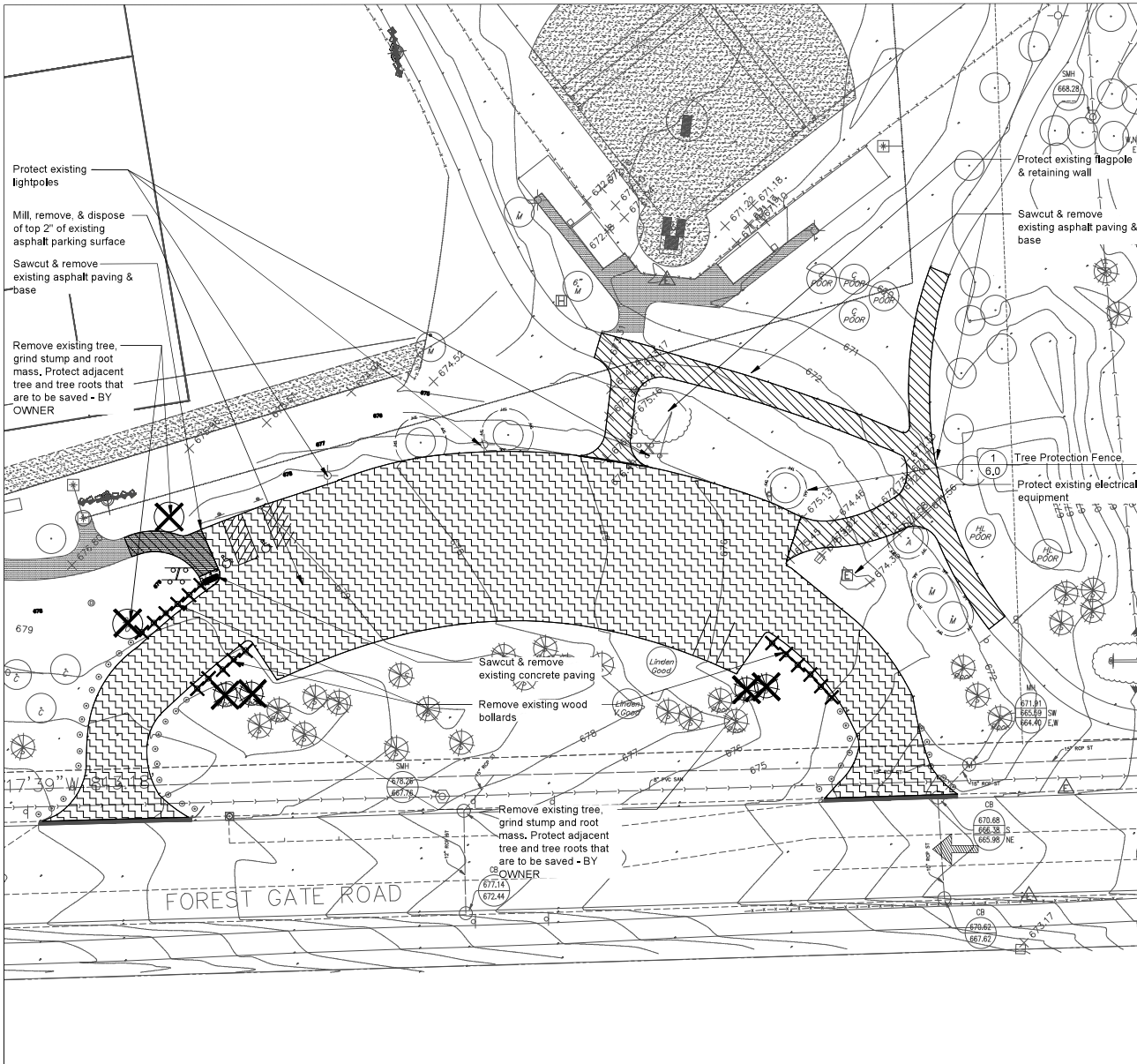
Existing Conditions & Removals Plan - Parking

SHEET NUMBER

2.2

GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

1. Refer to Notes on Sheet 2.0

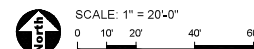


PROJECT BENCHMARK

Benchmark #1
2" IRON PIPE LOCATED APPROXIMATELY 185
NORTHWEST OF
1300 FOREST GATE ROAD,
ELEV. 665.33 (NAVD 88)

REMOVALS LEGEND

- Remove and Dispose of Existing Asphalt Trail Paving
- Remove and Dispose of Existing Concrete Paving
- Mill, Remove, and Dispose of 2" Existing Asphalt Surface
- Tree Protection Fence
- Remove and properly dispose of trees, stump, and grind root mass to a depth of 12" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan - By Owner
- Remove and Dispose of Item as Marked
- Salvage and Relocate Item as Marked





1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
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ELECTRICAL ENGINEER
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Naperville, Illinois 60563
IL License 184-007637-0006

ORIGINAL ISSUE DATE
Issue for Bid 16JUNE2026

REVISIONS

NOT FOR CONSTRUCTION

PROJECT NUMBER 1443

SHEET TITLE
Layout Plan - West

SHEET NUMBER

3.0

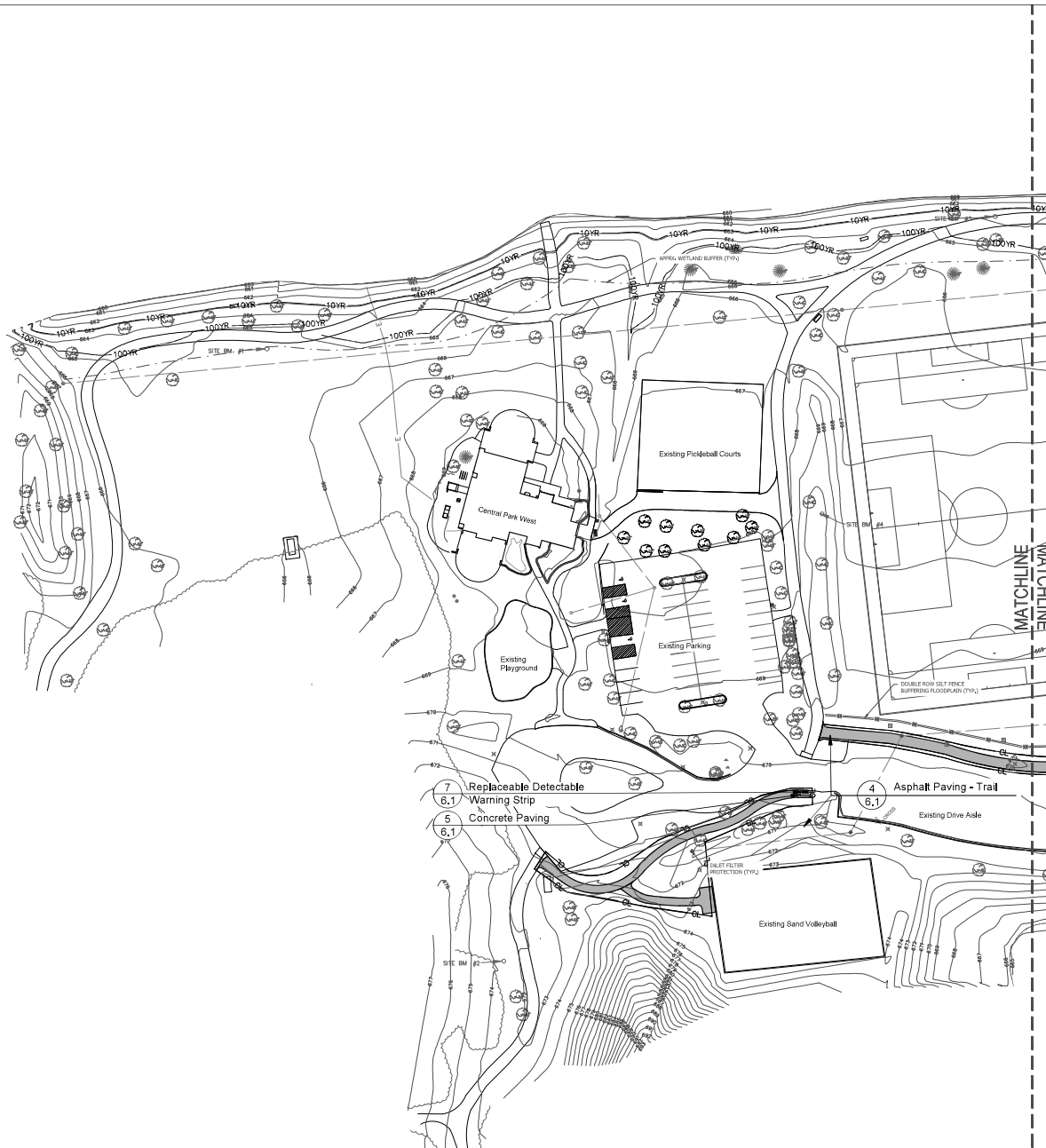
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GENERAL NOTES: LAYOUT

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3. No work to take place in Flood Plain or Floodway unless indicated on plans.

REFERENCED SPECIFICATIONS AND CODES

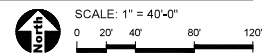
1. The Americans with Disabilities Act and the Illinois Accessibility Code.
2. The Illinois Urban Manual.
3. NRCS Engineering Field Handbook.
4. All codes and ordinances of the Village of Oak Brook, United States Army Corp of Engineers, Illinois Department of Natural Resources, Kane-DuPage Soil and Water Conservation District, and all agencies having jurisdiction.
5. All requirements of the Occupational Safety and Health Administration.
6. The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
7. In case of conflict, the more restrictive provision shall apply.



- 7 Replaceable Detectable Warning Strip
- 6.1 Concrete Paving
- 4 Asphalt Paving - Trail

LEGEND

- Asphalt Paving - Trail
- Concrete Paving
- CL Construction Limits
- XX Silt Fence





1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
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IMEG Consultants Corp.
263 Shuman Blvd Suite 550
Naperville, Illinois 60563
IL License 184-007637-0006

ORIGINAL ISSUE DATE
Issue for Bid 16JUNE2026

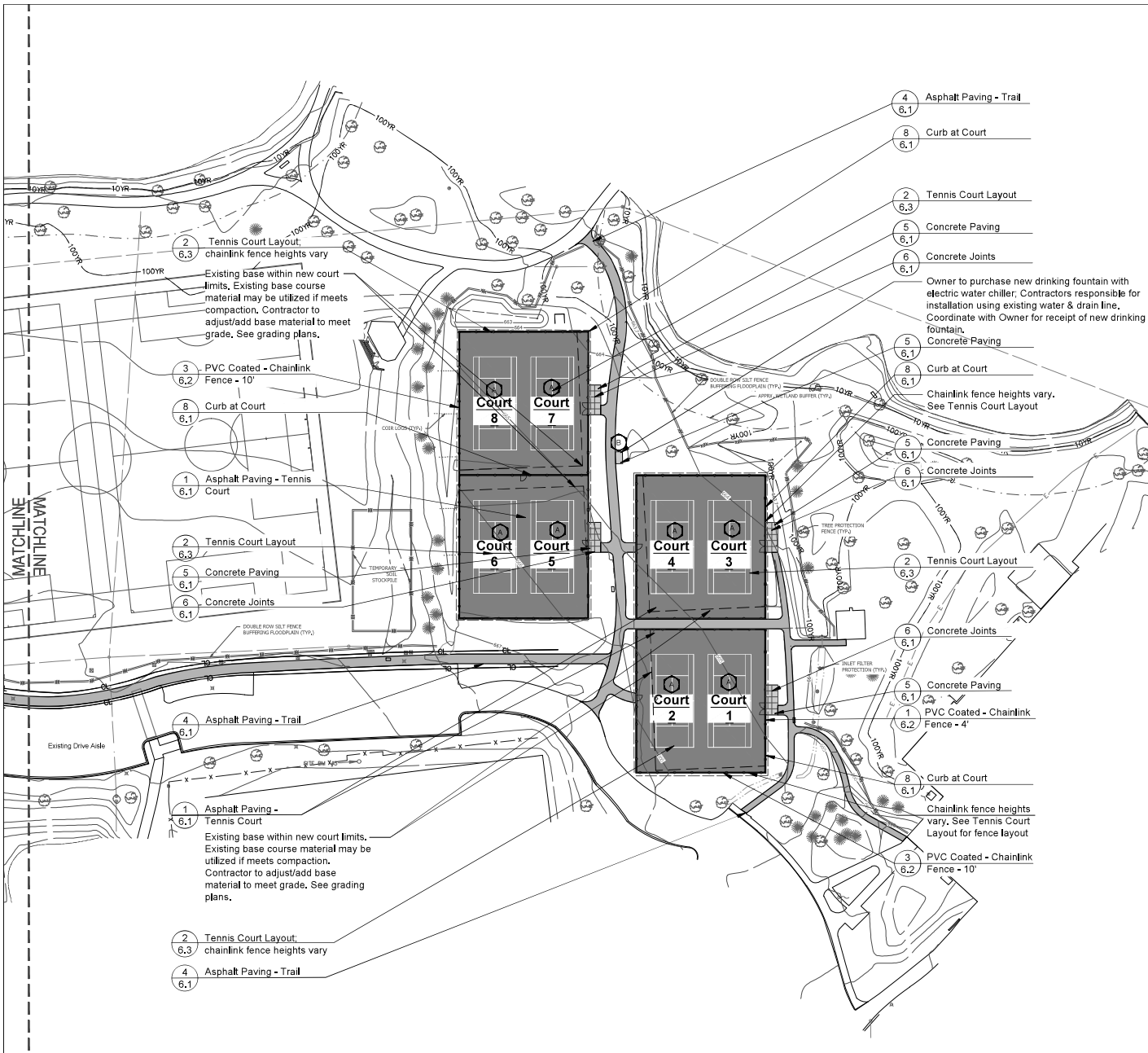
REVISIONS

NO.	DESCRIPTION

PROJECT NUMBER 1443

SHEET TITLE
Layout Plan - East

SHEET NUMBER



GENERAL NOTES: LAYOUT

- It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
- The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
- No work to take place in Flood Plain or Floodway unless indicated on plans.

REFERENCED SPECIFICATIONS AND CODES

- The Americans with Disabilities Act and the Illinois Accessibility Code.
- The Illinois Urban Manual.
- NRCS Engineering Field Handbook
- All codes and ordinances of the Village of Oak Brook, United States Army Corp of Engineers, Illinois Department of Natural Resources, Kane-DuPage Soil and Water Conservation District, and all agencies having jurisdiction.
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SITE AMENITIES SCHEDULE - to be purchased and installed by Contractor

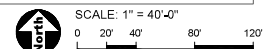
Key	Item	Color	Quantity	Model	Manufacturer	Supplier
A	Tennis Ground	Black	8 Sets	#30061, 1 1/2" x 3/4" Tennis Net, 3/8" Ground Anchor, and Tie Down Strap	ACS	NuToys Leisure Products 800-626-6197
	Posts	Black	8 Sets	#33034, Premier ACS Adjustable Center Strap	Douglas Sports	
	Center Pipe Anchor			#33423, Center Pipe Anchor		
	Tree Protection Fence (TPF)			#3171, GS-24RDVAL Aluminum Ground Sleeves, 24"		

SITE AMENITIES SCHEDULE - purchase BY OWNER, installed by Contractor

Key	Item	Color	Quantity	Model	Manufacturer	Supplier
B	Accessible Drinking Fountain with Child Safe Filter	TBD	1	#1145, 165626 Chilled Bottle Filter, Stainless Steel, Surface Mount	Dependable Fountain	Play Design Scapes (224) 524-4567

LEGEND

- Asphalt Paving - Court
- Asphalt Paving - Trail
- Concrete Paving
- Chainlink Fence - 10'
- Chainlink Fence - Transition
- Chainlink Fence - 4'
- Existing Base Within New Court Limits
- CL - Construction Limits
- Silk Fence





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Issue for 90% 29APR2026

REVISIONS

PROJECT NUMBER 1443

SHEET TITLE
Layout Plan - Parking

SHEET NUMBER

3.2

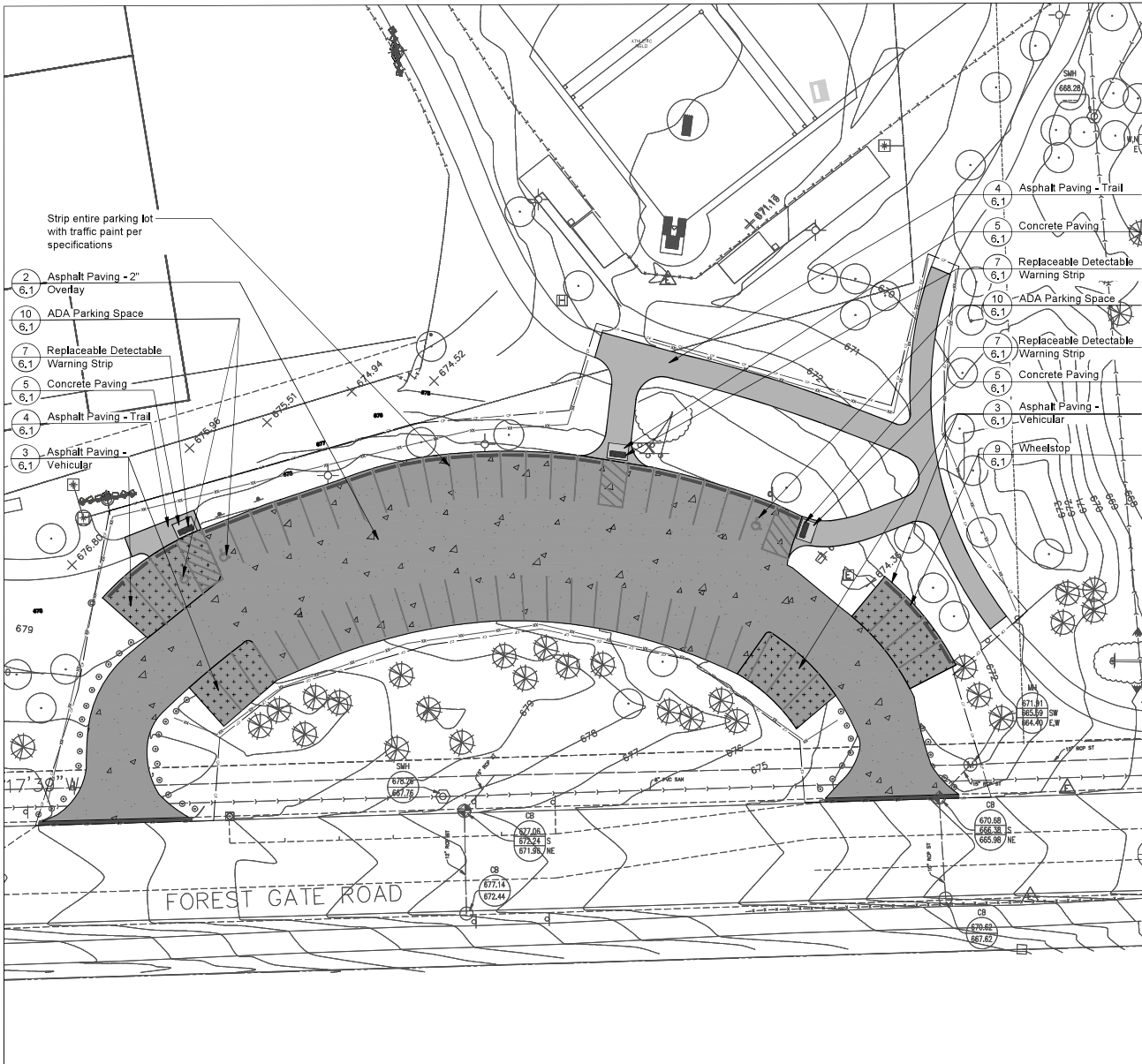
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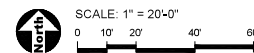
REFERENCED SPECIFICATIONS AND CODES

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2. The Illinois Urban Manual.
3. NRC's Engineering Field Handbook
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7. In case of conflict, the more restrictive provision shall apply.



LEGEND

- Asphalt Parking - New Base
- Asphalt Parking - 2" Overlay
- Asphalt Paving - Trail
- Concrete Paving
- Construction Fence
- Silt Fence





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ORIGINAL ISSUE DATE
Issue for Bid 16JUNE2026

REVISIONS

PROJECT NUMBER **1443**

SHEET TITLE
**Dimension
Plan - East**

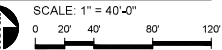
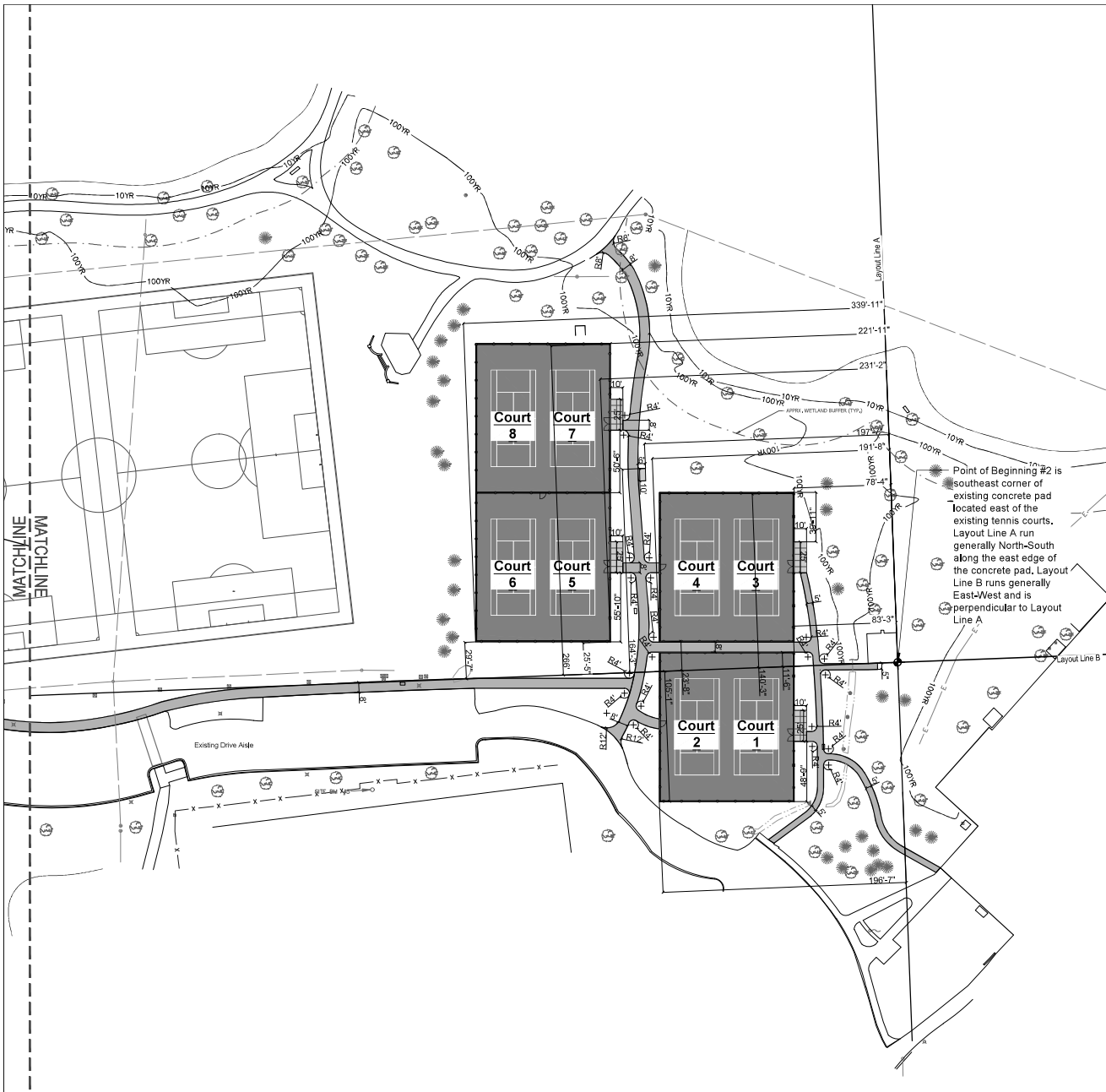
SHEET NUMBER

4.1

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GENERAL NOTES: DIMENSION

1. Layout of equipment is to center of post.
2. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
3. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
4. See Layout Plan, Sheet 3.0 for additional general notes and referenced specifications and codes.
5. Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.



PROJECT BENCHMARK

Benchmark #1:
2" BRON RPE LOCATED APPROXIMATELY 185' NORTHWEST OF
1300 FOREST GATE ROAD,
ELEV. 895.33 (NAVD 88)

Control Monument Number 5 South
Northing: 1855897.776 (FT)
Easting: 988121.423 (FT)
Elevation: 690.81 NAVD 88 (691.04 (FT) NGVD 29)

LEGEND

- Asphalt Paving - Court
- Asphalt Paving - Trail
- Concrete Paving
- Point of Beginning
- Chainlink Fence



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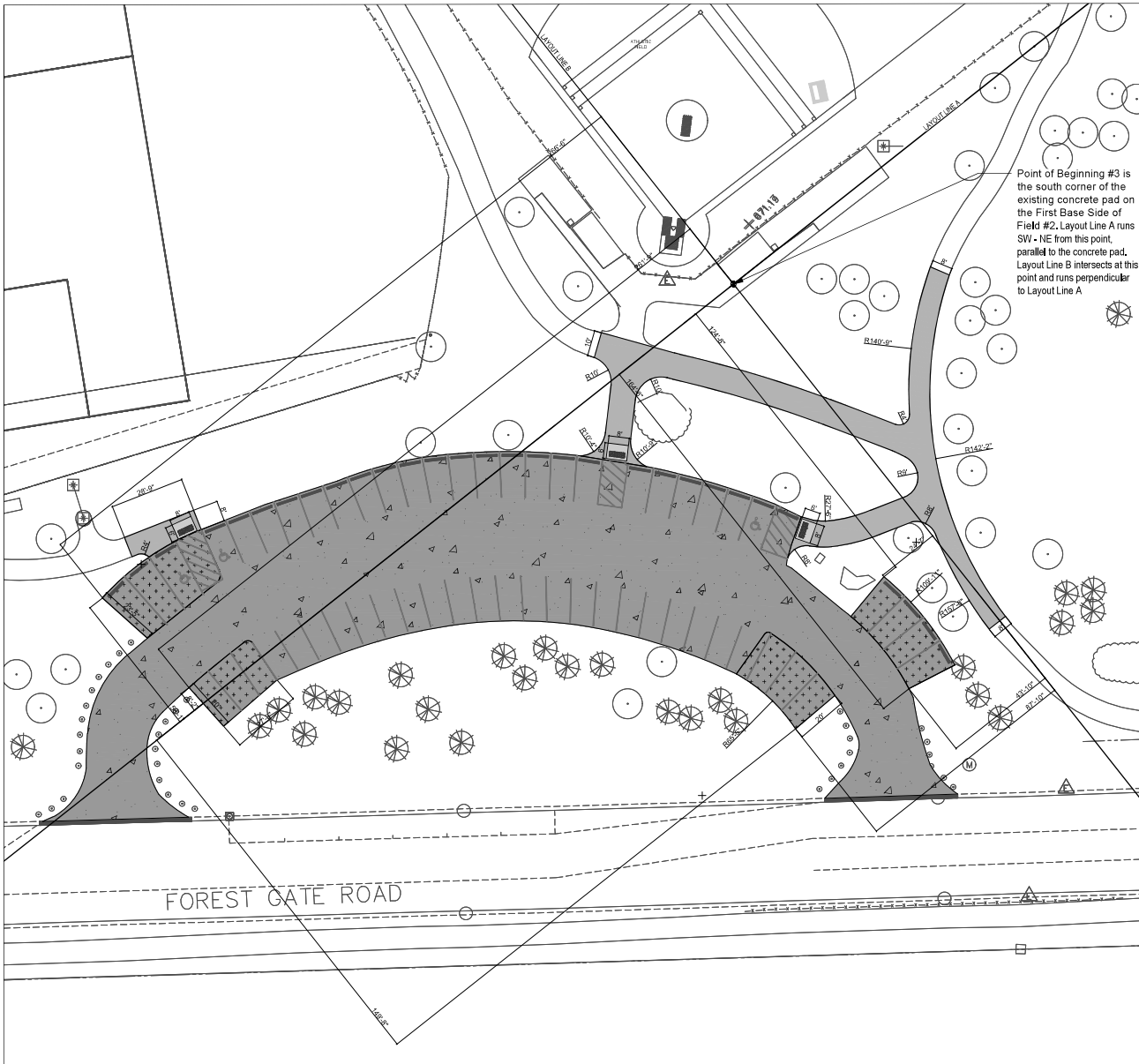
PROJECT NUMBER **1443**

SHEET TITLE
**Dimension
Plan - Parking**

SHEET NUMBER
4.2

GENERAL NOTES: DIMENSION

1. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
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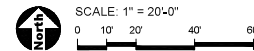
PROJECT BENCHMARK

Benchmark #1:
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1300 FOREST GATE ROAD,
ELEV: 886.33 (NAVD 88)

Control Monument Number 5 South
Northing: 1855897.776 (FT)
Easting: 988121.423 (FT)
Elevation: 690.81 NAVD 88 (691.04 (FT) NGVD 29)

LEGEND

- Asphalt Parking - New Base
- Asphalt Parking - 2" Overlay
- Asphalt Paving - Trail
- Concrete Paving
- Point of Beginning





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REVISIONS

NOT FOR CONSTRUCTION

PROJECT NUMBER 1443

SHEET TITLE
Landscape Plan - West

SHEET NUMBER

5.0

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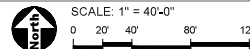
GENERAL NOTES: LANDSCAPE

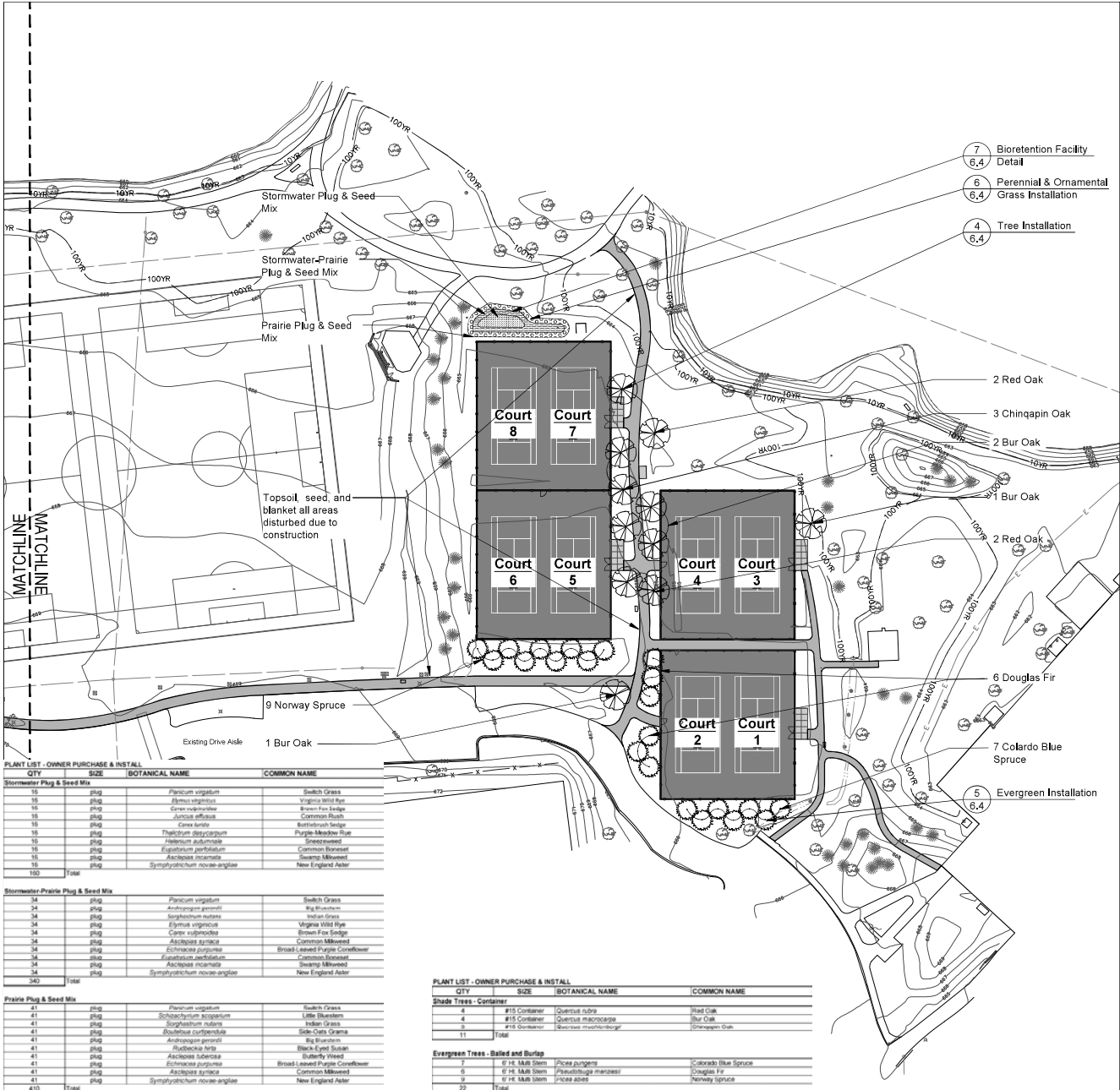
- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the plans.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- All plant material shall be inspected and approved by the Owner's Representative prior to the installation of any and all plant material.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch.
- Beds and tree rings (if diameter) shall have 3" of hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/2 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by rototilling 2" of Mushroom Compost into new beds. Do not add compost nor rototill within drip line of existing trees.
- Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification.
- Turf mixes shall be installed and lawn established at all disturbed areas.
- Do not overseed into mulch beds, artificial turf, and paving.
- Contractor shall restore all areas disturbed as a result of construction.



LEGEND

- Shade Tree - By Owner
- Evergreen Tree - By Owner
- Stormwater Plug and Seed Mix - By Owner
- Stormwater-Prairie Plug and Seed Mix - By Owner
- Prairie Plug and Seed Mix - By Owner





GENERAL NOTES: LANDSCAPE

- Refer to Notes on Sheet L5,0

- 7 Bioretention Facility
- 6.4 Detail
- 6 Perennial & Ornamental Grass Installation
- 6.4
- 4 Tree Installation
- 6.4

LEGEND

- Shade Tree - By Owner
- Evergreen Tree - By Owner
- Stormwater Plug & Seed Mix - By Owner
- Stormwater-Prairie Plug & Seed Mix - By Owner
- Prairie Plug & Seed Mix - By Owner

PLANT LIST - OWNER PURCHASE & INSTALL

QTY	SIZE	BOTANICAL NAME	COMMON NAME
Stormwater Plug & Seed Mix			
19	plug	<i>Phacelia vernalis</i>	Swatch Grass
19	plug	<i>Thymus virginicus</i>	Virginia Wild Rose
19	plug	<i>Eriogonum fasciculatum</i>	Brown Top Sage
19	plug	<i>Junonia affinis</i>	Common Rush
19	plug	<i>Eriogonum fasciculatum</i>	Brown Top Sage
19	plug	<i>Thalictrum dasycarpum</i>	Purple Meadow Rue
19	plug	<i>Hesperis matronalis</i>	Evening Primrose
19	plug	<i>Equisetum perfoliatum</i>	Common Horsetail
19	plug	<i>Andropogon scoparius</i>	Swamp Minkwort
19	plug	<i>Symphoricarpos racemosa</i>	New England Aster
190	Total		

Stormwater-Prairie Plug & Seed Mix

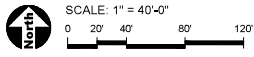
QTY	SIZE	BOTANICAL NAME	COMMON NAME
34	plug	<i>Phacelia vernalis</i>	Swatch Grass
34	plug	<i>Andropogon scoparius</i>	Swamp Minkwort
34	plug	<i>Sorghastrum nutans</i>	Indian Grass
34	plug	<i>Thymus virginicus</i>	Virginia Wild Rose
34	plug	<i>Eriogonum fasciculatum</i>	Brown Top Sage
34	plug	<i>Andropogon scoparius</i>	Swamp Minkwort
34	plug	<i>Echinacea purpurea</i>	Broad Leaved Purple Coneflower
34	plug	<i>Equisetum perfoliatum</i>	Common Horsetail
34	plug	<i>Andropogon scoparius</i>	Swamp Minkwort
34	plug	<i>Symphoricarpos racemosa</i>	New England Aster
340	Total		

Prairie Plug & Seed Mix

QTY	SIZE	BOTANICAL NAME	COMMON NAME
41	plug	<i>Phacelia vernalis</i>	Swatch Grass
41	plug	<i>Sorghastrum nutans</i>	Indian Grass
41	plug	<i>Andropogon scoparius</i>	Swamp Minkwort
41	plug	<i>Andropogon scoparius</i>	Swamp Minkwort
41	plug	<i>Echinacea purpurea</i>	Broad Leaved Purple Coneflower
41	plug	<i>Echinacea purpurea</i>	Broad Leaved Purple Coneflower
41	plug	<i>Symphoricarpos racemosa</i>	New England Aster
410	Total		

PLANT LIST - OWNER PURCHASE & INSTALL

QTY	SIZE	BOTANICAL NAME	COMMON NAME
Shade Trees - Container			
4	#15 Container	<i>Quercus rubra</i>	Red Oak
4	#15 Container	<i>Quercus macrocarpa</i>	Bur Oak
3	#15 Container	<i>Thuja occidentalis</i>	Green Tree
11	Total		
Evergreen Trees - Balled and Burlap			
7	6" H. 1.5M Stem	<i>Picea pungens</i>	Colorado Blue Spruce
6	6" H. 1.5M Stem	<i>Pinus strobus</i>	Pinus
9	6" H. 1.5M Stem	<i>Thuja occidentalis</i>	Green Tree
22	Total		



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PROJECT
Central Park Tennis Court Renovations
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NO.	DESCRIPTION	DATE

PROJECT NUMBER **1443**

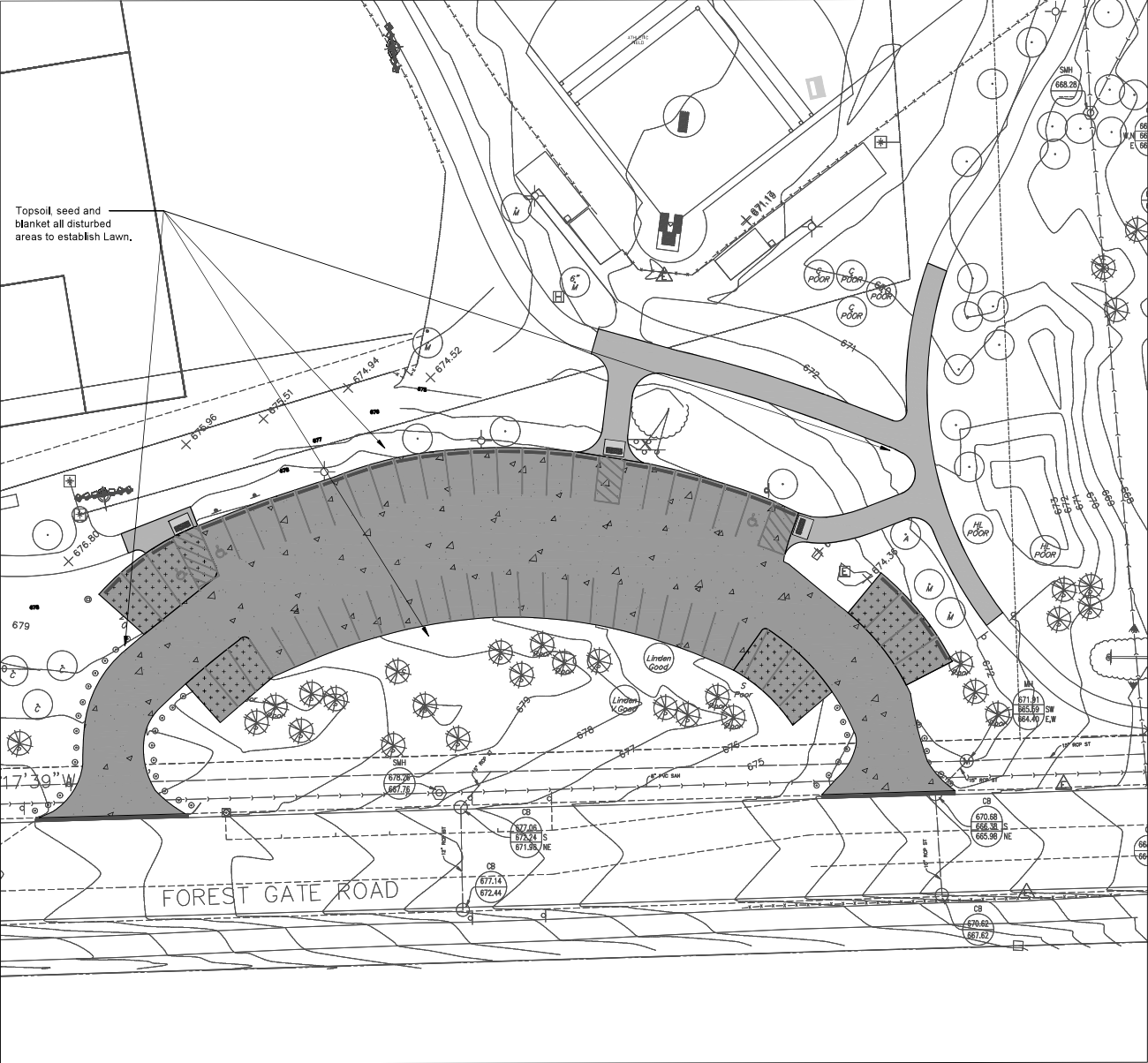
SHEET TITLE
Landscape Plan - East

SHEET NUMBER

5.1

GENERAL NOTES: LANDSCAPE

1. Refer to Notes on Sheet L5.0



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PROJECT
Central Park Tennis Court Renovations

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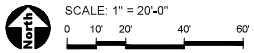
NO.	DESCRIPTION	DATE

PROJECT NUMBER 1443

SHEET TITLE
Landscape Plan - Parking

SHEET NUMBER

5.2





1450 Forest Gate Road
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PROJECT
**Central Park
Tennis Court
Renovations**

1450 Forest Gate Road
Oak Brook, Illinois 60523

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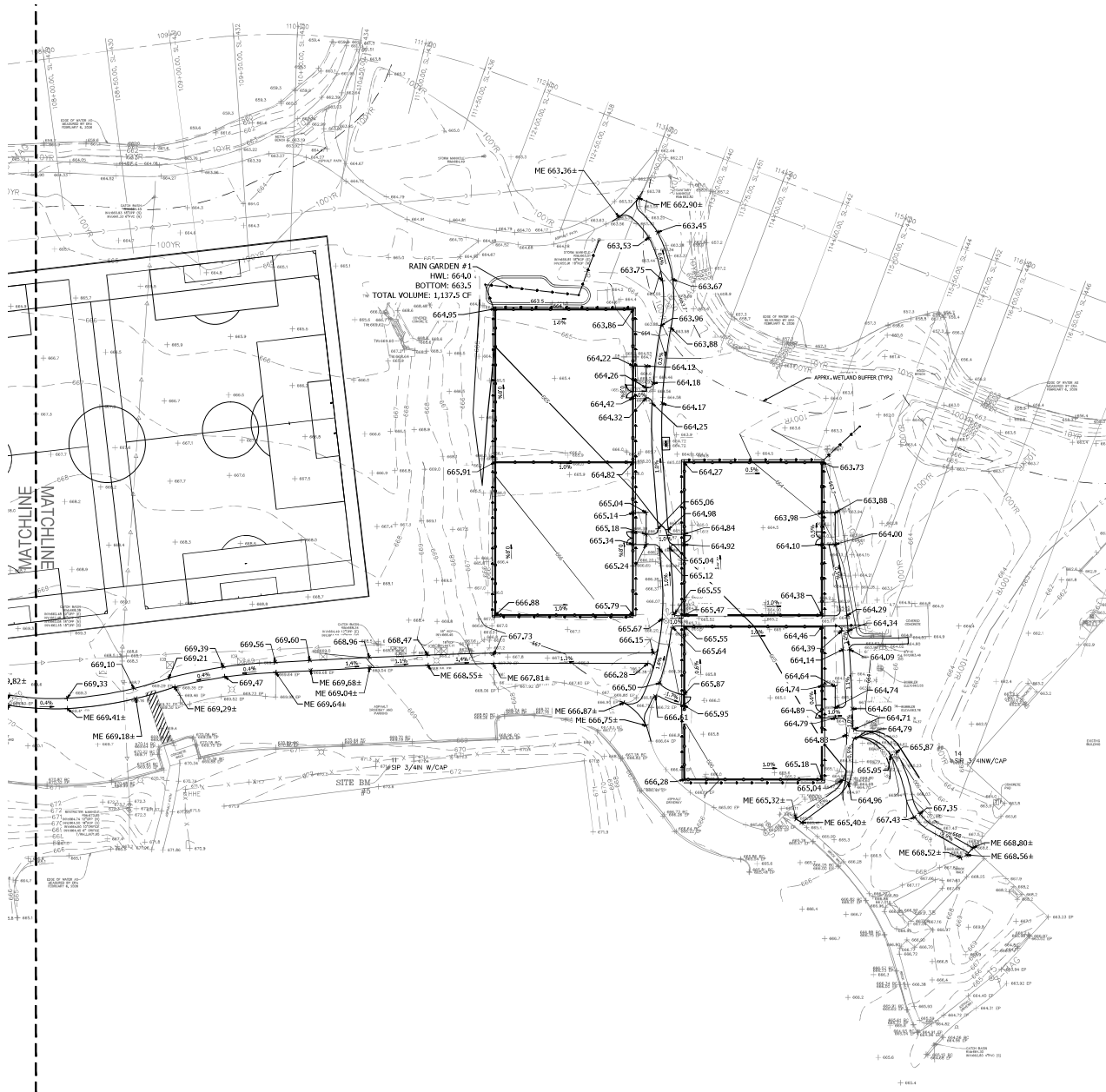
PROJECT NUMBER **1443**

SHEET TITLE

**Grading Plan -
East**

SHEET NUMBER

C1.1



LEGEND

- ME - MATCH EXISTING
- EP - EDGE OF PAVEMENT
- X.X% PROPOSED SLOPE
- 66X- PROPOSED CONTOUR
- PROPOSED STORM SEWER



SCALE: 1" = 40'-0"





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REVISIONS

PROJECT NUMBER 1443

SHEET TITLE

Utility Plan - West

SHEET NUMBER

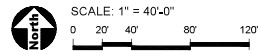
C2.0



LEGEND

- ME - MATCH EXISTING
- EP - EDGE OF PAVEMENT
- X-X- PROPOSED SLOPE
- 66X- PROPOSED CONTOUR
- PROPOSED STORM SEWER
- EX. STORM SEWER
- ⊙ EX. STORM CATCH BASIN
- ◁ EX. STORM FLARED END SECTION
- EX. SANITARY SEWER
- ⊙ EX. SANITARY MANHOLE
- EX. ELECTRIC LINE
- ⌘ EX. LIGHT POLE
- ⊖ EX. UTILITY POLE
- ∪ EX. FIRE HYDRANT

NOTE: NO UTILITIES ARE PROPOSED ON THIS SHEET.





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REVISIONS

PROJECT NUMBER 1443

SHEET TITLE
SWPPP Plan - West

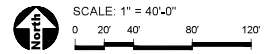
SHEET NUMBER

C3.0

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- LEGEND**
- 6x6 — PROPOSED CONTOUR
 - PROPOSED SILT FENCE
 - ◆ INLET FILTER PROTECTION
 - - - - PROP. CONSTRUCTION FENCE





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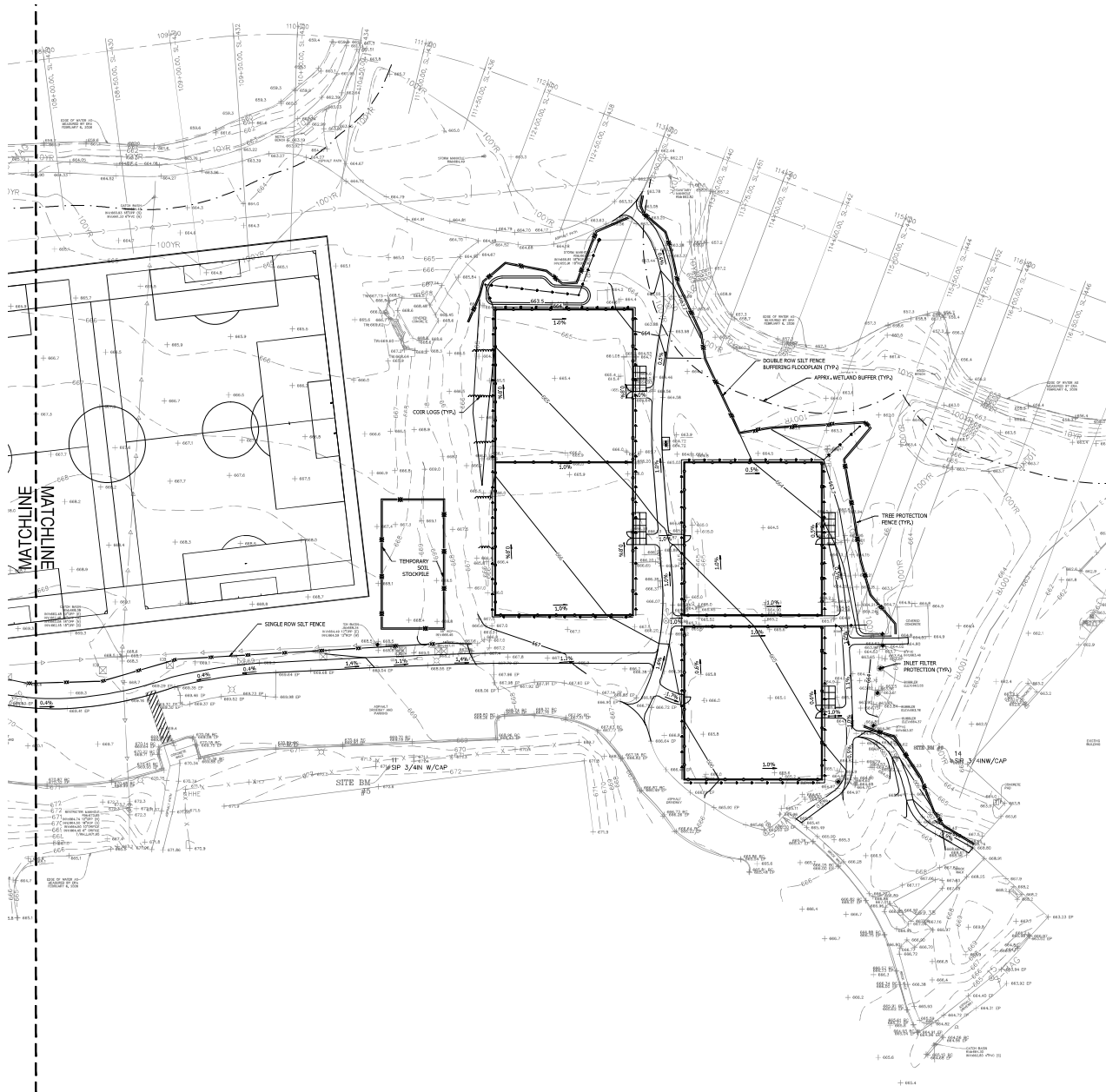
ORIGINAL ISSUE DATE
Issue for Permit 01JUNE2026

REVISIONS

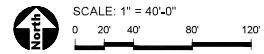
PROJECT NUMBER **1443**

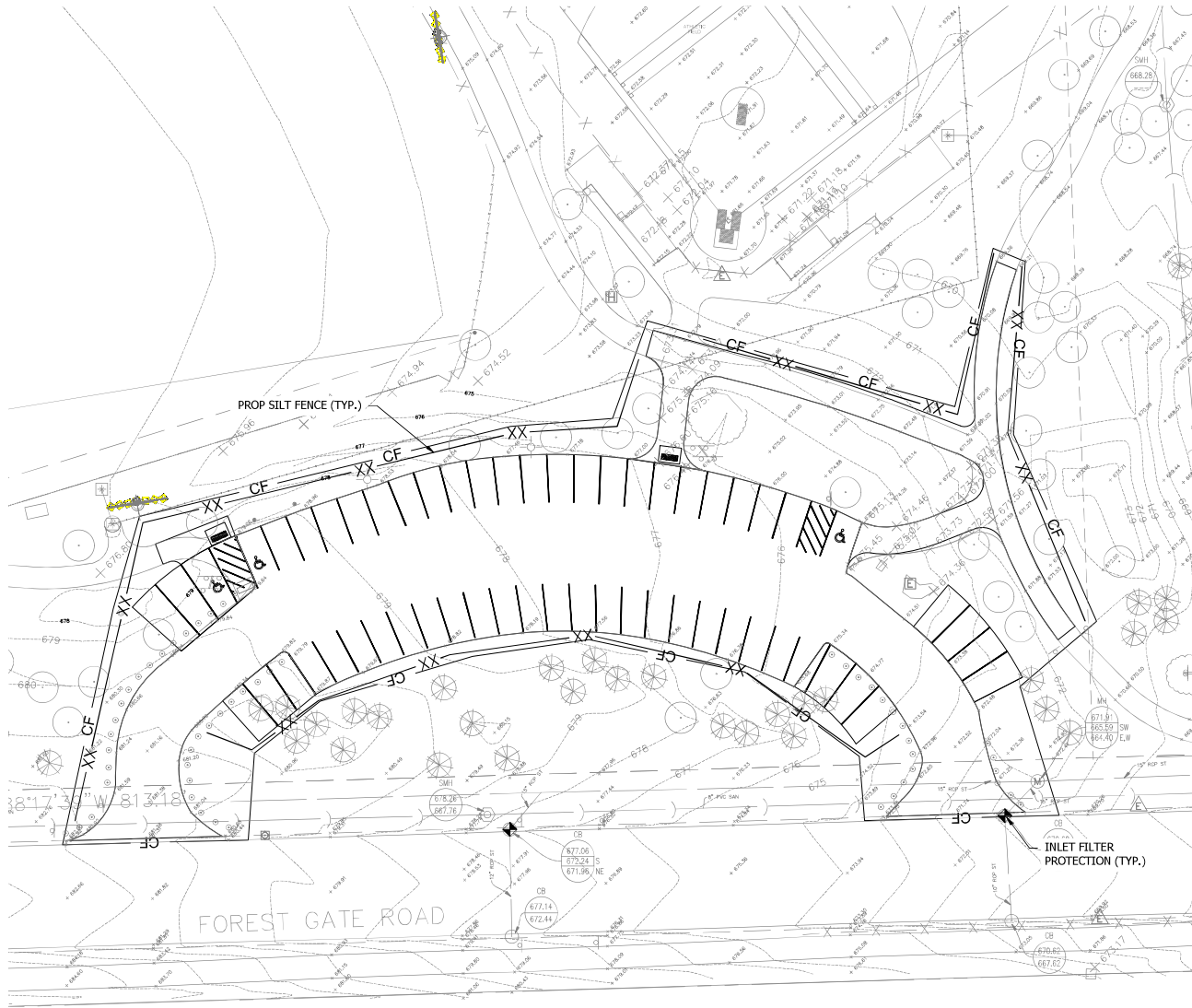
SHEET TITLE
SWPPP Plan - East

SHEET NUMBER
C3.1



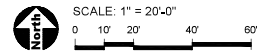
- LEGEND
- 6X — PROPOSED CONTOUR
 - 6X — PROPOSED SILT FENCE
 - ◆ INLET FILTER PROTECTION
 - CF — PROP. CONSTRUCTION FENCE





LEGEND

— 66x —	PROPOSED CONTOUR
— XX —	PROPOSED SILT FENCE
◆	INLET FILTER PROTECTION
— CF —	PROP. CONSTRUCTION FENCE



1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
Central Park Tennis Court Renovations
1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



uplandDesign Ltd
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Plainfield, Illinois 815-254-0091
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ORIGINAL ISSUE DATE
Issue for Permit 01JUNE2026

REVISIONS

NOT FOR CONSTRUCTION

PROJECT NUMBER 1443

SHEET TITLE
SWPPP Plan - Parking

SHEET NUMBER
C3.2



1450 Forest Gate Road
Oak Brook, Illinois 60523
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Project Central Park Tennis Court Renovations

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PROJECT TEAM



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ORIGINAL ISSUE DATE

Issue for Permit 01JUNE2026

REVISONS

PROJECT NUMBER 1443

SHEET TITLE

SWPPP Plan - Notes

SHEET NUMBER

C3.2

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STORMWATER POLLUTION PREVENTION PLAN

Drainage Statement

WE HEREBY STATE THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS OF THIS PLAT WILL NOT BE CHANGED BY THE CONSTRUCTION OF THE IMPROVEMENTS OF THIS SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE MAINTAINED FOR IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATE: _____
NAME OF ENGINEER
ILLINOIS REGISTERED PROFESSIONAL ENGINEER

OWNER AND DEVELOPER:
NAME OF DEVELOPER/OWNER

TITLE:

CORPORATION:

- EROSION CONTROL MAINTENANCE**
- CLEAN OR REMOVE AND REPLACE, THE INLET PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, AND/OR PERFORMANCE IS COMPROMISED, WHERE THERE IS EVIDENCE OF SEDIMENT ACCUMULATION ADJACENT TO THE INLET PROTECTION MEASURE. REMOVE THE DEPOSITED SEDIMENT BY THE END OF THE SAME BUSINESS DAY IN WHICH IT IS FOUND OR BY THE END OF THE FOLLOWING BUSINESS DAY IF REMOVAL BY THE SAME BUSINESS DAY IS NOT FEASIBLE.
 - CORRECTIVE ACTION MUST BE TAKEN WHEN THE FOLLOWING ARE IDENTIFIED ON THE SITE: A STORMWATER CONTROL NEEDS REPAIR OR REPLACEMENT; A STORMWATER CONTROL NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT WAS NEVER INSTALLED OR WAS INSTALLED INCORRECTLY; DISCHARGES ARE CAUSING AN EXCESSIVE OF APPLICABLE WATER QUALITY STANDARDS; OR A PROHIBITED DISCHARGE HAS OCCURRED, CORRECTIVE ACTIONS MUST BE COMPLETED AS SOON AS POSSIBLE AND DOCUMENTED WITHIN 7 DAYS IN AN INSPECTION REPORT OR REPORT OF NONCOMPLIANCE. IF IT IS INFEASIBLE TO COMPLETE THE INSTALLATION OR REPAIR WITHIN 7 CALENDAR DAYS, IT MUST BE DOCUMENTED IN THE RECORDS WHY IT IS INFEASIBLE TO COMPLETE THE INSTALLATION OR REPAIR WITHIN THE 7-DAY TIMEFRAME AND DOCUMENT THE SCHEDULE FOR INSTALLING THE STORMWATER CONTROLS AND MAKING IT OPERATIONAL AS SOON AS FEASIBLE AFTER THE 7-DAY TIMEFRAME. IF MAINTENANCE IS REQUIRED FOR THE SAME STORMWATER CONTROL, THE SAME LOCATION THREE OR MORE TIMES, THE RECORDS MUST BE RECORDED THAT PREVENTS CONTINUED FAILURE TO THE EXTENT FEASIBLE, AND IT MUST BE DOCUMENTED THE CONDITION AND HOW IT WAS REPAIRED IN THE RECORDS. ALTERNATIVELY, IT MUST BE DOCUMENTED IN THE RECORDS WHY THE SPECIFIC REOCCURENCE OF THIS SAME ISSUE SHOULD CONTINUE TO BE ADDRESSED AS A ROUTINE MAINTENANCE FIX.
 - INSPECTIONS MUST BE CONDUCTED BY QUALIFIED PERSONNEL, AS DEFINED IN THE PERMIT, AND PROVIDED BY THE PERMITTEE. INSPECTIONS MUST INCLUDE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. AREAS UNINSPECTED DURING INSPECTIONS DUE TO FLOODING OR OTHER UNSAFE CONDITIONS MUST BE INSPECTED WITHIN 72 HOURS OF BECOMING ACCESSIBLE.
 - INSPECTIONS MAY BE REDUCED TO ONCE PER MONTH WHEN CONSTRUCTION ACTIVITIES HAVE CEASED DUE TO FROZEN CONDITIONS, WEEKLY INSPECTIONS MUST RECOMMENCE WHEN CONSTRUCTION ACTIVITIES ARE CONDUCTED, IF THERE IS A 4.50 INCHES OR GREATER RAIN EVENT, OR A DISCHARGE DUE TO SNOWMELT OCCURS.
 - DISTURBED AREAS, AREAS USED FOR THE STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION AND ALL AREAS WHERE STORMWATER TYPICALLY FLOWS WITHIN THE SITE MUST BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM, EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE SWPPP MUST BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. ALL LOCATIONS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED MUST BE OBSERVED TO ENSURE THAT THEY ARE STILL STABILIZED, WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY MUST BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
 - FOR SITES DISCHARGING DEWATERING WATER, AN INSPECTION MUST BE CONDUCTED DURING THE DISCHARGE ONCE PER DAY OR WHEN THE DISCHARGE OCCURS AND RECORD THE FOLLOWING IN A REPORT WITHIN 24 HOURS OF COMPLETING THE INSPECTION: THE INSPECTION DATE, NAMES AND TITLES OF PERSONNEL PERFORMING THE INSPECTION, APPROXIMATE TIMES THAT THE DEWATERING DISCHARGE BEGAN AND ENDED ON THE DAY OF INSPECTION, ESTIMATES OF THE RATE (IN GALLONS PER DAY) OF DISCHARGE ON THE DAY OF INSPECTION, AND WHETHER OR NOT ANY OF THE FOLLOWING INDICATORS OF POLLUTANT DISCHARGE WERE OBSERVED AT THE POINT OF DISCHARGE: A SEDIMENT PLUME, SUSPENDED SOLIDS, UNUSUAL COLOR, PRESENCE OF OIL, DOOR DECREASED CLARITY, PRESENCE OF FOAM, A VISIBLE SHEEN ON THE WATER SURFACE, AND/OR VISIBLE OILY DEPOSITS ON THE BOTTOM OR SHORLINE OF THE RECEIVING WATER.
 - IF THE SWPPP MUST BE MODIFIED BASED ON THE RESULTS OF AN INSPECTION REPORT, THE MODIFICATIONS MUST BE COMPLETED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION

DESCRIPTION OF STABILIZATION PRACTICES DURING CONSTRUCTION:

- DURING CONSTRUCTION, AREAS OUTSIDE THE CONSTRUCTION LIMITS AS OBTAINED PREVIOUSLY HEREIN SHALL BE PROTECTED. THE CONTRACTOR SHALL NOT USE THIS AREA FOR STAGING, PARKING OF VEHICLES OF CONSTRUCTION EQUIPMENT, STORAGE OF MATERIALS OR OTHER CONSTRUCTION RELATED ACTIVITIES.
- WITHIN THE CONSTRUCTION LIMITS AREAS WHICH MAY BE SUSCEPTIBLE TO EROSION AS DETERMINED BY THE ENGINEER SHALL REMAIN UNDISTURBED UNTIL FULL SCALE CONSTRUCTION IS UNDERWAY TO PREVENT UNNECESSARY SOIL EROSION.
- CONSTRUCTION PROCEEDS, THE CONTRACTOR SHALL INSTITUTE THE FOLLOWING AS DIRECTED BY THE ENGINEER:
 - PLACE TEMPORARY EROSION CONTROL PRACTICES AT LOCATIONS SHOWN ON THE PLANS.
 - TEMPORARILY SEED ERODIBLE BARE EARTH ON A WEEKLY BASIS TO MINIMIZE THE AMOUNT OF ERODIBLE SURFACE AREA WITHIN THE CONTRACT LIMITS.
 - PROVIDE TEMPORARY EROSION CONTROL SYSTEMS.
 - CONTINUE BUILD UP THE OMBANKMENT TO THE PROPOSED GRADE WHILE, AT THE SAME TIME, FLOCCING SURFACE EROSION CONTROL FILM, SHARPING TO THE SLOPES.
- ERODIBLE AREAS AND EMBANKMENT SHALL BE PERMANENTLY SEEDDED IMMEDIATELY AFTER FINAL GRADING, IF NOT, THEY SHALL BE TEMPORARILY SEEDDED IF NO CONSTRUCTION ACTIVITY IN THE AREA IS PLANNED FOR SEVEN (7) DAYS.
- CONSTRUCTION EQUIPMENT SHALL BE STORED AND FUELED ONLY AT DESIGNATED LOCATIONS. ALL NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR OTHER POLLUTANT IN ACCORDANCE WITH EPA WATER QUALITY REGULATIONS, LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE.
- THE RESIDENT ENGINEER SHALL INSPECT THE PROJECT WEEKLY DURING CONSTRUCTION ACTIVITIES, INSPECTION SHALL ALSO BE DONE WEEKLY AND AFTER RAINS OF 1/2 INCH OR GREATER OR EQUIVALENT SNOWFALL AND DURING THE WINTER SHUTDOWN PERIOD. THE PROJECT SHALL ADDITIONALLY BE INSPECTED BY THE CONSTRUCTION FIELD ENGINEER ON A BIWEEKLY BASIS TO DETERMINE THAT EROSION CONTROL EFFORTS ARE IN PLACE AND EFFECTIVE AND IF OTHER EROSION CONTROL WORK IS NECESSARY.
- SEDIMENT COLLECTED DURING CONSTRUCTION OF THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS AS DIRECTED BY THE ENGINEER, THE COST OF THIS MAINTENANCE SHALL BE INCLUDED IN THE UNIT BID PRICE FOR EARTH EXCAVATION FOR EROSION CONTROL.
- THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE REMOVED, AS DIRECTED BY THE ENGINEER, AFTER USE IS NO LONGER NEEDED OR NO LONGER FUNCTIONING.

DESCRIPTION OF STRUCTURAL PRACTICES AFTER FINAL GRADING:

- TEMPORARY EROSION CONTROL SYSTEMS SHALL BE LEFT IN PLACE WITH PROPER MAINTENANCE UNTIL PERMANENT EROSION CONTROL IS IN PLACE AND WORKING PROPERLY AND ALL PROPOSED TURE ARE SODDED AND ESTABLISHED.
- ONCE PERMANENT EROSION CONTROL SYSTEMS AS PROPOSED IN THE PLANS ARE FUNCTIONAL AND ESTABLISHED, TEMPORARY ITEMS SHALL BE REMOVED, CLEANED UP, AND DISTURBED TURE RESEDED.

MISCELLANEOUS:

- TEMPORARY EROSION CONTROL SEEDING SHALL BE APPLIED AT A RATE OF 100 LBS/ACRES, IF DIRECTED.
- SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS, AS DIRECTED BY THE ENGINEER, THE COST OF THIS MAINTENANCE SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER CUBIC YARD FOR EARTH EXCAVATION.
- ALL EROSION CONTROL PRODUCTS FURNISHED SHALL BE SPECIFICALLY RECOMMENDED BY THE MANUFACTURER FOR THE USE SPECIFIED IN THE EROSION CONTROL PLAN. PRIOR TO THE START OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE MANUFACTURER INSTALLATION PROCEDURES TO FACILITATE THE ENGINEER IN CONSTRUCTION INSPECTION.

SOIL EROSION CONTROL:

- SOIL EROSION CONTROL MUST CONFORM TO THE CITY ORDINANCE.
- SPECIFICATIONS:
 - A CONSTRUCTION ENTRANCE TO THE SITE SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY WORK ON THE SITE. THE CONSTRUCTION ENTRANCE SHALL CONSIST OF 12" OF CRUSHED CONCRETE, 50 FEET IN LENGTH AND 24 FEET WIDE, AS SHOWN ON PLANS.
 - ALL STOCK PILES ON THE SITE WHICH WILL NOT BE REDISTRIBUTED FOR A WEEK OR LONGER WILL BE SEEDDED WITHIN SEVEN DAYS OF THE FORMATION OF THE STOCKPILE.
 - SEEDING IN DISTRIBUTED AREAS OUTSIDE OF THE RIGHT-OF-WAYS WILL BE DONE WITH PERENNIAL RYE GRASS, 1/2 LB PER 1,000 SF, IF IT IS LATER IN THE FALL AND A MORE PARD GERMINATION IS REQUIRED, 1 LB OF OATS PER 1,000 SF, CAN BE ADDED TO THE RYE GRASS.
 - THE SEEDING AND MULCH WILL BE MAINTAINED AND REPAIRED UNTIL THE PROJECT IS COMPLETED.
 - AGGREGATE BASE SHALL BE INSTALLED AS SOON AS POSSIBLE IN THE CONSTRUCTION SECTIONS FOR ROADS TO PROVIDE REQUIRED STABILIZATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL STRUCTURES.
 - CONTRACTOR SHALL INSPECT EROSION CONTROL STRUCTURES WEEKLY OR AFTER ANY MAJOR STORMS OR AS DIRECTED BY THE CITY.
 - ALL DESIGN AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AS CONTAINED IN THE EPA/MP/8-012 OR CURRENT EDITION AND THE ILLINOIS PROCEDURE AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL.
 - EROSION CONTROL AND CLEANING OF ROADWAYS AS REQUESTED BY THE CITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- INSTALLATION
 - INSPECTION SHALL BE FREQUENT AND REPAIR REPLENISHMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - NOTIFY PUBLIC WORKS DEPARTMENT AND THE CITY ENGINEERING DEPARTMENT 24 HOURS PRIOR TO INITIATING CONSTRUCTION.

POLLUTANT PREVENTION AND CONTROL

- VEHICLES AND EQUIPMENT ARE TO BE MAINTAINED OFF SITE, VEHICLES WITH LEAKING FLUIDS WILL NOT BE ALLOWED ON SITE, ALL VEHICLES AND EQUIPMENT ARE TO BE CHECKED FOR LEAKS, INCLUDING SUBCONTRACTOR VEHICLES. ANY VEHICLE LEFT OVER NIGHT SHALL HAVE A Drip Pan Placed UNDERNEATH IT.
- HAZARDOUS MATERIAL (OIL, FLUIDS, PAINT, PETROLEUM PRODUCTS, ETC.) SHALL BE STORED IN STRUCTURALLY SOUND AND SEALED SHIPPING CONTAINERS WITHIN THE HAZARDOUS MATERIALS STORAGE AREA. HAZARDOUS MATERIALS AND WASTE SHALL BE STORED IN APPROPRIATE AND CLEARLY MARKED CONTAINERS. WASTE MATERIALS SHALL BE STORED SEPARATELY FROM HOLE WASTE MATERIALS. HAZARDOUS MATERIALS CANNOT BE DISPOSED OF IN THE ON-SITE DUMPSTER. HAZARDOUS MATERIALS WILL BE STORED IN ACCORDANCE WITH ALL FEDERAL AND MUNICIPAL REGULATIONS.
- SPILL KITS ARE TO BE PROVIDED WITHIN THE MATERIAL STORAGE AND CONCRETE WASHOUT AREAS.
- ALL SPILLS ARE TO BE CLEANED UP IMMEDIATELY UPON THEIR DISCOVERY. MATERIALS AND BAGS USED TO CLEAN SPILLS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP AND DISPOSED IN THE PROPER LOCATION, SPILLS LARGE ENOUGH TO CONTAMINATE ANY SURFACE WATER ARE TO BE REPORTED IMMEDIATELY.
- MATERIAL SAFETY DATA SHEETS AND INVENTORY AS WELL AS EMERGENCY CONTACT INFORMATION ARE TO BE MAINTAINED ON SITE.
- SWPPP MUST IDENTIFY THE USE OF ALL POLYMER FLOCCULANTS OR TREATMENT CHEMICALS AT THE SITE. DOSAGE OF TREATMENT CHEMICALS MUST BE IDENTIFIED ALONG WITH ANY INFORMATION FROM ANY MATERIAL SAFETY DATA SHEET, DESCRIBE THE LOCATION, ALL STORAGE AREAS FOR CHEMICALS, INCLUDE ANY INFORMATION FROM THE MANUFACTURER'S SPECIFICATIONS, TREATMENT CHEMICALS MUST BE STORED IN AREAS WHERE THEY WILL NOT BE EXPOSED TO PRECIPITATION, THE SWPPP MUST DESCRIBE PROCEDURES FOR USE OF TREATMENT CHEMICALS AND STAFF RESPONSIBLE FOR USE/APPLICATION OF TREATMENT CHEMICALS MUST BE TRAINED ON THE ESTABLISHED PROCEDURES.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS, WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE EXPOSURE OF BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETEGENTS, SANITARY WASTE, AND OTHER MATERIALS PRESENT ON THE SITE TO PRECIPITATION AND TO STORM WATER, MINIMIZATION TO EXPOSURE IS NOT REQUIRED FOR ANY PRODUCTS OR MATERIALS WHERE THE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHEN EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSSES LITTLE RISK OF STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).
- MINIMIZE THE EXPOSURE OF FUEL, OIL, HYDRAULIC FLUIDS, OTHER PETROLEUM PRODUCTS, AND OTHER CHEMICALS BY STORING IN COVERED AREAS OR CONTAINMENT AREAS, ANY CHEMICAL CONTAINERS WITH A STORAGE OF 55 GALLONS OR MORE MUST BE STORED A MINIMUM OF 50 FEET FROM RECEIVING WATERS, CONSTRUCTED OR NATURAL, IF INFEASIBLE DUE TO SITE CONSTRAINTS, STORE CONTAINERS AS FAR AWAY AS THE SITE PERMITS AND DOCUMENT IN THE SWPPP THE SPECIFIC REASONS WHY THE 50-FOOT SETBACK IS INEASIBLE AND HOW THE CONTAINERS WILL BE STORED.
- NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, WILL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

PERMITTEE RESPONSIBILITIES

- A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL, MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWPPP, AND ACTIONS TAKEN IN ACCORDANCE WITH 170.24B MUST BE MADE AND RETAINED AS PART OF THE SWPPP FURTHER COVERAGE OF THE PERMITTEE'S OBLIGATIONS UNDER THE PERMIT IS TO BE MAINTAINED ON THE CONSTRUCTION SITE. THE REPORT MUST BE SIGNED IN ACCORDANCE WITH PART 170.24, ANY FLOODING OR OTHER UNSAFE CONDITIONS THAT DELAY INSPECTIONS MUST BE DOCUMENTED IN THE INSPECTION REPORT. (TO BE RESPONSIBILITY OF GENERAL CONTRACTOR)
- THE PERMITTEE WILL ACCEPT THE APPROPRIATE AGENCY FIELD OFFICERS SECTION OFFICE BY EMAIL AT: EPA-SWNO@COMB.ILLINOIS.GOV, TELEPHONE, OR FAX (SEE ATTACHMENT A OF THE GENERAL NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES) WITHIN 24 HOURS OF ANY INCIDENCE OF NONCOMPLIANCE FOR THE PERMITTEE TO CORRECT OR FOR VIOLATIONS OF ANY CONDITION OF THE PERMIT. THE PERMITTEE MUST COMPLETE AND SUBMIT WITHIN 5 DAYS AN "INCIDENCE OF NONCOMPLIANCE" (ION) REPORT FOR ANY VIOLATION OF THE SWPPP OBSERVED DURING ANY INSPECTION CONDUCTED, OR FOR VIOLATIONS OF ANY CONDITION OF THIS PERMIT. SUBMISSION MUST BE ON FORMS PROVIDED BY THE AGENCY AND INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, THE ACTIONS TAKEN TO CORRECT THE NONCOMPLIANCE, FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING AN ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE, CORRECTIVE ACTIONS MUST BE UNDERTAKEN IMMEDIATELY TO ADDRESS THE IDENTIFIED NON-COMPLIANCE ISSUES.
- ALL REPORTS OF NONCOMPLIANCE MUST BE SIGNED BY A RESPONSIBLE AUTHORITY AS DEFINED IN PART 170.24.
- AFTER THE INITIAL CONTACT HAS BEEN MADE WITH THE APPROPRIATE AGENCY FIELD OFFICERS SECTION OFFICE, ALL REPORTS OF NONCOMPLIANCE MUST BE MAILED TO THE ADOPTED PERMITTEE.
- CORRECTIVE ACTIONS MUST BE TAKEN TO ADDRESS ANY OF THE FOLLOWING CONDITIONS IDENTIFIED AT THE SITE: A STORMWATER CONTROL NEEDS REPAIR OR REPLACEMENT; A STORMWATER CONTROL NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT WAS NEVER INSTALLED OR WAS INSTALLED INCORRECTLY; DISCHARGES ARE CAUSING AN EXCESSIVE OF APPLICABLE WATER QUALITY STANDARDS; OR A PROHIBITED DISCHARGE HAS OCCURRED, CORRECTIVE ACTIONS MUST BE COMPLETED AS SOON AS POSSIBLE AND DOCUMENTED WITHIN 7 DAYS IN AN INSPECTION REPORT OR REPORT OF NONCOMPLIANCE, IF IT IS INFEASIBLE TO COMPLETE THE INSTALLATION OR REPAIR WITHIN 7 CALENDAR DAYS, IT MUST BE DOCUMENTED IN THE RECORDS WHY IT IS INFEASIBLE TO COMPLETE THE INSTALLATION OR REPAIR WITHIN THE 7-DAY TIMEFRAME AND DOCUMENT THE SCHEDULE FOR INSTALLING THE STORMWATER CONTROLS AND MAKING IT OPERATIONAL AS SOON AS FEASIBLE AFTER THE 7-DAY TIMEFRAME. IF MAINTENANCE IS REQUIRED FOR THE SAME STORMWATER CONTROL AT THE SAME LOCATION THREE OR MORE TIMES, THE RECORDS MUST BE RECORDED THAT PREVENTS CONTINUED FAILURE TO THE EXTENT FEASIBLE, AND IT MUST BE DOCUMENTED THE CONDITION AND HOW IT WAS REPAIRED MUST BE RECORDED. ALTERNATIVELY, IT MUST BE DOCUMENTED IN THE RECORDS WHY THE SPECIFIC REOCCURENCE OF THIS SAME ISSUE SHOULD CONTINUE TO BE ADDRESSED AS A ROUTINE MAINTENANCE FIX.

THE FOLLOWING PLAN IS ESTABLISHED AND INCORPORATED IN THE PROJECT TO DIRECT THE CONTRACTOR IN THE PLACEMENT OF TEMPORARY EROSION CONTROL SYSTEMS AND TO PROVIDE A STORM SEWER WATER POLLUTION PREVENTION PLAN FOR COMPLIANCE UNDER NPDES.

THE PURPOSE OF THIS PLAN IS TO MINIMIZE EROSION WITHIN THE CONSTRUCTION SITE AND TO LIMIT SEDIMENTS FROM LEAVING THE CONSTRUCTION SITE BY UTILIZING PROPER TEMPORARY EROSION CONTROL SYSTEMS AND PROVIDING GROUND COVER WITHIN A REASONABLE AMOUNT OF TIME.

CERTAIN EROSION CONTROL FACILITIES SHALL BE INSTALLED BY THE CONTRACTOR AT THE BEGINNINGS OF CONSTRUCTION. OTHER ITEMS SHALL BE INSTALLED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER ON A CASE BY CASE SITUATION DEPENDING ON THE CONTRACTOR'S SCHEDULE OF ACTIVITIES, TIME OF YEAR, AND EXPECTED WEATHER CONDITION.

THE CONTRACTOR SHALL INSTALL PERMANENT EROSION CONTROL SYSTEMS AND SEEDING WITHIN A TIME FRAME SPECIFIED HEREIN AND AS DIRECTED BY THE ENGINEER, THEREFORE MINIMIZING THE AMOUNT OF AREA SUSCEPTIBLE TO EROSION AND REDUCING THE AMOUNT OF TEMPORARY SEEDING. THE ENGINEER WILL DETERMINE IF ANY TEMPORARY EROSION CONTROL SYSTEMS SHOWN IN THE PLAN CAN BE DELETED AND IF AN ADDITIONAL TEMPORARY EROSION CONTROL SYSTEMS, WHICH ARE NOT INCLUDED IN THIS PLAN, SHALL BE ADDED. THE CONTRACTOR SHALL REPAIR ALL WORK AS DIRECTED BY THE ENGINEER AND AS SHOWN IN STANDARD 280001 OF THE PLANS, SECTION 280, TEMPORARY EROSION CONTROL, OF THE STANDARD SPECIFICATIONS ADDITIONALLY SUPPLEMENTS THIS PLAN.

SITE DESCRIPTION

- DESCRIPTION OF CONSTRUCTION ACTIVITY
 - THE PROJECT CONSISTS OF THE CONSTRUCTION OF TWO TENNIS COURTS AND ASSOCIATED BMP AND STORM STRUCTURES TO IMPROVE DRAINAGE. IN ADDITION, NEW PATHWAYS WILL BE ADDED TO THE SITE, IMPROVED PARKING IS ALSO PROPOSED TO THE SOUTH OF THE SITE.

- DESCRIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE:
 - EROSION CONTROL SILT FENCING SHALL BE IN PLACE PRIOR TO EARTHWORK ACTIVITIES.
 - SITE SHALL BE ROUGH GRADED
 - UNDERGROUND UTILITY NETWORK SHALL BE INSTALLED.
 - SITE SHALL BE FINE-GRADED, WITH ALL PROPOSED PAVING AREAS GRADED TO ROUGHLY 1-FOOT BELOW FINAL ELEVATION ON PLANS.
 - DISTURBED AREAS SHALL BE TOPSOILED & SEEDDED.

AREA OF CONSTRUCTION SITE:

THE TOTAL AREA OF THE CONSTRUCTION SITE IS ESTIMATED TO BE 2.35 ACRES BY WHICH 3.25 ACRES WILL BE DISTURBED BY EXCAVATION, GRADING, AND OTHER ACTIVITIES.

OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS. INFORMATION OF THE SOILS AND TERRAIN WITHIN THE SITE WAS OBTAINED FROM TOPOGRAPHIC SURVEYS AND SOIL BORINGS THAT WERE UTILIZED FOR THE DEVELOPMENT OF THE PROPOSED TEMPORARY EROSION CONTROL SYSTEMS.

PROJECT PLAN DOCUMENTS, SPECIFICATIONS AND SPECIAL PROVISIONS, AND PLAN DRAWINGS INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER GRADING ACTIVITIES WERE UTILIZED FOR THE PROPOSED PLACEMENT OF THE TEMPORARY EROSION CONTROL SYSTEMS.

DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:

THE SITE SHALL DRAIN INTO THE PROPOSED STORMWATER DETENTION PONDS BY MEANS OF AN EXISTING STORM SEWER SYSTEM.

CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:

- THE DRAWINGS, SPECIFICATIONS AND SPECIAL PROVISIONS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED, STABILIZATION PRACTICES WILL INCLUDE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, PROTECTION OF TREES, PRESERVATION OF NATIVE VEGETATION, AND OTHER APPROPRIATE MEASURES AS DIRECTED BY THE ENGINEER. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - AREAS OF EXISTING VEGETATION, WOOD AND GRASSLANDS, OUTSIDE THE PROPOSED CONSTRUCTION LIMITS SHALL BE IDENTIFIED BY THE ENGINEER FOR PRESERVING AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES.
 - DEAD, DISEASED, OR UNSUITABLE VEGETATION WITHIN THE SITE SHALL BE REMOVED AS DIRECTED BY THE ENGINEER, ALONG WITH REQUIRED TREE REMOVAL.
 - AS SOON AS REASONABLE ACCESS IS AVAILABLE TO ALL LOCATIONS WHERE WATER DRAINS AWAY FROM THE PROJECT, TEMPORARY PERIMETER EROSION BARRIER SHALL BE INSTALLED AS CALLED OUT IN THIS PLAN AND DETERMINED BY THE ENGINEER.
 - BARE AND SPARSELY VEGETATED GROUND IN HIGH ERODIBLE AREAS AS DETERMINED BY THE ENGINEER SHALL BE TEMPORARILY SEEDDED AT THE BEGINNING OF CONSTRUCTION WHERE NO CONSTRUCTION ACTIVITIES ARE EXPECTED WITHIN SEVEN (7) DAYS.
 - IMMEDIATELY AFTER TREE REMOVAL IS COMPLETED, AREAS WHICH ARE HIGHLY ERODIBLE AS DETERMINED BY THE ENGINEER, SHALL BE TEMPORARILY SEEDDED WITHIN NO MORE THAN SEVEN (7) DAYS.
- ESTABLISHMENT OF THESE TEMPORARY EROSION CONTROL MEASURES WILL HAVE ADDITIONAL BENEFITS TO THE PROJECT, DESIRABLE GRASS SEED WILL BECOME ESTABLISHED IN THESE AREAS AND WILL SPREAD SEEDS ONTO THE CONSTRUCTION SITE UNTIL PERMANENT SEEDING/MOWING AND OVER SEEDING CAN BE COMPLETED.
- THE SOIL AND WATER CONSERVATION DISTRICT IS RESPONSIBLE FOR CONDUCTING SITE VISITS AND VERIFYING THAT THE PRACTICES ARE WORKING PROPERLY AND DETERMINE IF ADDITIONAL PRACTICES ARE NEEDED FOR BETTER SOIL EROSION AND SEDIMENT CONTROL. IF ADDITIONAL PRACTICES ARE DEEMED NECESSARY BY THE SWCD THE CONTRACTOR WILL IMPLEMENT THE PRACTICES IN A TIMELY MANNER.

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE NPDES PERMIT NUMBER ILR10 ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

ENGINEER: NICHOLAS A. VARCHETTO, PE DATE _____

OWNER'S CERTIFICATION

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

OWNER

SIGNATURE _____ TITLE _____ DATE _____

COMPANY

CONTRACTOR'S CERTIFICATION

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR-10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

GENERAL CONTRACTOR

SIGNATURE _____ TITLE _____ DATE _____

COMPANY



1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



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Plainfield, Illinois 815-254-0091
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ORIGINAL ISSUE DATE
Issue for Permit 01JUNE2026

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NO. 1	DATE	DESCRIPTION

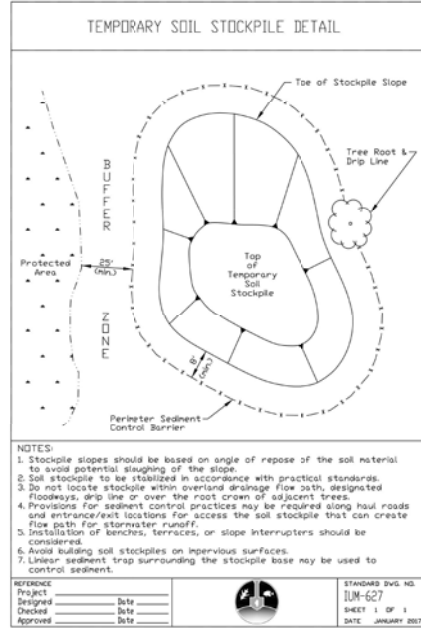
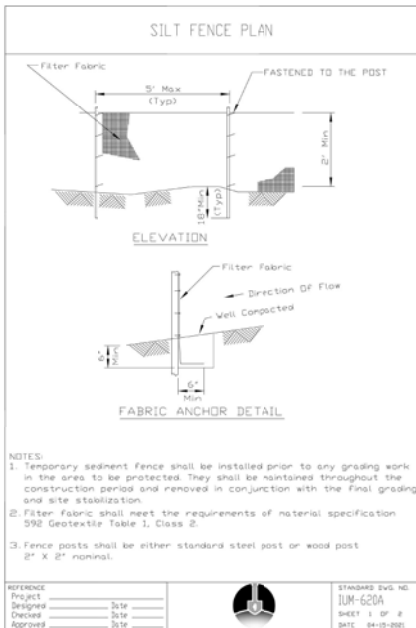
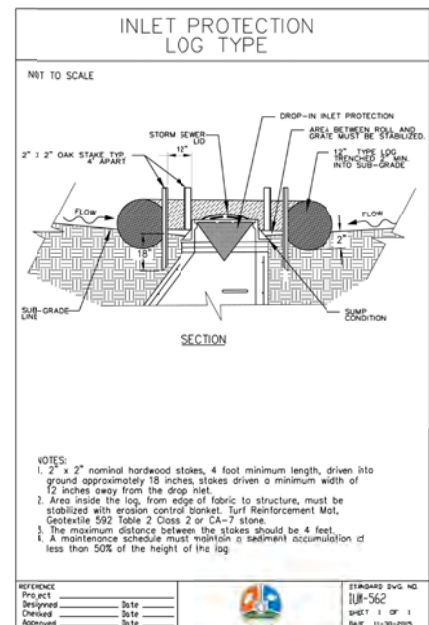
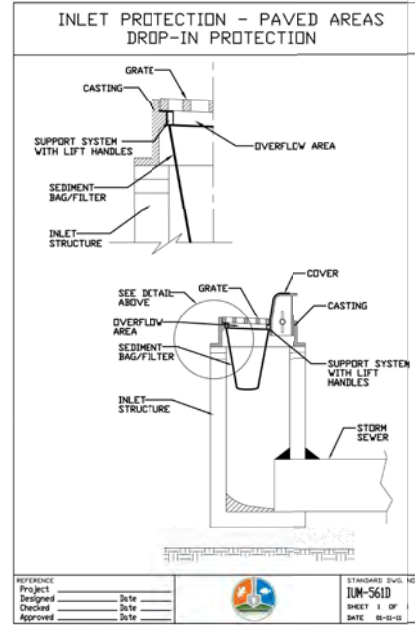
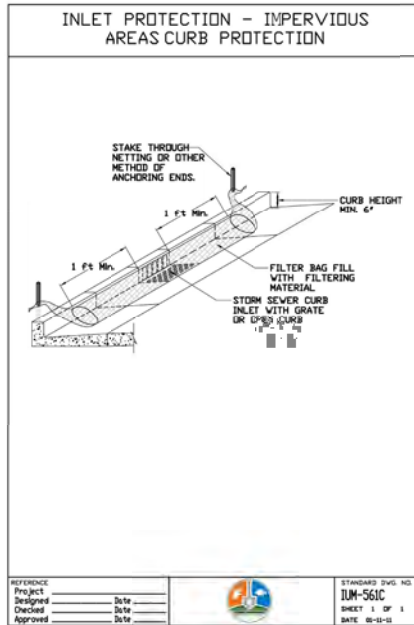
NOT FOR CONSTRUCTION

PROJECT NUMBER 1443

SHEET TITLE
SWPPP Plan - Details

SHEET NUMBER

C3.3





1450 Forest Gate Road
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PROJECT
Central Park Tennis Court Renovations

1450 Forest Gate Road
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I. License 184-007637-0006

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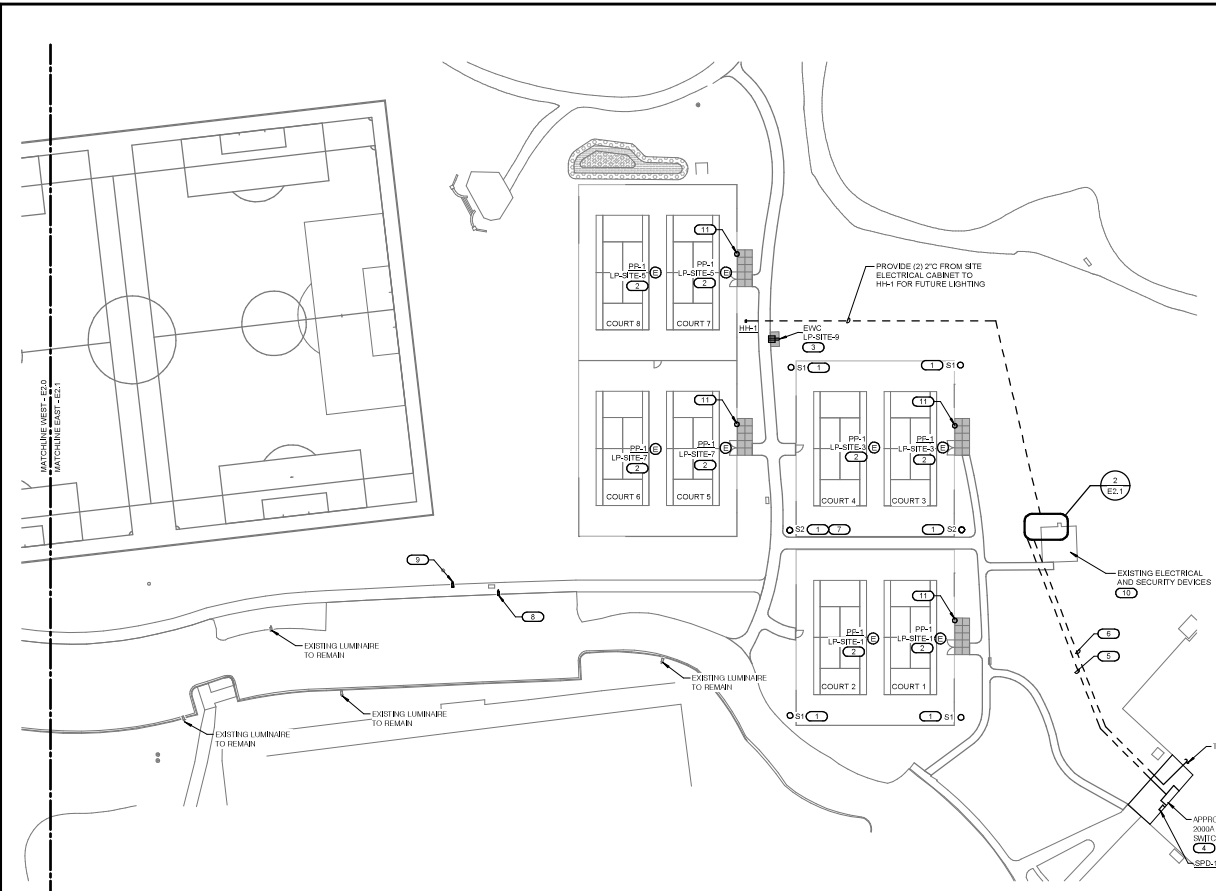
SHEET TITLE
ELECTRICAL SITE PLAN - EAST

SHEET NUMBER
E2.1

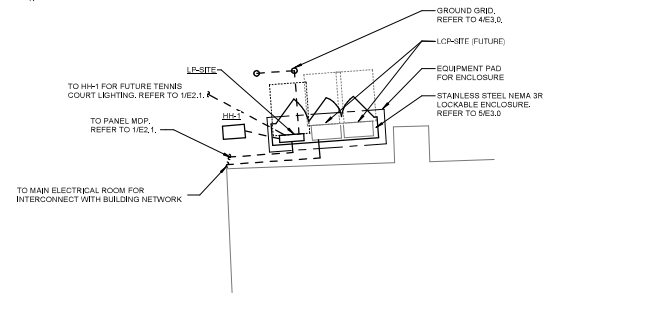
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- SPORTS LIGHTING NOTES (FUTURE WORK FOR REFERENCE ONLY).**
- SPORTS LIGHTING FIXTURE VOLTAGE SHALL BE 208V, 3PH.
 - PROVIDE LUMINAIRES AT EACH POLE LOCATION (S1 AND S2) TO PROVIDE THE FOLLOWING LUMINANCE REQUIREMENTS WITHIN THE BOUNDARIES OF THE TENNIS COURTS:
 - SPORTS LIGHTING: 75 FOOT-CANDLE AVERAGE, 1.7 MAINTENANCE COEFFICIENT. COORDINATE EXACT LUMINAIRE HEIGHT ON THE POLE WITH SPORTS LIGHTING MANUFACTURER.
 - POLE TYPES
 - POLES IDENTIFIED WITH S1 OR S2 SHALL BE 40FT POLES WITH LUMINAIRES MOUNTED AS REQUIRED TO MEET THE TARGET LIGHTING LEVELS.
 - LUMINAIRES SHALL UTILIZE SPILL LIGHT AND GLARE CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO INTERNAL SHIELDS, LOWERS, AND EXTERNAL SHIELDS.
 - CONFIRM ALL POLE LOCATIONS WITH THE LANDSCAPE ARCHITECT.
 - EACH GROUP OF COURTS SHALL HAVE THE ABILITY TO BE CONTROLLED INDEPENDENTLY OF OTHER COURTS.

- KEYNOTES:**
- PROVIDE EMPTY (1) 1" CONDUIT HOMERUN WITH PULL STRING FROM OUTDOOR ELECTRICAL ENCLOSURE TO LOCATION OF FUTURE SPORTS LIGHTING POLES S1 AND S2. STUB CONDUIT UP AND CAP FOR FUTURE INSTALLATION OF SPORTS LIGHTING. DOCUMENT EXACT CONDUIT ROUTING FOR FUTURE POLE AND WIRE INSTALLATION.
 - BASE BIE, NO WORK
 - ADULTERATE!** PROVIDE FREESTANDING BASE MOUNTED OUTDOOR RECEPTACLE BOXES TO TENNIS COURT SURFACE. REFER TO SPECIFICATION SECTION 26 27 26 FOR DETAILS. REFER TO LANDSCAPE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND COORDINATION WITH POSTS.
 - REMOVE RECEPTACLE INSIDE EACH ENCLOSURE. COORDINATE EXACT LOCATION WITH LANDSCAPE ARCHITECT. EXACT MOUNTING PROVIDED SHALL BE PROVIDED PER MANUFACTURER REQUIREMENTS.
 - CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING SURGE PROTECTION DEVICE. REMOVE EXISTING 30AMP BREAKER IDENTIFIED IN CIRCUIT DIRECTORY AS CIRCUIT 7). REPLACE CIRCUIT BREAKER WITH A NEW 200A/50P, 208V BREAKER. MATCH EXISTING TYPE AND RATINGS. USE NEW 200A/50P BREAKER FOR FEED TO NEW PANEL. UNITE. PROVIDE A NEW SURGE PROTECTION DEVICE (SPD) DIRECTLY VIA BUS TAP. NEW SPD SHALL BE MOUNTED WITHIN 5'-0" OF CONNECTION TO BUS. WIRE SIZE PER MANUFACTURER REQUIREMENTS.
 - PROVIDE (1) SET OF 4-3000K/ML & 149 EGC IN 3" C FROM MAIN ELECTRICAL ROOM MAIN DISTRIBUTION PANEL (MDP) TO LOCATION OF NEW POWER ENCLOSURE AND TERMINATE AT PANEL LP-SITE. EXACT ROUTE SHALL BE FIELD COORDINATED. FIELD COORDINATE EXACT CONDUIT ENTRY INTO MAIN ELECTRICAL ROOM AND PAINT CONDUIT RISER WITH COLOR AS DIRECTED BY LANDSCAPE ARCHITECT. PROVIDE CORE INTO MAIN ELECTRICAL ROOM AND ROUTE OVERHEAD TO PANEL (MDP).
 - PROVIDE (1) 1" C FROM CEILING OF MAIN ELECTRICAL ROOM TO LOCATION OF NEW POWER ENCLOSURE FOR FUTURE NETWORK COMMUNICATION. TERMINATE BOTH ENDS OF CONDUIT IN JUNCTION BOX.
 - PROVIDE EMPTY (2) 3/4" CONDUIT HOMERUN WITH PULL STRING FROM OUTDOOR ELECTRICAL ENCLOSURE TO LOCATION OF FUTURE SPORTS LIGHTING POLES. STUB CONDUIT UP AND CAP FOR FUTURE INSTALLATION OF SECURITY SYSTEM. DOCUMENT EXACT CONDUIT ROUTING FOR FUTURE POLE AND WIRE INSTALLATION. PROVIDE QUAD RECEPTACLE WITH WEATHERPROOF-PAINT COVER IN NEAR 48 BACKBOX MOUNTED TO NEAREST GATE POST AT 42" AFG. CONDUIT RISER SHALL BE TYPE RGS. PAINT CONDUIT AND BOX TO MATCH FENCE. REMOVE EXISTING POLE LUMINAIRES AND DISCONNECT SWITCH. SALVAGE FOR INSTALLATION AT NEW LOCATION.
 - REMOVE EXISTING POLE AND LUMINAIRE. SALVAGE FOR REINSTALLATION AT NEW LOCATION. REBUILD EXISTING FOUNDATION AND BACKFILL AS REQUIRED TO MATCH ADJACENT CONDITIONS. EXISTING CONDUIT AND WIRE SHALL BE PRESERVED AS REQUIRED FOR EXTENSION TO NEW LOCATION.
 - PROVIDE NEW POLE BASE FOUNDATION PER DETAIL 3E3.3. INSTALL EXISTING POLE WITH BANNER ARM AND LUMINAIRE. PROVIDE NEW BASE PLATE COVER AND PROVIDE BOLT PATTERN TO MATCH EXISTING POLE. EXISTING CIRCUIT AND CONTROLS SHALL BE REUSED. REMOVE EXISTING CONDUIT ROUTE TO INTERCEPT NEW POLE LOCATION. PROVIDE NEW HANDHOLE (H4) AS REQUIRED FOR REWORK. EXACT ROUTE OF EXISTING CONDUIT IS UNKNOWN AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ALL NEW UNDERGROUND WORK NEAR OTHER UTILITIES SHALL BE HAND TRENCHED TO AVOID DAMAGING EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO IRRIGATION.
 - EXISTING SECURITY AND POWER DEVICES WITHIN PICNIC SHELTER SHALL BE PRESERVED. EXACT ROUTE OF WIRE AND CONDUIT IS UNKNOWN AND SHALL BE FIELD VERIFIED AT THE TIME OF INSTALLATION. ANY DAMAGED CIRCUITS OR SYSTEMS SHALL BE REPAIR.
 - PROVIDE EMPTY (1) 3/4" CONDUIT HOMERUN WITH PULL STRING FROM OUTDOOR ELECTRICAL ENCLOSURE TO FENCE. STUB CONDUIT UP ON INSIDE OF THE FENCE AND CAP FOR FUTURE INSTALLATION OF DEVICES. DOCUMENT EXACT CONDUIT ROUTING FOR FUTURE POLE AND WIRE INSTALLATION.



1 ENLARGED SITE PLAN - TENNIS COURTS - ELECTRICAL
1" = 40'-0"



2 ENLARGED PANEL ENCLOSURE
1/4" = 1'-0"

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SCALE: 1/4" = 1'-0"
PROJECT: 1443/01/01/2026

PROJECT NUMBER: 1443/01/01/2026 DRAWING NUMBER: 1443-01-01



1450 Forest Gate Road
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PROJECT
**Central Park
Tennis Court
Renovations**

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PROJECT TEAM



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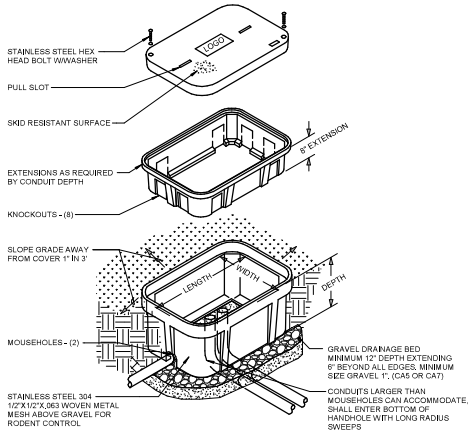
PROJECT NUMBER **1443**

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER

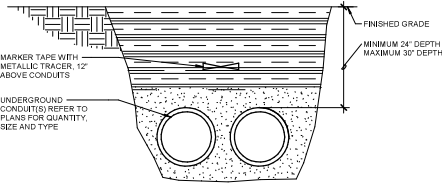
E3.0

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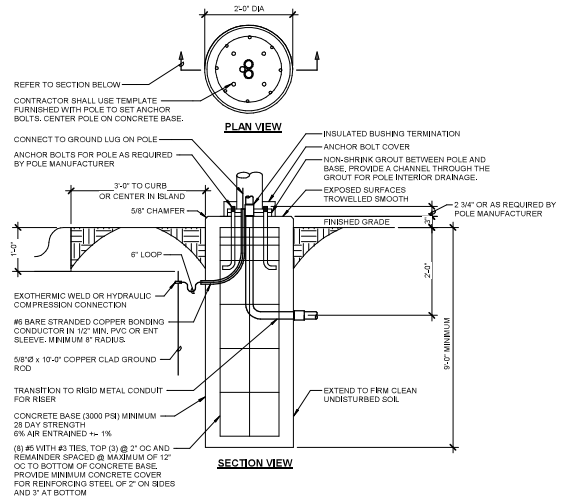
- NOTES
1. ALL DIMENSIONS ARE NOMINAL INSIDE CLEARANCES.
 2. ANY SPLICES OR DEVICES IN HANDHOLE SHALL BE SUBMERGIBLE.
 3. SEAL ALL CONDUIT ENDS WITH DUCTSEAL.

1 EXTERIOR HANDHOLE DETAIL
NO SCALE



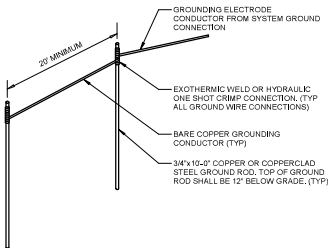
- NOTES
1. INSTALL 2000 LB TENSILE STRENGTH PULL ROPE IN ALL EMPTY CONDUITS.
 2. TRENCHING AND BACKFILL ACCORDING TO SPECIFICATION SECTION 28 05 00.

2 UNDERGROUND CONDUIT DETAIL
NO SCALE

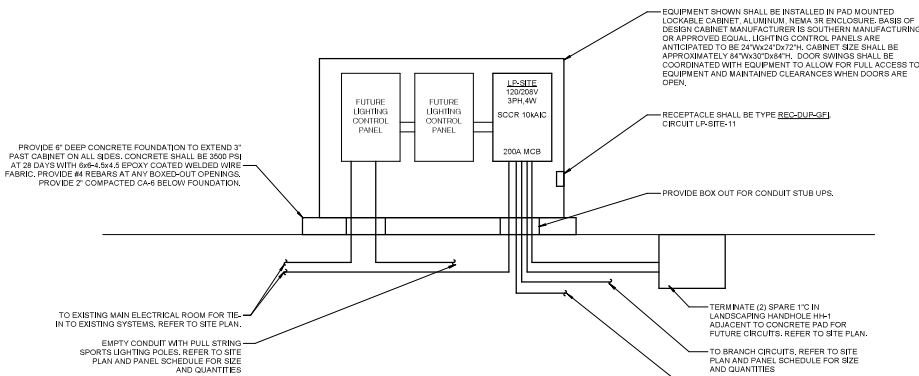


THIS DETAIL SHALL ONLY BE USED FOR NEW AND RELOCATED SITE LIGHTING. SPORTS LIGHTING POLE FOUNDATIONS WILL BE FUTURE AND BE DELEGATED DESIGN BY SPORTS MANUFACTURER.

3 POLE BASE DETAIL (SITE LIGHTING ONLY)
NO SCALE



4 GROUND GRID DETAIL
NO SCALE



5 SITE CABINET DETAIL
NO SCALE

PROJECT NUMBER: 20240206-11-28-2025-001 - MEPTAC MARKET SURVEY

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REVISIONS: 01/2026
REV. SCALE: NONE
PREP: ACV
DATE: 06/01/2026



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PROJECT
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Tennis Court
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PROJECT NUMBER **1443**

SHEET TITLE
ELECTRICAL SCHEDULES

SHEET NUMBER
E4.0

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MOUNTING: SURFACE		PANEL LP-SITE										MARK: 200 MCB					
ENCLOSURE: NEMA 1		SINGLE TUB										VOLT: 120/208 Vye					
FED FROM: 200A/3P BREAKER @ MDP		SOLID NEUTRAL										PHASE: 3					
LOCATION: EXTERIOR ENCLOSURE		GROUND BUS										WIRE: 4					
												SCCR: 10 KA					
NOTES																	
K E Y	CKT NO.	LOAD DESCRIPTION	OCBP AMPS	PH	WIRE SIZE	H	N	G	A	B	C	WIRE SIZE	OCBP AMPS	LOAD DESCRIPTION	CKT NO.	K E Y	
A1	1	FR1 COURTS 12	20	1	8	8	8	0.72	0						2		
A1	3	FR1 COURTS 34	20	1	8	8	8		0.72	0				3	35	SPARE FOR FUTURE LIGHTING COURTS 1-2	
A1	5	FR1 COURTS 78	20	1	8	8	8			0.72	0				6		
A1	7	FR1 COURTS 58	20	1	8	8	8	0.72	0						8		
	9	ENC	20	1	8	8	8		0.5	0				3	35	SPARE FOR FUTURE LIGHTING COURTS 34	
	11	ENCLOSURE REC	20	1	12	12	12			0.18	0				10		
	15	SPARE	20	1				0	0						12		
	16	SPARE	20	1					0	0					14		
	17	SPARE	20	1					0	0				3	35	SPARE FOR FUTURE LIGHTING COURTS 54	
	19	SPARE	20	1				0	0						16		
	21	SPARE	20	1					0	0					18		
	23	SPARE	20	1					0	0					20		
	25	SPARE	20	1				0	--					3	35	SPARE FOR FUTURE LIGHTING COURTS 14	
	27	SPARE	20	1					0	--				1	--	SPARE	
	29	SPARE	20	1					0	--				1	--	SPARE	
	31	SPARE	20	1				0	--					1	--	SPARE	
	33	SPARE	20	1					0	--				1	--	SPARE	
	35	SPARE	20	1					0	--				1	--	SPARE	
	37	SPARE	--	1				--	--					1	--	SPARE	
	38	SPACE	--	1				--	--					1	--	SPARE	
	41	SPACE	--	1				--	--					1	--	SPARE	
Total Load:			1.44	kVA	1.22	kVA	0.90	kVA									
Total Amps:			12.41		10.58		7.50										
LOAD SUMMARY																	
LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*													
Power	3,590 kVA	100%	3,590 kVA	TOTAL CONNECTED LOAD:	3.56	kVA											
Receptacles	0,900 kVA			TOTAL ESTIMATED DEMAND LOAD:	3,650	kVA											
				TOTAL CONNECTED AMPS:	9,38	A											
				TOTAL ESTIMATED DEMAND AMPS:	9.9												
TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS, THIS CALC IS DONE AT EACH PANEL.																	
CIRCUIT KEY NOTES: A1 = BASE BID. PROVIDE 200A/1P SPARE. ADD ALTERNATE #1 AS SHOWN																	

PROJECT NUMBER: 1443/2026 11/28/2025 AM 10:27:10 AM

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PROJECT

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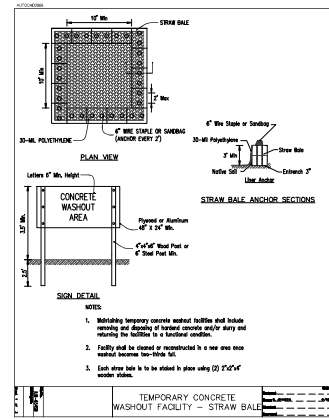
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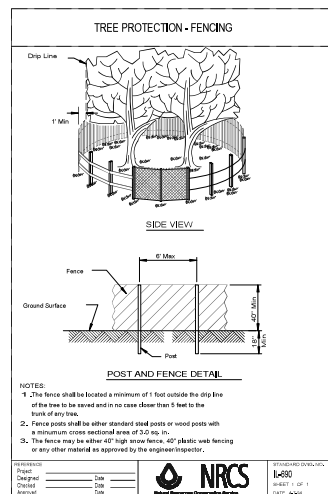
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SHEET NUMBER

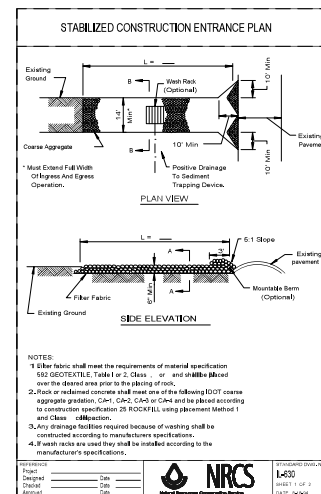
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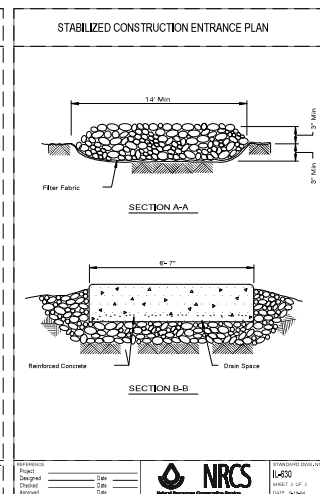
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1 Tree Protection Fence
SCALE: NTS
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3 Stabilized Construction Entrance
SCALE: NTS
d:\NRC5-IL630-construction entrance_12



4 Stabilized Construction Entrance
SCALE: NTS
d:\NRC5-IL630-construction entrance_12



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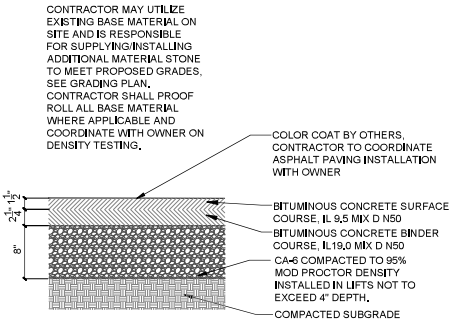
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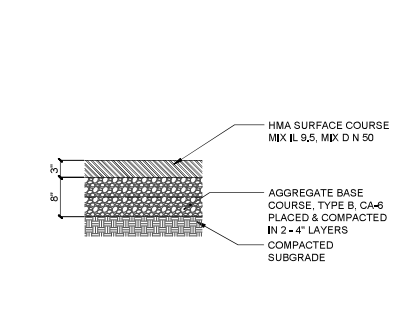
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SHEET TITLE
**Construction
Details**

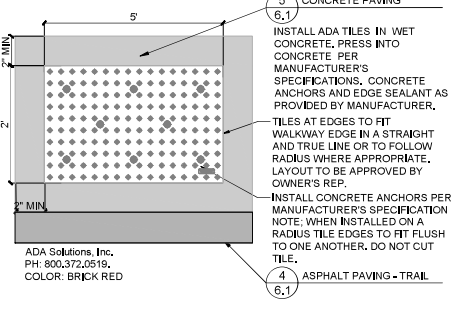
SHEET NUMBER



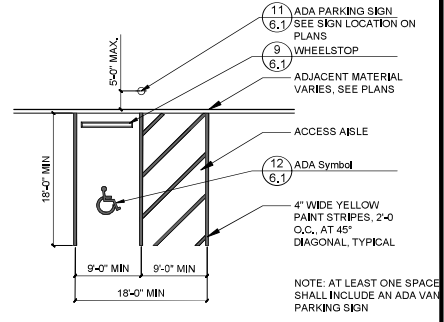
1 Asphalt Paving - Tennis Court
SCALE: 1/12"=1'-0"
d-aspn-court_8



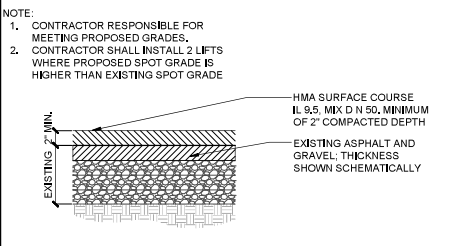
4 Asphalt Paving - Trail
SCALE: 1"=1'-0"
d-aspn_paving_trail_12



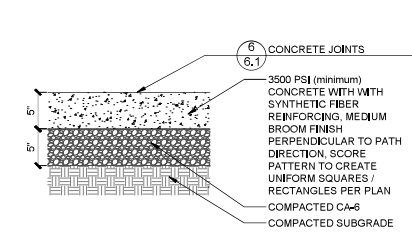
7 Replaceable Detectable Warning Strip
SCALE: N.T.S.
d-arcunated dome-ada tile_12.dwg



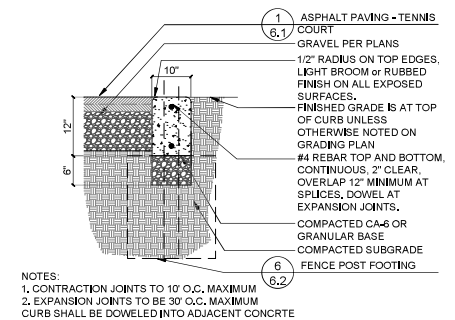
10 ADA Parking Space
SCALE: N.T.S.
d-ada parking_12



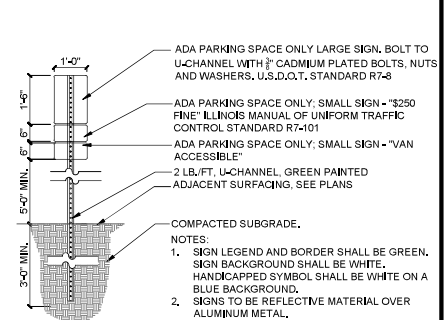
2 Asphalt Paving - 2" Overlay
SCALE: 1 1/2"=1'-0"
d-aspn_pav_4.25in_8.dwg



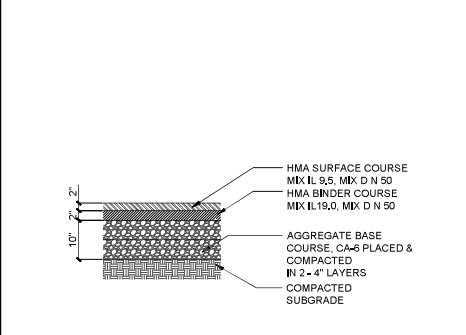
5 Concrete Paving
SCALE: 1 1/2"=1'-0"
d-conc pav_8_8



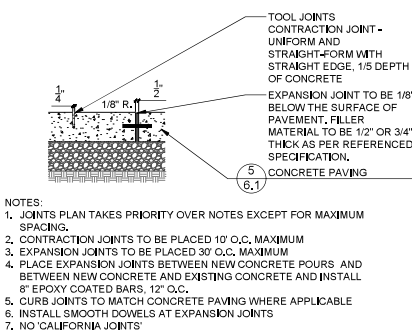
8 Curb at Court
SCALE: 1"=1'-0"
d-curb_paving_raised_12.dwg



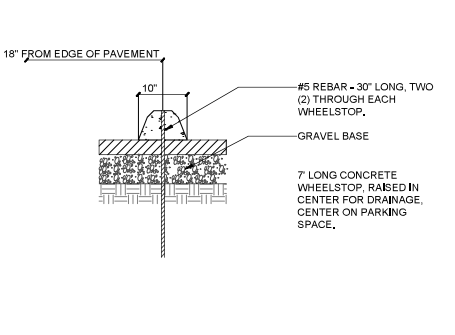
11 ADA Parking Sign
SCALE: N.T.S.
d-sign_pda van metal_12.dwg



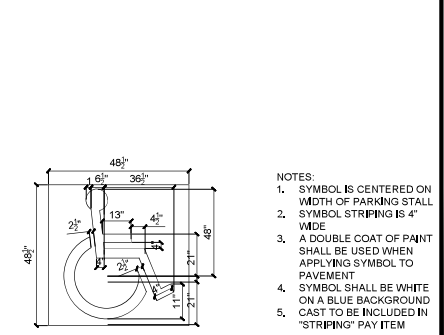
3 Asphalt Paving - Vehicular
SCALE: 1"=1'-0"
d-aspn_paving_3.5in_12.dwg



6 Concrete Joints
SCALE: 1 1/2"=1'-0"
d-conc joints_8.dwg



9 Wheelstop
SCALE: 1"=1'-0"
wheelstop_1_12



12 ADA Symbol
SCALE: N.T.S.
d-parking_ada symbol_12.dwg



1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
uplandDesign.com

CIVIL ENGINEER & SURVEYOR
Engineering Resource Associates
35701 West Avenue, Suite 150
Warrenville, Illinois 60555
IL License 184-001186

ELECTRICAL ENGINEER
IMEG Consultants Corp.
263 Shuman Blvd Suite 550
Naperville, Illinois 60563
IL License 184-007637-0006

ORIGINAL ISSUE DATE

Issue for Bid 16JUNE2026

REVISIONS

PROJECT NUMBER

1443

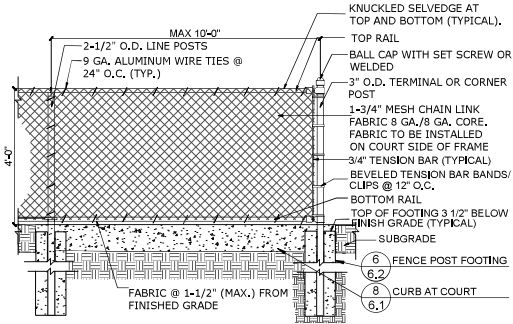
SHEET TITLE

Construction Details

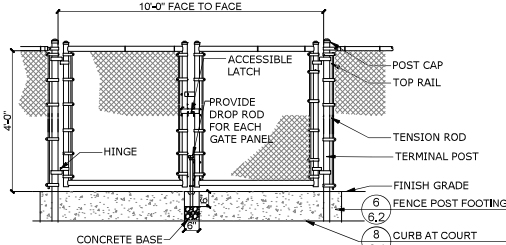
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6.2

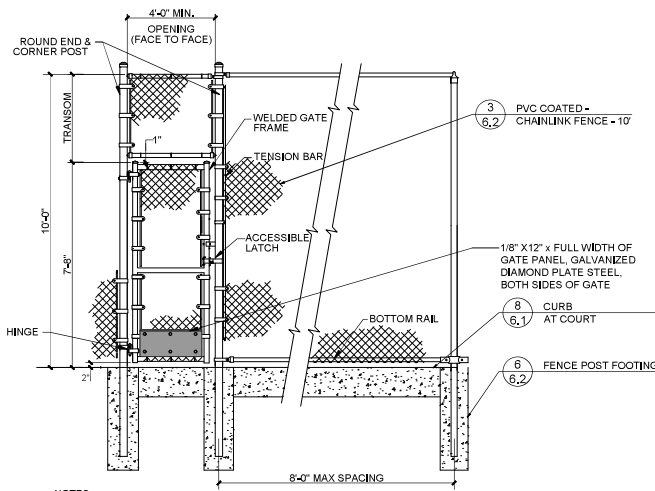
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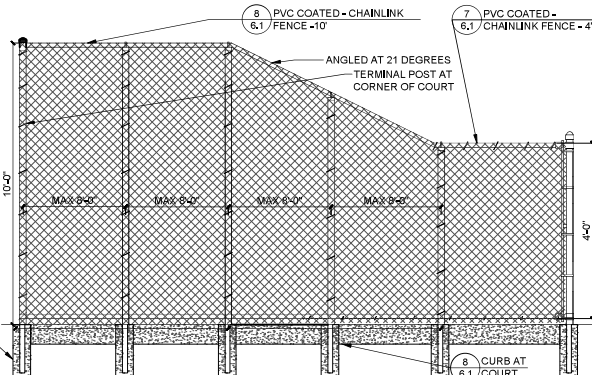
1 PVC Coated - Chainlink Fence - 4'
SCALE: N.T.S.
REV: 09/2024
d:\fence\chainlink\4-12



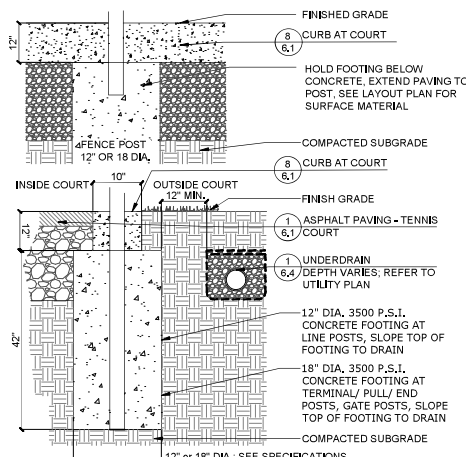
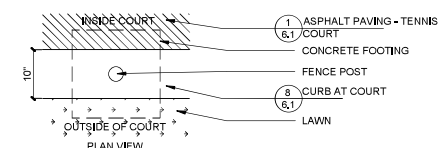
2 Double Gate Chainlink Fence - 4'
SCALE: N.T.S.
REV: 09/2024
d:\fence\chainlink\double gate\24



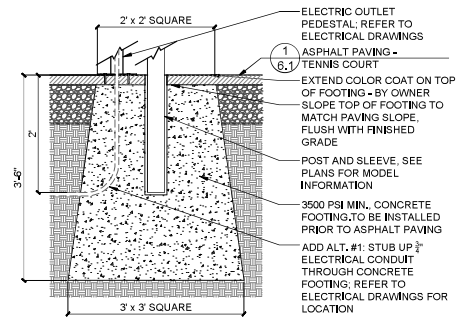
4 Pedestrian Gate - Chainlink Fence - 10'
SCALE: N.T.S.
REV: 09/2024
d:\fence\chainlink\pedestrian gate\10F\24



5 Chainlink Fence Transition
SCALE: N.T.S.
d:\fence\chainlink\Transition_12.dwg



6 Fence Post Footing
SCALE: N.T.S.
REV: 09/2024
d:\fence\chainlink\footing\12



7 Court Post Footing
SCALE: 1"=4'-0"
d:\fence\footing_12

3 PVC Coated - Chainlink Fence - 10'
SCALE: N.T.S.
d:\fence\chainlink

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1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT

Central Park Tennis Court Renovations

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
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ORIGINAL ISSUE DATE

Issue for Bid 16JUNE2026

REVISIONS

NO.	DESCRIPTION

PROJECT NUMBER 1443

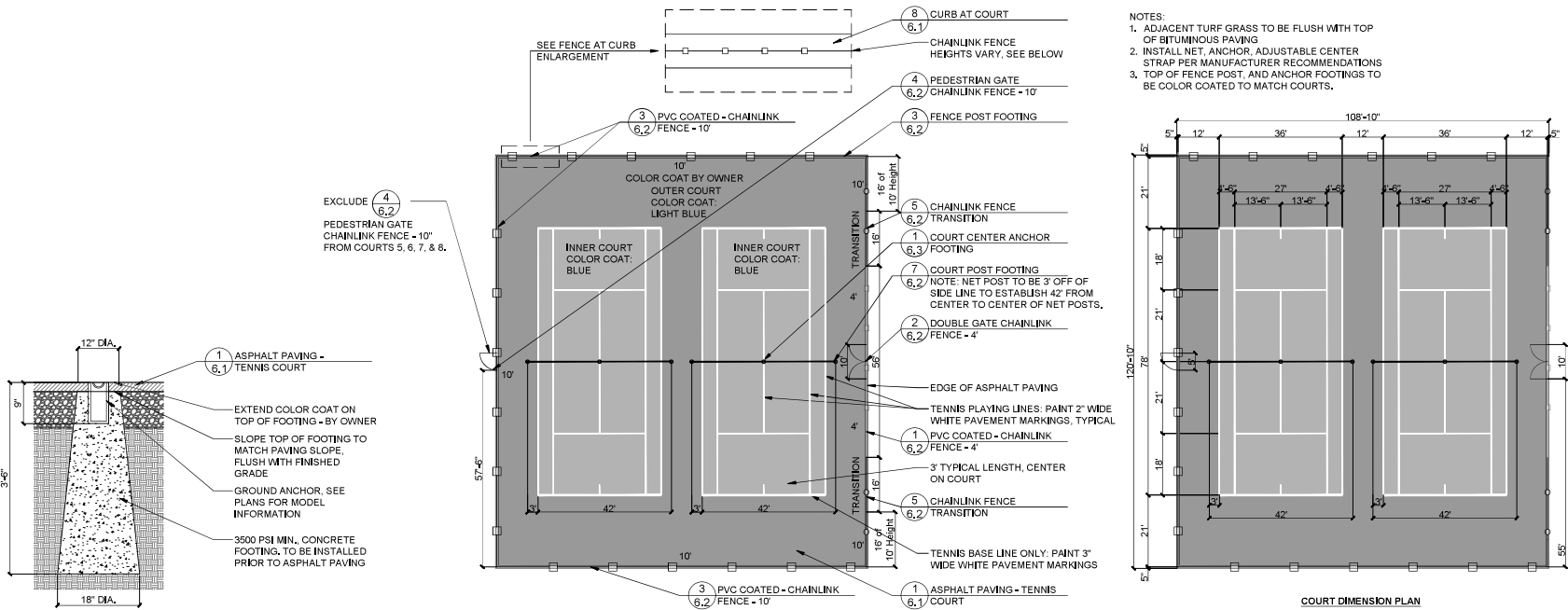
SHEET TITLE

Construction Details

SHEET NUMBER

6.3

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- NOTES:
- ADJACENT TURF GRASS TO BE FLUSH WITH TOP OF BITUMINOUS PAVING
 - INSTALL NET, ANCHOR, ADJUSTABLE CENTER STRAP PER MANUFACTURER RECOMMENDATIONS
 - TOP OF FENCE POST, AND ANCHOR FOOTINGS TO BE COLOR COATED TO MATCH COURTS.

1 Court Center Anchor Footing
SCALE: 1"=1'-0"
d:\tennis anchor\footing_12

2 Tennis Court Layout
SCALE: 1/16"=1'-0"
d:\tennis\court_192

d:\tennis\court_192



1450 Forest Gate Road
Oak Brook, Illinois 60523
Phone: 630-990-4233

PROJECT
**Central Park
Tennis Court
Renovations**

1450 Forest Gate Road
Oak Brook, Illinois 60523

PROJECT TEAM



Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
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ORIGINAL ISSUE DATE
Issue for Bid 16JUNE2026

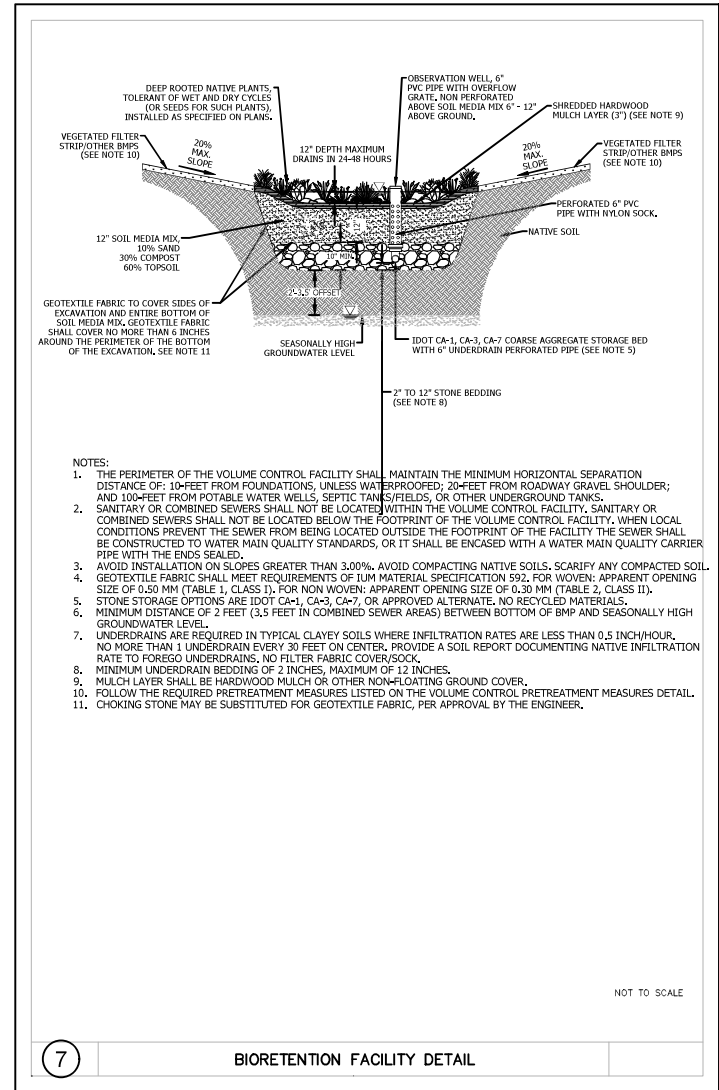
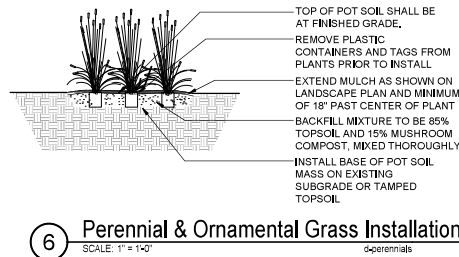
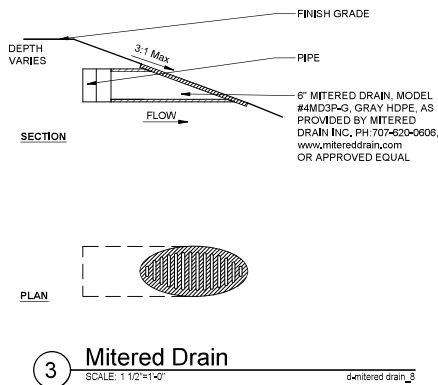
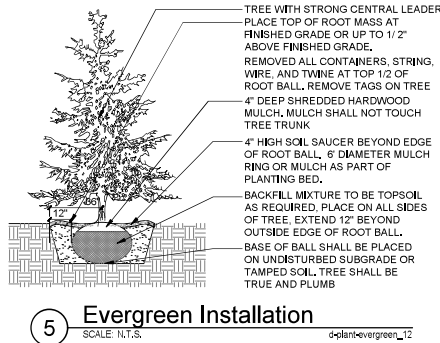
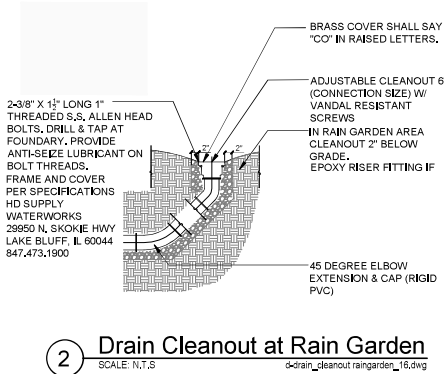
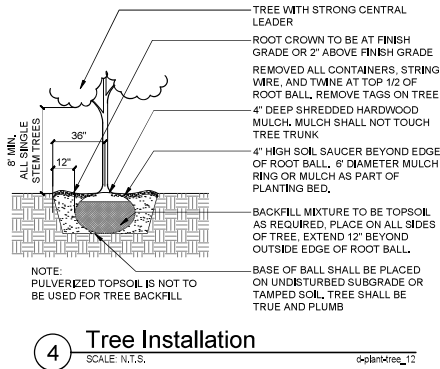
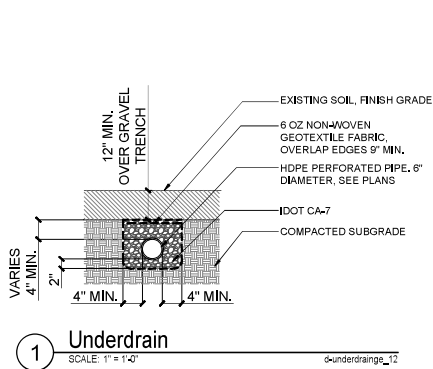
REVISIONS

PROJECT NUMBER **1443**

SHEET TITLE
**Construction
Details**

SHEET NUMBER

6.4



- NOTES:
1. THE PERIMETER OF THE VOLUME CONTROL FACILITY SHALL MAINTAIN THE MINIMUM HORIZONTAL SEPARATION DISTANCE OF: 10- FEET FROM FOUNDATIONS, UNLESS WATERPROOFED; 20- FEET FROM ROADWAY GRAVEL SHOULDER; AND 100- FEET FROM POTABLE WATER WELLS, SEPTIC TANK/FIELDS, OR OTHER UNDERGROUND TANKS.
 2. SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED WITHIN THE VOLUME CONTROL FACILITY. SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED BELOW THE FOOTPRINT OF THE VOLUME CONTROL FACILITY. WHEN LOCAL CONDITIONS PREVENT THE SEWER FROM BEING LOCATED OUTSIDE THE FOOTPRINT OF THE FACILITY THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN QUALITY STANDARDS, OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
 3. AVOID INSTALLATION ON SLOPES GREATER THAN 3.00%. AVOID COMPACTING NATIVE SOILS. SCARIFY ANY COMPACTED SOIL.
 4. GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF TUM MATERIAL SPECIFICATION 592, FOR WOVEN: APPARENT OPENING SIZE OF 0.50 MM (TABLE 1, CLASS I), FOR NON WOVEN: APPARENT OPENING SIZE OF 0.30 MM (TABLE 2, CLASS II).
 5. STONE STORAGE OPTIONS ARE IDOT CA-1, CA-3, CA-7, OR APPROVED ALTERNATE, NO RECYCLED MATERIALS.
 6. MINIMUM DISTANCE OF 2 FEET (3.5 FEET IN COMBINED SEWER AREAS) BETWEEN BOTTOM OF BMP AND SEASONALLY HIGH GROUNDWATER LEVEL.
 7. UNDERDRAINS ARE REQUIRED IN TYPICAL CLAYEY SOILS WHERE INFILTRATION RATES ARE LESS THAN 0.5 INCH/HOUR, NO MORE THAN 1 UNDERDRAIN EVERY 30 FEET ON CENTER. PROVIDE A SOIL REPORT DOCUMENTING NATIVE INFILTRATION RATE TO FOREGO UNDERDRAINS, NO FILTER FABRIC COVER/SOCK.
 8. MINIMUM UNDERDRAIN BEDDING OF 2 INCHES, MAXIMUM OF 12 INCHES.
 9. MULCH LAYER SHALL BE HARDWOOD MULCH OR OTHER NON-FLOATING GROUND COVER.
 10. FOLLOW THE REQUIRED PRETREATMENT MEASURES LISTED ON THE VOLUME CONTROL PRETREATMENT MEASURES DETAIL.
 11. CHOKING STONE MAY BE SUBSTITUTED FOR GEOTEXTILE FABRIC, PER APPROVAL BY THE ENGINEER.

7 BIORETENTION FACILITY DETAIL NOT TO SCALE

Bid Proposal for:
Oak Brook Park District
Central Park Tennis Court Renovations

248

Contractor: _____

TO: Oak Brook Park District
Central Park Tennis Court Renovations
1450 Forest Gate Road
Oak Brook, IL 60523

Project # 1443

The undersigned bidder has carefully examined the plans and specifications for Oak Brook Park District Central Park Tennis Court Renovations, in Oak Brook, Illinois as prepared by Upland Design Ltd. and having carefully examined the site and completely familiarized him/herself with local conditions affecting the cost of the work: hereby states that he/she will provide all necessary labor, equipment, tools, machinery, apparatus and all other means of construction, do all the work and furnish all materials, called for by said plans and specifications in the manner prescribed by in accordance with the requirements of the contract, specification and drawings: and will accept as full and complete payment therefore the base bid amount which is the summation of the cost of the items of work and is equal to the summation of the extension of the unit prices.

Description of abbreviations:
SF = Square Feet
SY = Square Yard
FF = Finished Face

CF = Cubic Feet LF= Lineal Feet
CY = Cubic Yard LS = Lump Sum

BASE BID: Tennis Court Renovation

Item #	Description	Quantity	Unit	Installed Unit Price	Item Total
1	General Conditions including Bonds and Insurance	1	LS	\$	\$
2	Site Preparation, Removals & Earthwork, Complete	1	LS	\$	\$
3	Undercut, Haul off and Placement of PGE (Allowance to be used only with approval of Owner's Representative)	75	CY	\$	\$
4	Temporary Concrete Washout	1	EA	\$	\$
5	Inlet Protection	11	EA	\$	\$
6	Silt Fence	1116	LF	\$	\$
7	Stabilized Construction Entrance	1	EA	\$	\$
8	Private Utility Locates	1	LS	\$	\$
9	As-Built Survey by Licensed IL Surveyor	1	LS	\$	\$

SITE IMPROVEMENTS					
10	Asphalt Paving - Tennis Courts	5676	SY	\$	\$
11	Asphalt Paving - Trails	784	SY	\$	\$
12	Concrete Paving	1060	SF	\$	\$
13	Curb at Courts	1716	LF	\$	\$
14	4' Chainlink Fence PVC Coated & Gates	224	LF	\$	\$
15	10' Chainlink Fence PVC Coated & Gates	1364	LF	\$	\$
16	Chainlink Fence Transition	128	LF	\$	\$
Amenities to be purchased and installed by Contractor.					
17	Tennis Ground Sleeve, Net, Ground Anchor, and Tie Down Straps	8	SET	\$	\$
Amenities to be purchased BY OWNER; installed by Contractor.					
18	Drinking Fountain with Remote Chiller	1	EA	\$	\$
SITE UTILITIES					
18	6" Perf SDR26 Pipe	1503	LF	\$	\$
19	6" Solid SDR26 Pipe	136	LF	\$	\$
20	6" Drainage Standpipe	1	EA	\$	\$
21	6" Drainage Cleanout	1	EA	\$	\$
22	6" Pop Up Drainage Emitter (Bubbler)	1	EA	\$	\$
23	Mitered Drain	1	EA	\$	\$
24	Connect to Existing Storm Sewer Structure	1	LS	\$	\$
25	Connection to Existing Electrical Feeder From Indoor Complex	1	LS	\$	\$
26	Power Panel, Enclosure and Conduit	1	LS	\$	\$
27	Duplex GFCI Receptacle at drinking fountain	1	EA	\$	\$
28	Conduit for Tennis Court Lighting	1	LS	\$	\$
LANDSCAPE AND RESTORATION					
29	Bioretention Facility Section	1	LS	\$	\$
30	Landscape Restoration - Lawn	1	LS	\$	\$

Tennis Court Renovation Subtotal #1 \$ _____

Tennis Court Renovation Base Bid in Writing:

BASE BID: Trail Connection to Central Park West & Southeast Parking Lot Renovations

Item #	Description	Quantity	Unit	Installed Unit Price	Item Total
31	General Conditions including Bonds and Insurance	1	LS	\$	\$
32	Site Preparation, Removals & Earthwork, Complete	1	LS	\$	\$
33	Undercut, Haul off and Placement of PGE (Allowance to be used only with approval of Owner's Representative)	75	CY	\$	\$
34	Inlet Protection	2	EA	\$	\$
35	Silt Fence	1402	LF	\$	\$
36	Mill 2" Asphalt Surface Course - Existing Parking Lot	19219	SF	\$	\$
37	Salvage and Relocate Existing Wheelstops	24	EA	\$	\$
SITE IMPROVEMENTS					
38	Asphalt Paving Vehicular - 2" Overlay	2136	SY	\$	\$
39	Asphalt Paving - Vehicular	337	SY	\$	\$
40	Asphalt Parking Striping	1	LS	\$	\$
41	Asphalt Paving - Trail	1199	SY	\$	\$
42	Concrete Paving	175	SF	\$	\$
43	Replaceable Detectable Warning Strip	4	EA	\$	\$
Amenities shall be purchased and installed by Contractor.					
44	New Wheelstop	7	EA	\$	\$
45	ADA Parking Sign	3	EA	\$	\$
SITE UTILITIES					
46	Relocated parking lot lighting, wiring, and conduit	2	EA	\$	\$
LANDSCAPE AND RESTORATION					
47	Landscape Restoration - Lawn	1	LS	\$	\$

**Trail Connection to Central Park West & Southeast Parking Lot
Renovations Subtotal #2 \$ _____**

Trail Connection to Central Park West & Southeast Parking Lot Renovations Base Bid in Writing:

OWNER ALLOWANCE					
Item #	Description	Quantity	Unit	Installed Unit Price	Item Total
48	Work Allowance as Authorized by the Owner	1	ALLOW	\$60,000.00	60,000.00

Base Bid Grand Total (Subtotals #1, 2, & Owner Allowance) \$ _____

Base Bid Grand Total in Writing:

ALTERNATE #1: Electric Power Pedestals at Tennis Courts

Item #	Description	Quantity	Unit	Installed Unit Price	Item Total
ADD A1-1	Power Pedestals, Wiring, and Conduit at tennis courts #1-8	12	EA	\$	\$

Alternate #1 Bid Total \$ _____

Alternate#1 Bid in Writing:

End of Bid Items - Fill out remainder of forms.
Provide 2 copies of bid form.

CONTRACTOR: _____

CONTACT: _____ SIGNATURE: _____

PHONE: _____ FAX: _____

ADDRESS: _____

List Surety Company Which Contractor will be using for Performance and Payment Bonds: _____

CONTRACTOR REFERENCES

Please include three references with which the Contractor has completed similar work in the past two years. List name of owner, contact person, address, and phone number.

1) _____

Project Description and Contract Amount _____

2) _____

Project Description and Contract Amount _____

3) _____

Project Description and Contract Amount _____

4) _____

Project Description and Contract Amount _____

5) _____

Project Description and Contract Amount _____

SUBCONTRACTORS: List all subcontractors who will perform work representing 5% or more of the total base bid. The Bidder represents that the subcontractors are qualified to perform work required. References may be requested for any sub-contractor.

1) _____

2) _____

3) _____

4) _____

5) _____

6) _____

7) _____



Oak Brook Park District

BOARD MEETING

AGENDA ITEM – HISTORY/COMMENTARY

**ITEM TITLE: SECTION 4.30 ARTIFICIAL INTELLIGENCE (AI)
USAGE POLICY OF THE PERSONNEL POLICY MANUAL**

AGENDA NO.: 9 F

MEETING DATE: JUNE 15, 2026

STAFF REVIEW: Director of Recreation and Communication, Robert Pechous:

RECOMMENDED FOR BOARD ACTION: Executive Director, Laure Kosey:

ITEM HISTORY (PREVIOUS PARK DISTRICT BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, COMMITTEE ACTION, OTHER PERTINENT HISTORY):

The District currently does not have a formal Artificial Intelligence (AI) policy. This proposed policy would establish a new section within the Personnel Policy Manual to provide guidance on the appropriate, ethical, and secure use of AI technologies by employees. As AI tools become increasingly common in the workplace, many public agencies are adopting policies to ensure these technologies are used responsibly, protect sensitive information, maintain compliance with applicable laws, and support effective decision-making. This policy is intended to provide clear expectations and safeguards for the use of AI within the District.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS):

Staff reviewed AI policies and guidance from HR Source, SHRM, other park districts, and the Village of Oak Brook to develop a proposed policy for the District. Due to the rapidly changing nature of AI technology, the policy will be reviewed regularly and updated as needed to address emerging trends, risks, and best practices.

ACTION PROPOSED:

For Review and Discussion Only

4.30 Artificial Intelligence (AI) Use (New 7/20/2026)

Purpose

The Oak Brook Park District ("District") recognizes that Artificial Intelligence (AI) tools can improve operational efficiency, enhance employee productivity, and support the delivery of high-quality public services. This policy establishes guidelines for the responsible, ethical, and lawful use of AI tools by all District employees to protect sensitive information, ensure human accountability, and maintain public trust.

Scope

This policy applies to all full-time, part-time, seasonal, and temporary employees, as well as volunteers, contractors, and any other individuals using AI tools for District purposes, whether on District-issued or personal devices.

Definitions

- **Artificial Intelligence (AI)**: A machine-based system that, for explicit or implicit objectives, infers from the input it receives how to generate outputs such as predictions, content, recommendations, or decisions that can influence physical or virtual environments. This includes Generative AI — automated computing systems that, when prompted with human queries, can produce outputs that simulate human-produced content, including textual, image, audio, video, and other outputs.
- **Personally Identifiable Information (PII)**: Any data that can directly or indirectly identify an individual, including but not limited to full name, address, phone number, email address, Social Security Number, financial account numbers, health information, employee or customer ID numbers, and driver's license number.
- **Protected Health Information (PHI)**: Any individually identifiable health information held or transmitted by the District or its business associates, in any form, as defined under HIPAA.
- **Sensitive or Confidential Data**: Proprietary information, trade secrets, internal communications, data protected under confidentiality agreements, closed session records, or any other information not intended for public disclosure.

Appropriate Use of AI Tools

The District encourages the use of AI tools where they can enhance operational efficiency and the quality of public services. Appropriate uses include, but are not limited to:

- Drafting communications, reports, presentations, or other documents.
- Conducting research and summarizing information.

- Creating or revising standard operating procedures, training materials, and guides.
- Supporting administrative workflows and formatting District documents.
- Assisting with grammar, editing, and structuring written content.

Data Privacy and Security

Employees shall not enter or upload any of the following into AI tools:

- Personally Identifiable Information (PII) or Protected Health Information (PHI) of any individual.
- Sensitive or confidential data, including trade secrets, internal communications, or records subject to confidentiality agreements.
- Records or information from meetings closed pursuant to the Illinois Open Meetings Act (5 ILCS 120/2).

All AI use must comply with the District's existing confidentiality policies and all applicable state and federal laws, including but not limited to the Identity Protection Act and HIPAA.

Prohibited Uses

The following uses of AI are prohibited:

- **Discrimination:** AI tools shall not be used to identify, categorize, or make decisions about individuals based on any protected class status, including race, color, religion, national origin, ancestry, age, sex, marital status, disability, military status, sexual orientation, pregnancy, or any other class protected by applicable law.
- **Surveillance:** AI tools shall not be used for surveillance purposes, including facial recognition, tracking an individual's physical movement, or monitoring an individual's online activity.
- **Final Decision-Making:** No final decisions that directly affect an individual's legal rights or responsibilities may be made solely on the basis of AI-generated output. AI tools are intended to augment, not replace, human professional judgment and accountability.
- **Legal Advice:** AI tools shall not be used as the sole source for obtaining legal advice or for creating policies or legal documents without independent review by the District's legal counsel.
- **Personal Use:** Employees shall not use District time or resources to generate personal content using AI tools.
- **Non-Approved Tools:** Employees may only use AI tools that have been reviewed and approved by the District. Use of non-approved AI tools for District business is prohibited.

Employees wishing to use a new AI tool must obtain approval from their Department Head or the Executive Director before using it.

Human Oversight and Accountability

Employees are solely responsible for ensuring the quality, accuracy, legality, and compliance of any AI-generated content used in their work. Specifically:

- All AI-generated content shall be reviewed for quality, correctness, and compliance with District standards before use. AI-generated content is considered a draft until it has been reviewed, vetted, and formally adopted or approved.
- Employees must verify all information received from AI tools and shall not represent AI-generated content as solely their own original work without acknowledgment of AI's contribution.
- Employees must be familiar with and understand the terms of service for any AI tool they use.

Transparency and Disclosure to the Public

When AI tools that transcribe, summarize, or record meetings or conversations are used (e.g., Microsoft Copilot, Zoom AI Companion, Otter.ai), disclosure must be made to all participants at the start of the meeting or conversation, as AI-generated notes or summaries may be referenced in later decision-making.

Compliance with the Illinois Human Rights Act

Pursuant to recent amendments to the Illinois Human Rights Act, effective January 1, 2026, the District will provide formal written notice to any employee or applicant when AI is used to assist in any employment-related processes, including but not limited to recruitment, hiring, promotion, renewal of employment, selection for training, discharge, or discipline. The District is committed to ensuring that AI use does not result in unlawful discrimination against any individual or group based on any protected class.

Employees or applicants may request additional information about how AI is used in a particular process or decision, or may request an alternative, non-AI evaluation method where reasonable and available. Requests should be directed to the Human Resources Department.

Training

When AI training is made available, employees are expected to participate to ensure a thorough understanding of responsible use, compliance requirements, and best practices. Ongoing self-education on AI developments and ethical considerations is encouraged. Employees may not

use AI tools for District business without completing any required training designated by their Department Head or the Executive Director.

Monitoring and Privacy

The District reserves the right to monitor employee use of AI tools on District systems and equipment to ensure compliance with this policy. Employees should have no expectation of privacy when using AI tools on District-issued devices or accounts.

Reporting Non-Compliance

Employees must report any suspected violations of this policy to their immediate supervisor or the Human Resources Department. Examples of reportable violations include:

- Use of non-approved AI tools for District business.
- Input of PII, PHI, sensitive, or confidential data into AI tools.
- Use of AI tools for prohibited purposes, including employment screening or surveillance.

Violations

Non-compliance with this policy may result in disciplinary action, up to and including termination of employment. Violations that implicate state or federal law may be referred to the appropriate authorities.

Policy Review

This policy will be reviewed annually to ensure it remains current with evolving AI technologies, applicable law, and regulatory requirements.

The next Regular Meeting of the Oak Brook Park District Board of Commissioners will be held on July 20, 2026, 6:30 p.m.

Adjournment