

LOCATION MAP

SCALE: not to scale



LANDSCAPE ARCHITECT:

**uplandDesign Ltd**  
 Landscape Architecture & Park Planning  
 1229 N. North Branch St, #220A, Chicago, IL 60642  
 24042 Lockport St, Plainfield, IL 60544  
 312-350-4088 | 815-254-0091 uplandDesign.com  
 IL License 060-007797



**CIVIL ENGINEER & SURVEYOR**  
 Engineering Resource Associates  
 3s701 West Avenue, Suite 150  
 Warrenville, Illinois 60555  
 IL License 184-001186



**IRRIGATION**  
 FRS Design Group LLC  
 167 S. Lexington Street, P. O. Box 748  
 Spring Green, Wisconsin 53588

# Central Park Phase II Development

1315 Kensington Rd, Oak Brook, Illinois 60523

Oak Brook Park District

1450 Forest Gate Rd,  
 Oak Brook, Illinois 60523



Partially Funded by Illinois Department of Natural Resources

OSLAD Grant No. OS 22-2213

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This project has been prepared by and reviewed by Licensed Landscape Architects.  
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REVISIONS

MB/EM	ISSUE FOR PERMIT	DATE
		24OCT2022

ORIGINAL ISSUE DATE  
**Issued for Bid** 06JAN2023

PROJECT NUMBER  
**1040**

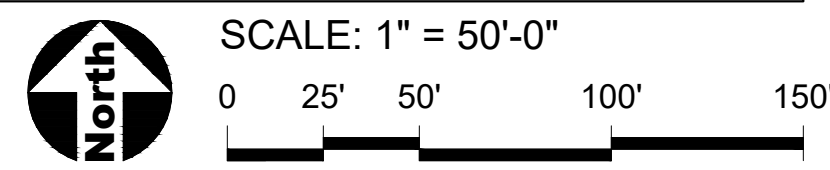
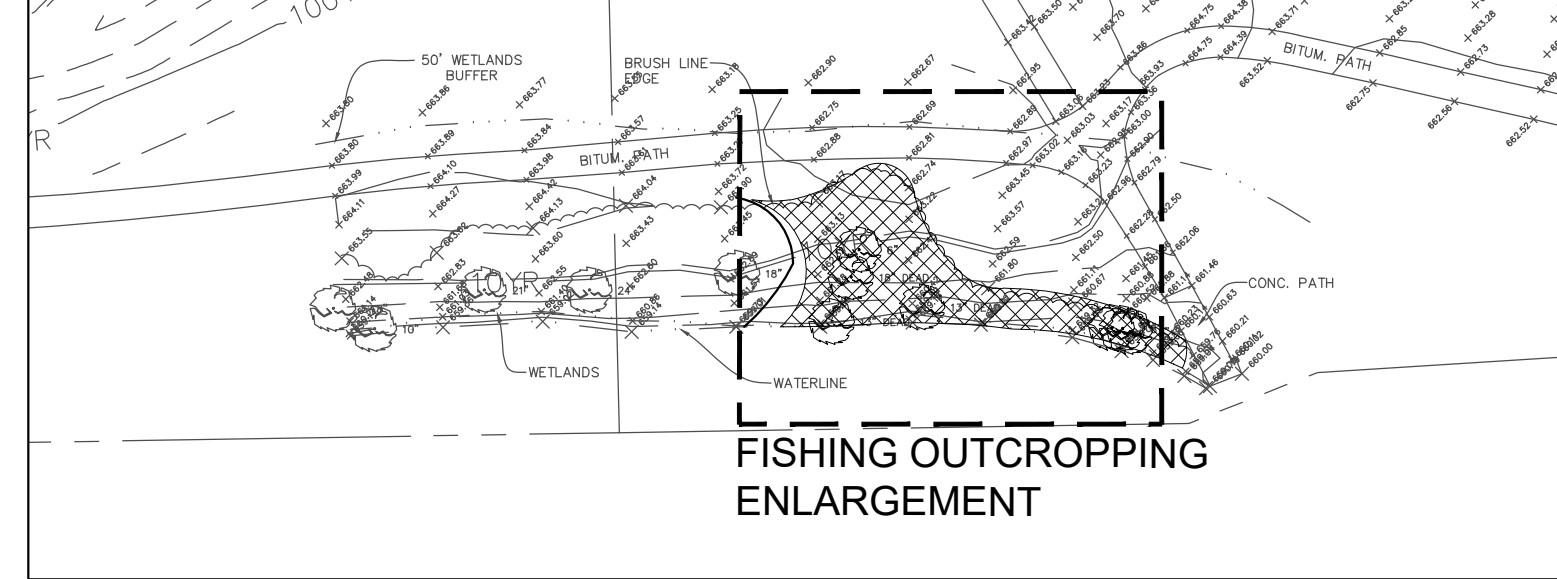
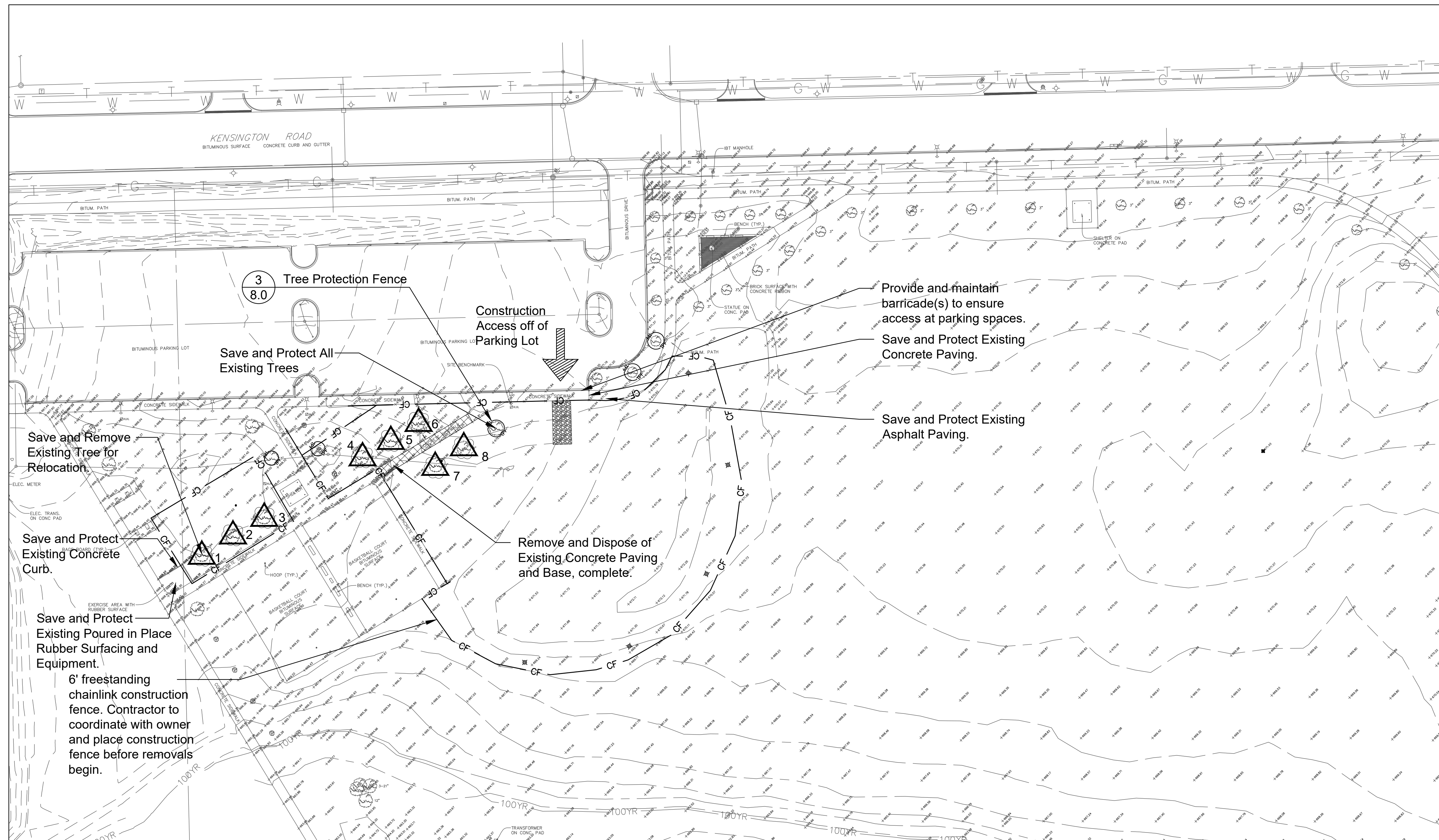
PROJECT NAME  
**Central Park Phase II Development**

SHEET TITLE  
**Title Sheet**

SHEET NUMBER

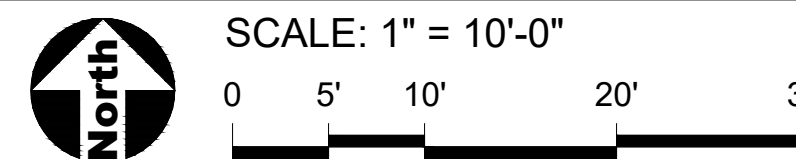
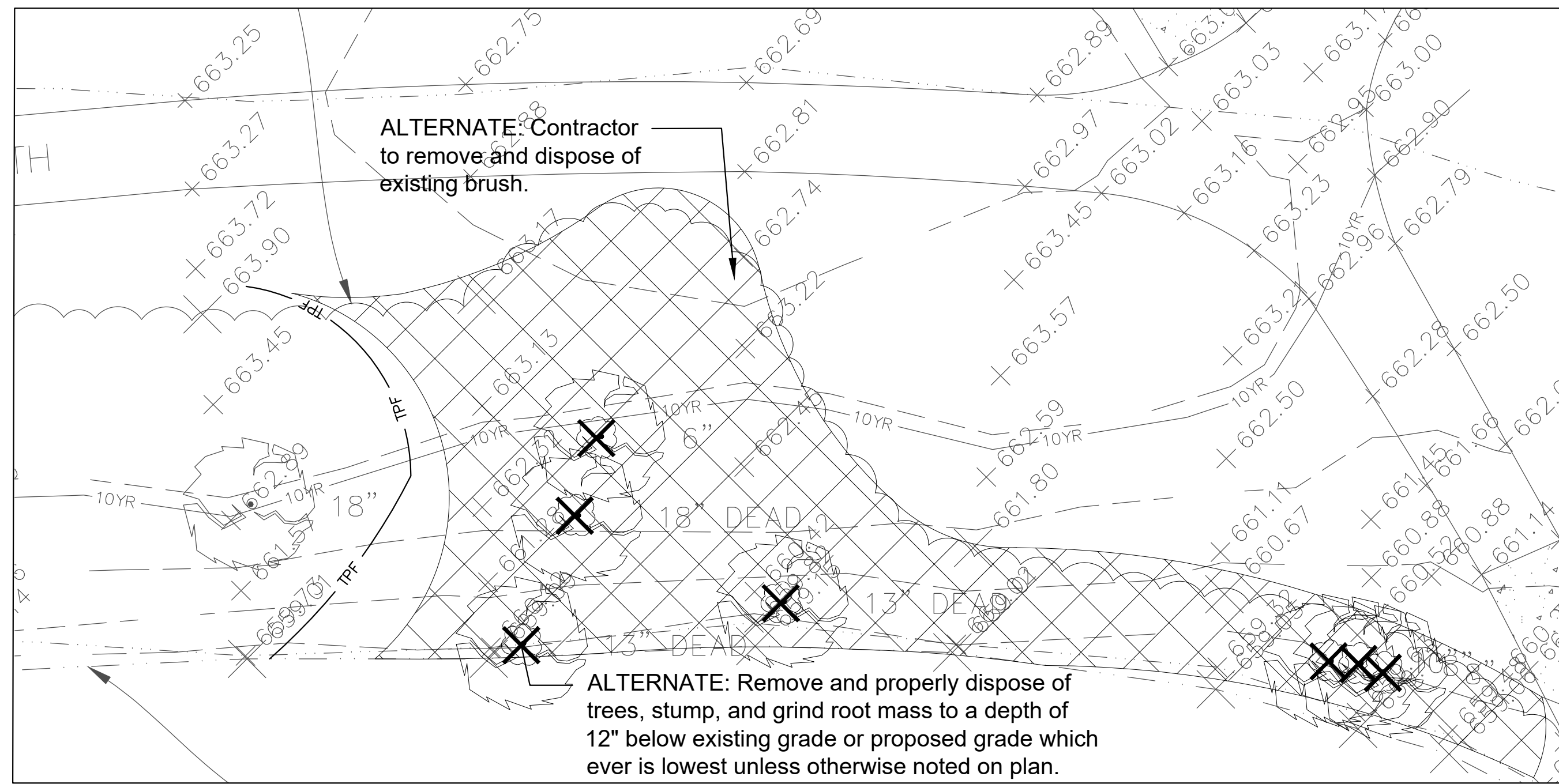
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**SURVEY LEGEND**

--- Property Boundary	⊠ Ex. Water Valve & Vault
— CF — Temporary Construction Fence	⊙ Ex. Fire Hydrant
— CL — Construction Limit	● Ex. Buffalo Box
--- Existing 1 FT Contours	⊙ Ex. Light Pole
--- Existing Storm Sewer	⊙ Ex. Conifer Tree
--- Existing Drain Tile	⊙ Ex. Deciduous Tree
--- Existing Sanitary Sewer	⊙ Benchmark
— w — Existing Water Main	
⊙ Ex. Storm Manhole	
○ Ex. Catchbasin	
⊠ Ex. Inlet	
⊙ Ex. Sanitary Manhole	



### Fishing Outcropping Enlargement

### GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

- The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
- The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- Contours and elevations shown hereon are referenced to the North American vertical datum of 1988 (navd88)
- A Topographic Survey was completed for the Owner by:  
Engineering Resource Associates  
35701 West Avenue, Suite 150  
Warrenville, Illinois 60555 Phone: 630-393-3060
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
- The Contractor shall protect and preserve all section, property or survey reference markers.
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
- Contractor will be held responsible for damage to items not scheduled for removal.
- Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
- No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
- Work site safety is the responsibility of the Contractor.
- Vehicular Construction access shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- Construction Limits: Construction Limits are as noted on plans. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsail may be stockpiled for redistribution as needed. Excess topsail, debris and plant material to be removed off site and disposed of legally.
- Construction fence shall be installed prior to beginning construction. Construction fence to be 4' orange construction fence or free standing chainlink per plans. (incidental to contract).
- Place erosion control measures as required to eliminate sedimentation into non-construction areas and as shown on plans and details prior to beginning construction.
- Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
- Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exist between or within the contract documents between and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
- All necessary site work permits will be obtained by Owner. Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or re-inspections and associated fees.
- Contractor shall follow all permit requirements as part of the project.

### LEGAL DESCRIPTION

LOTS 1 AND 2 IN MCDONALD'S AUTUMN OAKS SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 26, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 22, 1990 AS DOCUMENT R90-77300, IN DUPAGE COUNTY, ILLINOIS.

### SITE BENCHMARK

SITE BENCHMARK 1: CUT SQUARE ON SOUTH SIDE OF LIGHT POLE BASE NEAR SOUTHEAST CORNER OF PARKING LOT. ELEV: 674.54 (NAVD 88)	SITE BENCHMARK 2: CUT CROSS ON SIDEWALK APPROXIMATELY FIFTY-FIVE FEET (55') SOUTHWEST OF NORTHWEST CORNER OF WESTERNMOST BASKETBALL COURT. ELEV: 668.43 (NAVD 88)
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### REMOVALS LEGEND

	Remove and Dispose of Existing Concrete Paving and Base
	Tree Protection Fence
	Silt Fence
	Construction Fence
	Relocate Existing Tree
	Remove Tree



1450 Forest Gate Rd,  
Oak Brook, Illinois 60523  
Phone: 630-990-4233

## PROJECT Central Park Phase II Development

1315 Kennsington Rd,  
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### PROJECT TEAM



CIVIL ENGINEER & SURVEYOR  
Engineering Resource Associates  
35701 West Avenue, Suite 150  
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### REVISIONS

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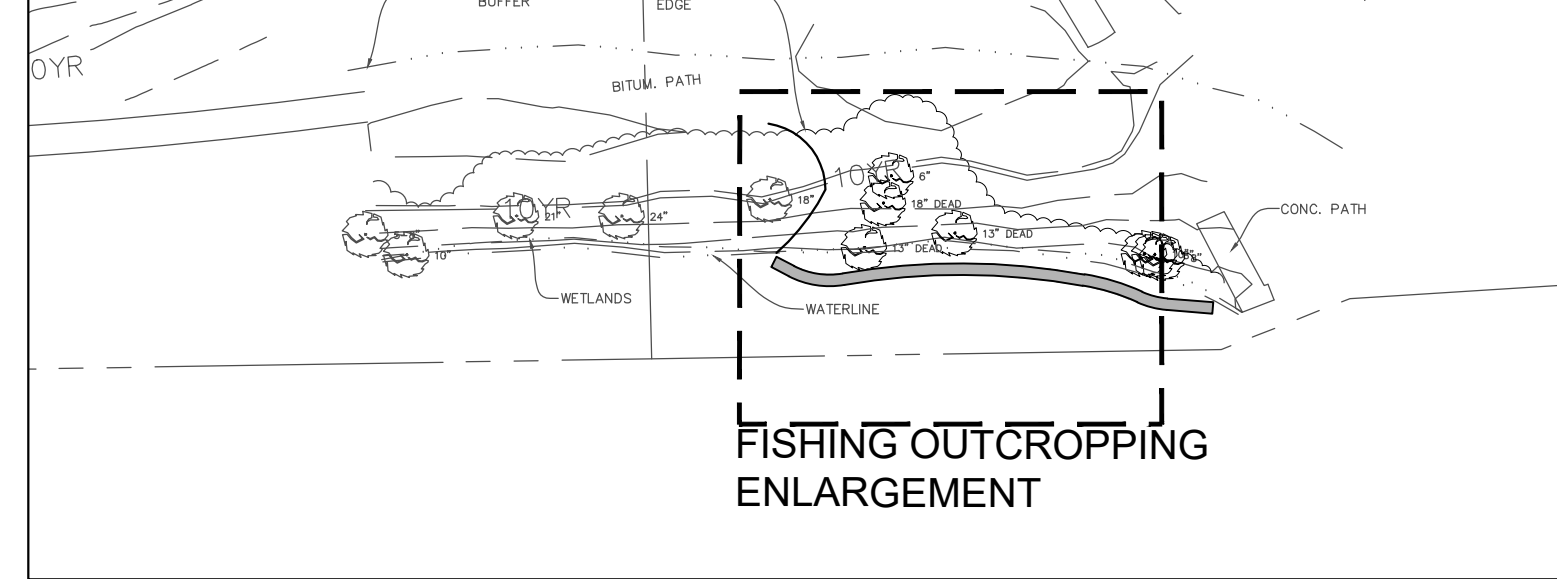
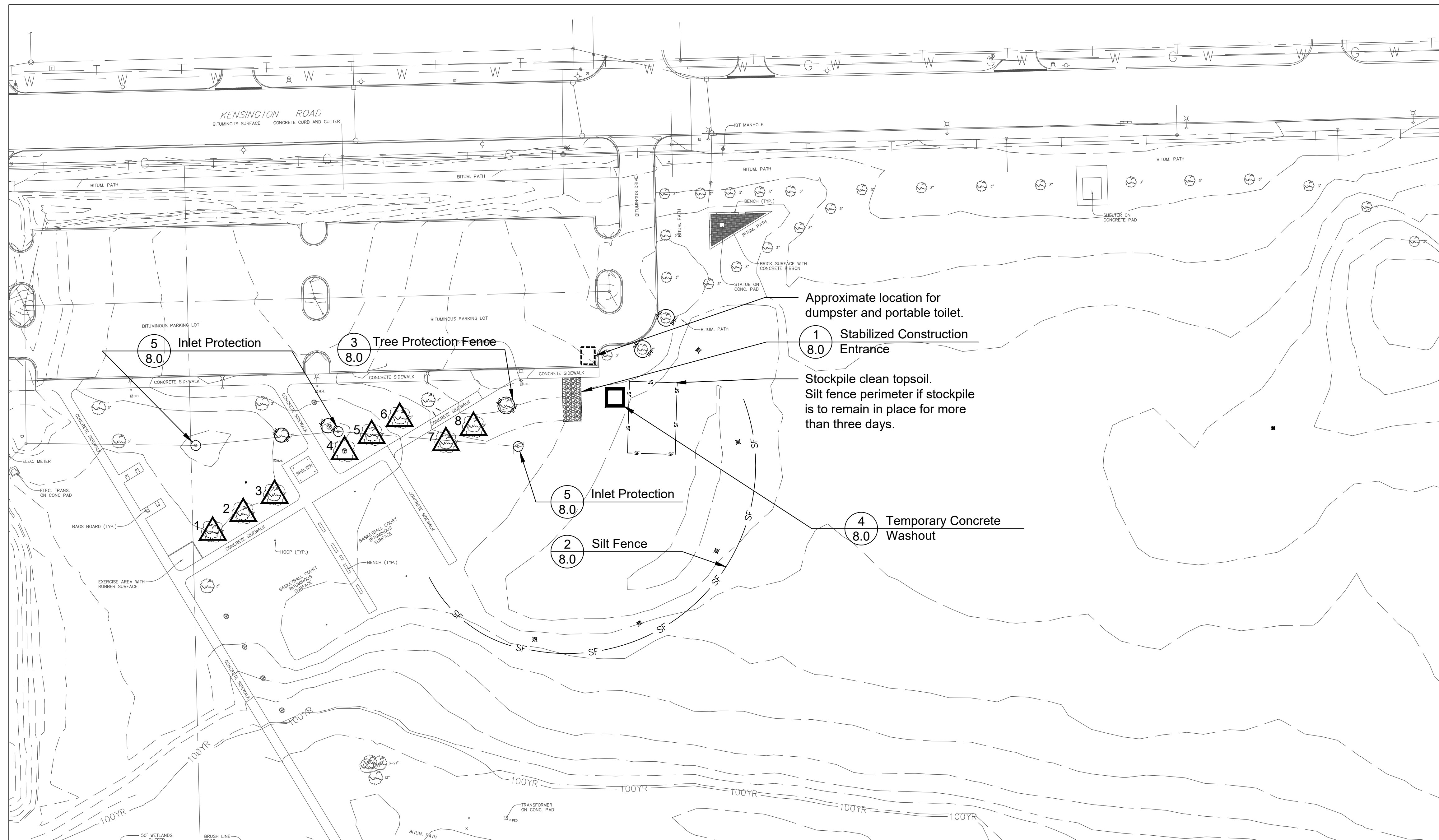
### PROJECT NUMBER

**1040**

## SHEET TITLE Existing Conditions & Removals Plan

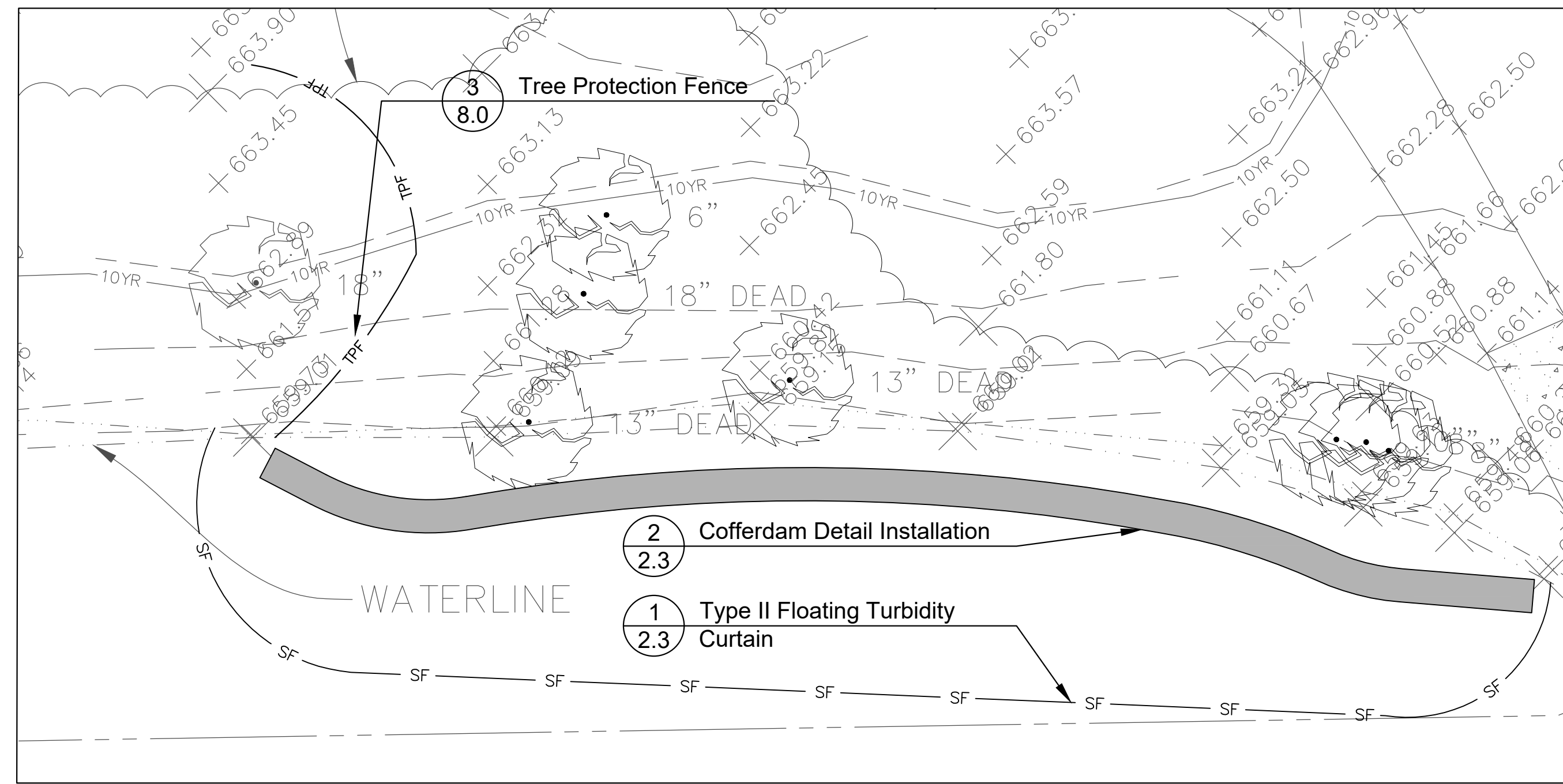
### SHEET NUMBER

**1.0**



**SURVEY LEGEND**

--- Property Boundary	⊠ Ex. Water Valve & Vault
--- CF --- Temporary Construction Fence	⊙ Ex. Fire Hydrant
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--- Existing Sanitary Sewer	⊙ Benchmark
---w--- Existing Water Main	
⊙ Ex. Storm Manhole	
○ Ex. Catchbasin	
⊠ Ex. Inlet	
⊙ Ex. Sanitary Manhole	



**Fishing Outcropping Enlargement**

**GENERAL NOTES: STORMWATER POLLUTION PREVENTION PLAN**

1. Erosion and sediment control measures shall be in accordance with the latest Illinois Urban Manual edition and DuPage County Village of Oak Brook sediment and erosion control requirements.
2. See Sheet 2.1 for additional notes.



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Phone: 630-990-4233

**PROJECT**  
**Central Park**  
**Phase II**  
**Development**

1315 Kensington Rd,  
Oak Brook, Illinois 60523

**PROJECT TEAM**



Chicago, Illinois 312-350-4088  
Plainfield, Illinois 815-254-0091  
uplandDesign.com

**CIVIL ENGINEER & SURVEYOR**  
Engineering Resource Associates  
3s701 West Avenue, Suite 150  
Warrenville, Illinois 60555  
IL License 184-001186

**REVISIONS**

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PROJECT NUMBER

**1040**

SHEET TITLE

**Stormwater**  
**Pollution**  
**Prevention Plan**

**LEGEND**

- TPF --- Tree Protection Fence
- SF --- Silt Fence
- Inlet Protection

**GENERAL CONTRACTOR CERTIFICATION**

Any land clearing, construction, or development involving movement of earth shall be in accordance with the approved plans.

Contractor Signature \_\_\_\_\_ Date \_\_\_\_\_

SHEET NUMBER

**2.0**

# STORMWATER POLLUTION PREVENTION PLAN

## A. REFERENCED SPECIFICATIONS

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
  - \* STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
  - \* STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
  - \* VILLAGE OF OAK BROOK MUNICIPAL CODE;
  - \* EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE LATEST ILLINOIS URBAN MANUAL EDITION AND DUPAGE COUNTY VILLAGE OF OAK BROOK SEDIMENT AND EROSION CONTROL REQUIREMENTS;
  - \* IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

## B. NOTIFICATIONS

- THE VILLAGE OF OAK BROOK ENGINEERING DEPARTMENT AND PUBLIC WORKS MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

## C. GENERAL NOTES

- ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
- THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
- ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY AND OWNER.
- THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

## D. STORM SEWER

- ALL MATERIAL SHALL BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- REINFORCED CONCRETE PIPING WITH "O" RING JOINTS.
- ALL STORM STRUCTURES SHALL BE PRECAST REINFORCED CONCRETE ONLY.
- ALL STORM STRUCTURES SHALL HAVE NO MORE THAN TWO ADJUSTING RINGS WITH A MINIMUM OF FOUR INCHES (4") AND A MAXIMUM OF TWELVE INCHES (12") OF ADJUSTING RINGS.
- ALL CASTINGS SHALL BE SET ON A BITUMASTIC MATERIAL.
- ALL LIFTING HOLES, JOINTS BETWEEN PRECAST REINFORCED CONCRETE SECTIONS, GAPS BETWEEN PIPES AND STRUCTURES SHALL BE TUCKPOINTED WITH HYDRAULIC CEMENT.
- BITUMASTIC MATERIAL SHALL BE PLACED BETWEEN PRECAST REINFORCED CONCRETE SECTIONS.
- ALL STEPS SHALL BE FIBERGLASS OR NEOPRENE COATED.
- ALL STORM SEWER MANHOLES SHALL HAVE ASTM A48 CERTIFICATION.

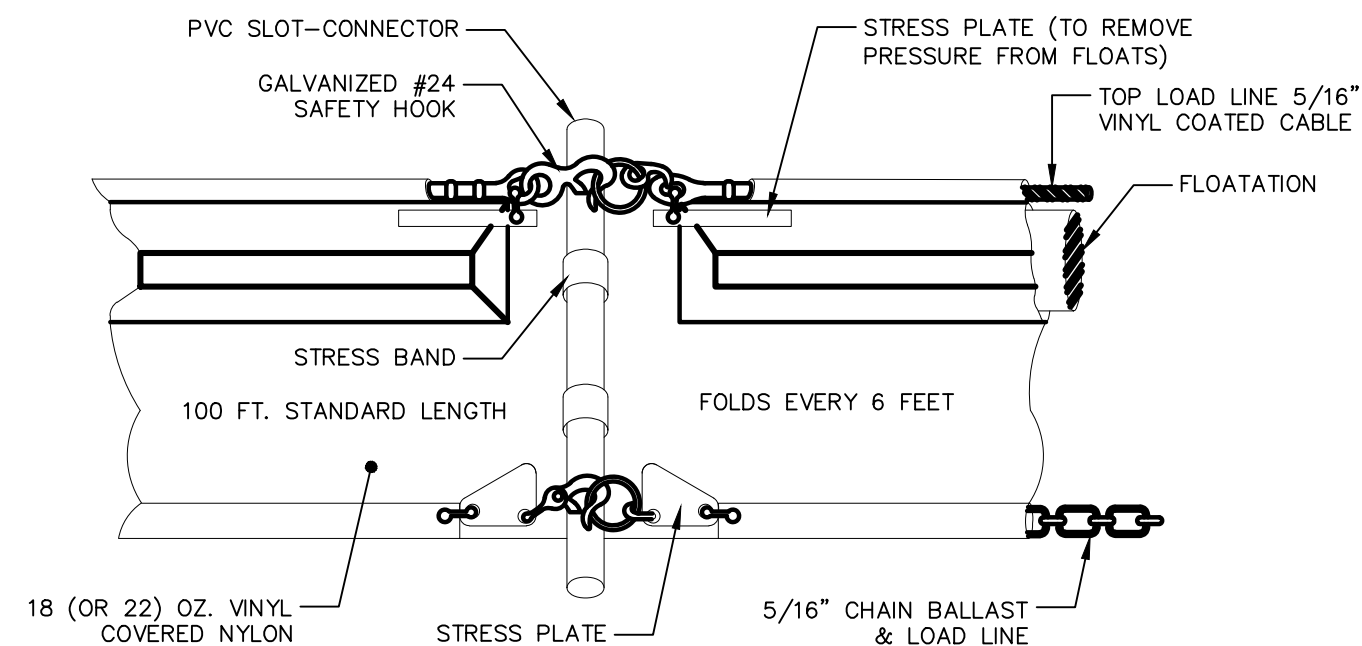
PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE 6-INCH TO 15-INCH DIAMETER SDR 26 18-INCH TO 27-INCH DIAMETER F/DY=46	ASTM D-3034 ASTM F-679	ASTM D-3212 ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)	ASTM D-3350 ASTM D-3035	ASTM D-3261,F-2620 (HEAT FUSION) ASTM D-3212,F-477 (GASKETED)
WATER MAIN QUALITY PVC 4-INCH TO 36-INCH 4-INCH TO 12-INCH 14-INCH TO 48-INCH	ASTM D-2241 AWWA C900 AWWA C905	ASTM D-3139 ASTM D-3139 ASTM D-3139

## E. EROSION AND SEDIMENT CONTROL

- THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
  - UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
  - ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
- ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR SITE INSPECTOR.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE FUNCTIONAL AND INSPECTED BY THE VILLAGE PRIOR TO LAND DISTURBANCE ACTIVITIES.
- STOCKPILES TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE PROVIDED WITH SOILD EROSION AND SEDIMENT CONTROL MEASURES.
- PUMPING SEDIMENT-LADEN WATER INTO ANY STORMWATER FACILITY NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IF PROHIBITED.
- LAND DISTURBANCE ACTIVITIES IN STREAMS AND DITCHES SHALL BE AVOIDED WHERE POSSIBLE.
- SOIL STOCKPILES SHALL NOT BE LEFT OVERNIGHT IN DITCHES OR WITHIN FLOODPLAINS.

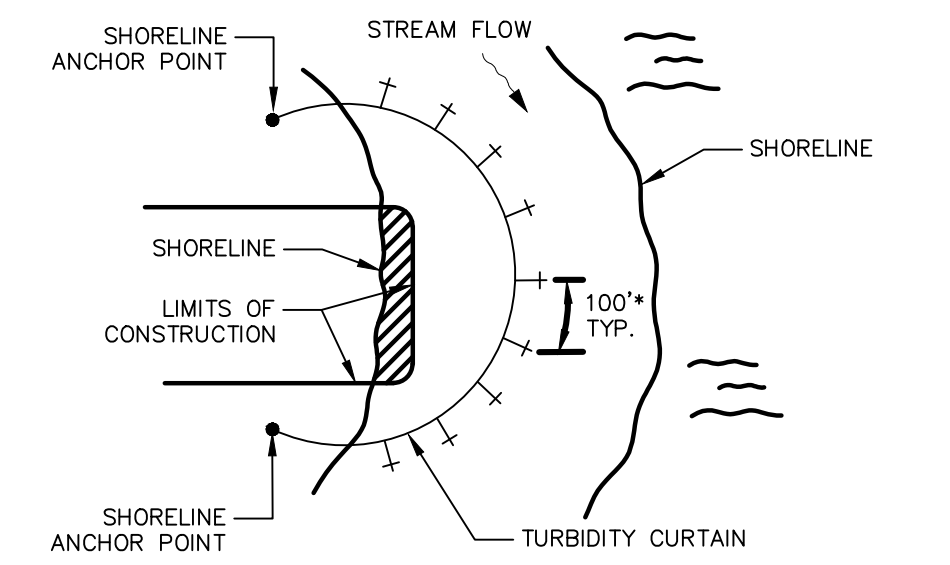
## F. SCHEDULE OF MAJOR CONSTRUCTION EVENTS

- INSTALL SEDIMENT EROSION CONTROL MEASURE (MARCH 13, 2023)
- BEGIN MASS GRADING (APRIL 1, 2023)
- CONSTRUCTION (APRIL 1, 2023)
- COMPLETE FINE GRADING (JULY 15, 2023)
- STABILIZE SITE WITH SEED AND BLANKET (JULY 21, 2023)
- REMOVE SEDIMENT EROSION CONTROL MEASURES (AUGUST 11, 2023)
- FINAL COMPLETION (AUGUST 11, 2023)



**TYPE II FLOATING TURBIDITY CURTAIN**

NOT TO SCALE



**TYPICAL INSTALLATION FOR FLOATING TURBIDITY CURTAIN**

NOT TO SCALE

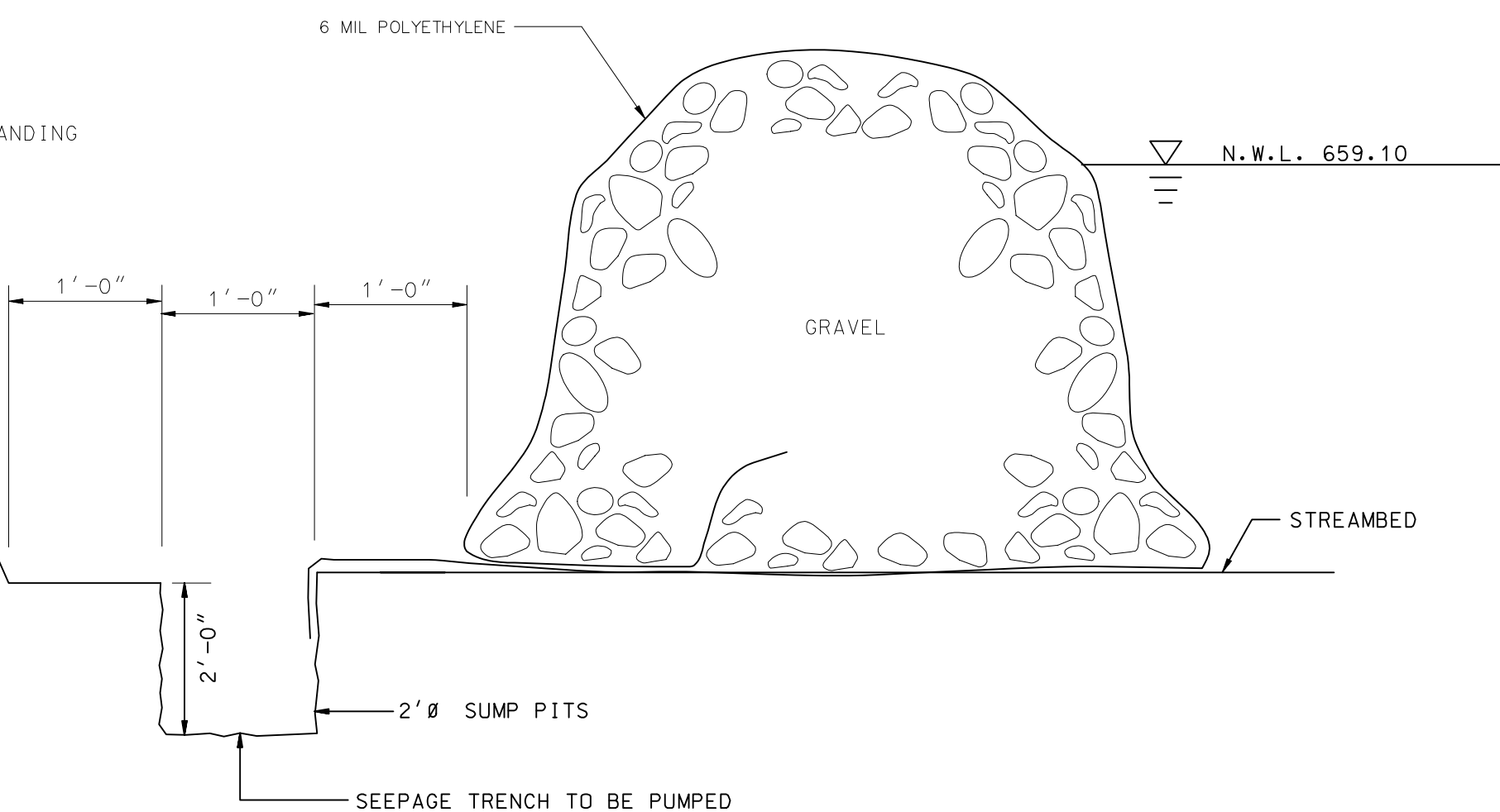
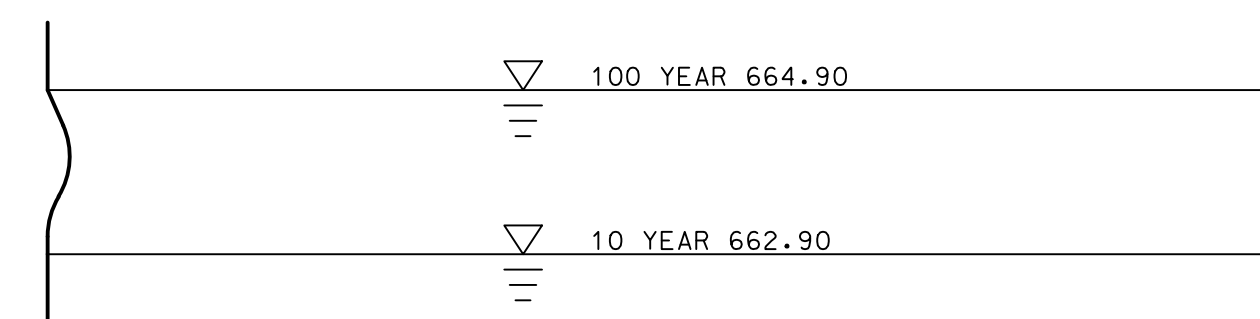
## 1 Cofferdam Details Elevation

SCALE: Not to Scale

det-cofferdam

### CONSTRUCTION SEQUENCE:

- INSTALL COFFERDAM
- CONSTRUCT TRENCH
- INSTALL PUMP
- DEWATER TRENCH
- TREAT WATER WITH DEWATERING SEDIMENT FILTER BAG THROUGHOUT CONSTRUCTION DURATION
- CONSTRUCT FISH OUTCROPPING
- BACKFILL SUMP PITS TO GRADE W/ RIVER ROCK
- REMOVE COFFERDAM
- REMOVE SILT SCREEN



## 2 Cofferdam Details Elevation

SCALE: Not to Scale

det-cofferdam



1450 Forest Gate Rd,  
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Phone: 630-990-4233

## PROJECT

# Central Park Phase II Development

1315 Kennsington Rd,  
Oak Brook, Illinois 60523

## PROJECT TEAM

**uplandDesign**  
**uplandDesign Ltd**  
Landscape Architecture & Park Planning  
Chicago, Illinois 312-350-4088  
Plainfield, Illinois 815-254-0091  
uplandDesign.com

CIVIL ENGINEER & SURVEYOR  
Engineering Resource Associates  
3s701 West Avenue, Suite 150  
Warrenville, Illinois 60555  
IL License 184-001186

## REVISIONS

MB/EM	ISSUE FOR BID	06JAN2022

## ORIGINAL ISSUE DATE

**Issued for Bid** 06JAN2023

## PROJECT NUMBER

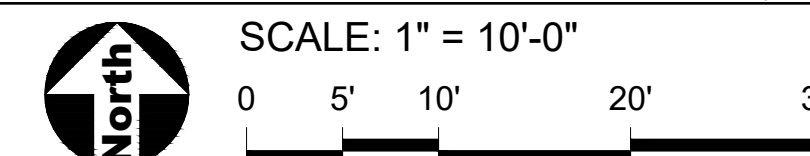
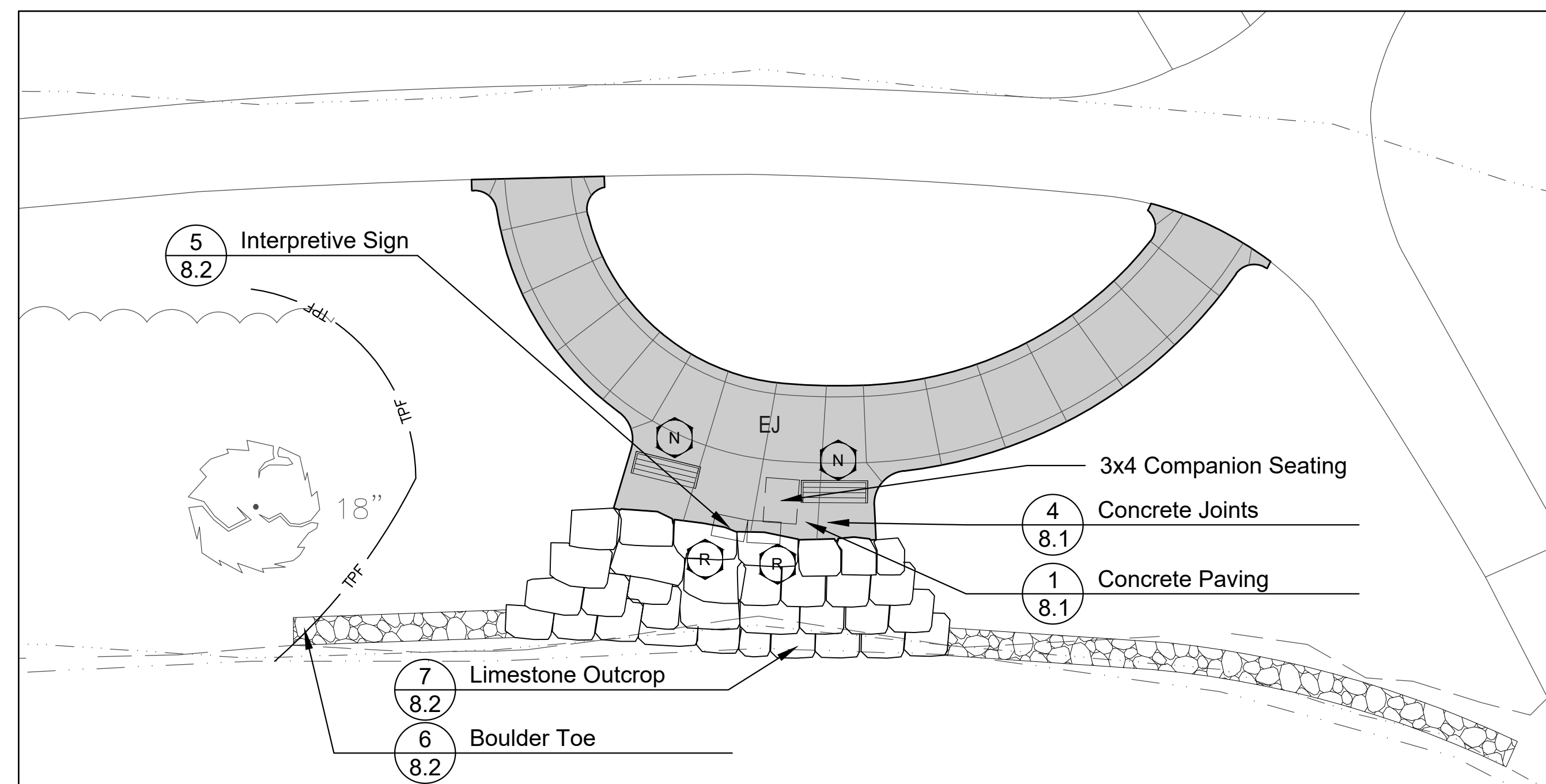
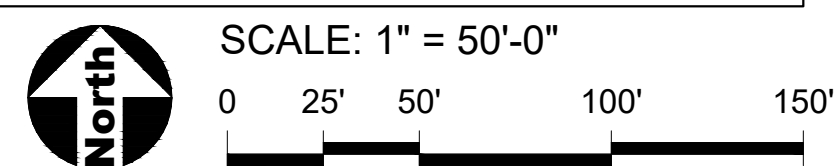
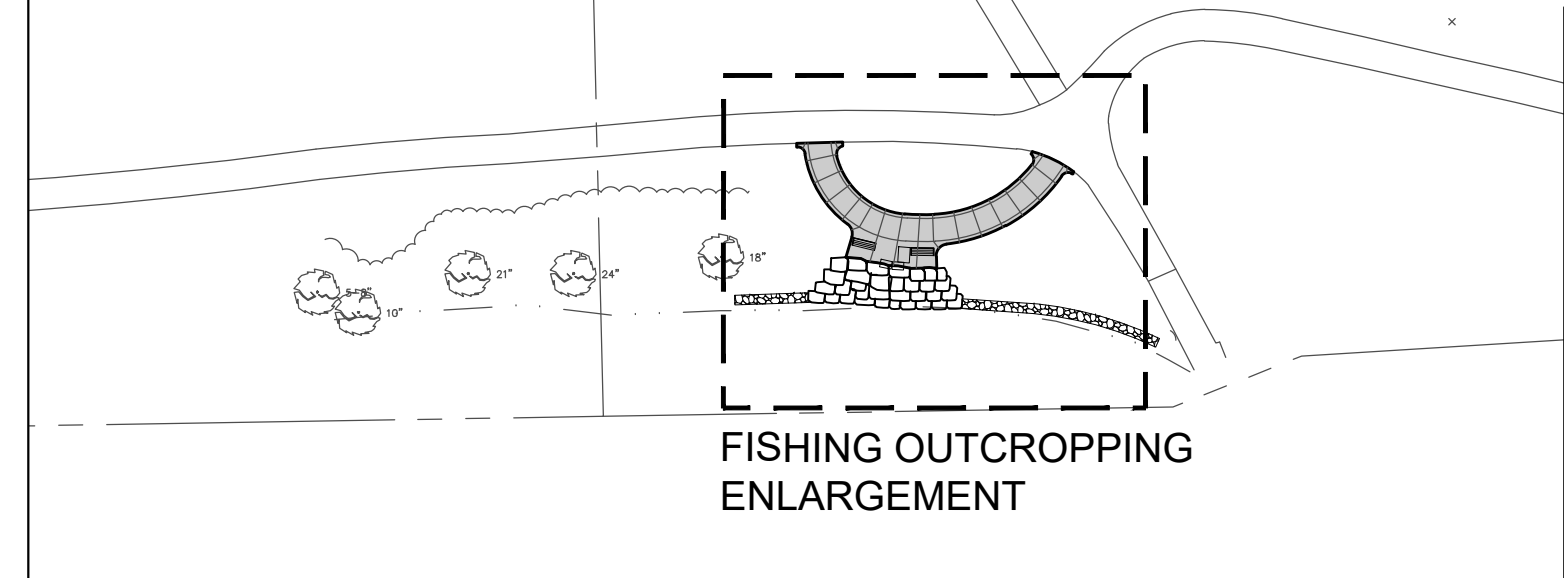
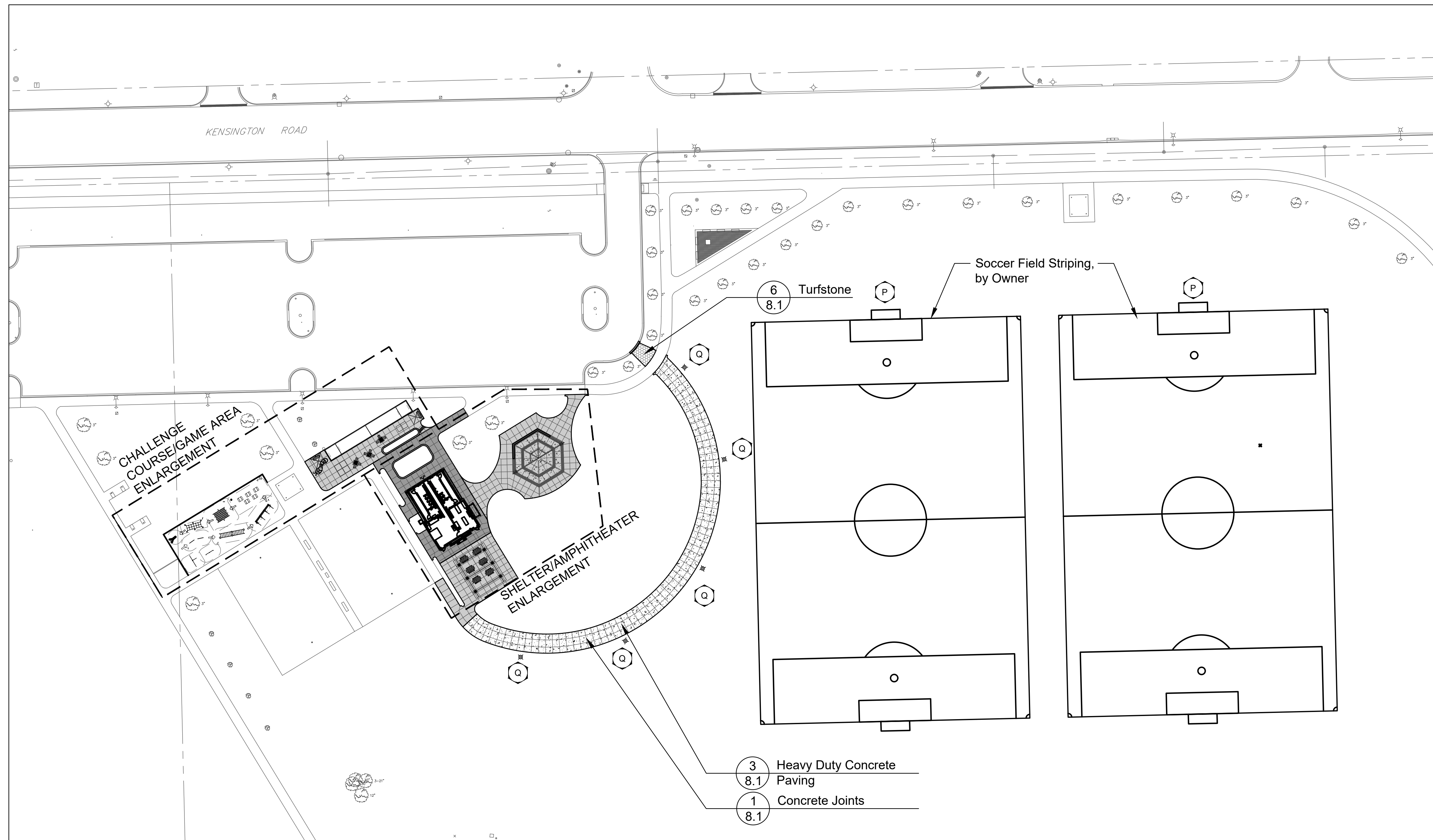
**1040**

## SHEET TITLE

# Standard Notes: SWPP

## SHEET NUMBER

**2.1**



**Fishing Outcropping Enlargement**

**GENERAL NOTES: LAYOUT**

- It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
- The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
- Contractor shall follow Village of Oak Brook permit requirements as part of the project.
- Any deviation from this approved plan shall require prior approval from the Village of Oak Brook
- The contractor shall contact the Village of Oak Brook Department of Development Services at 630-368-3101 a minimum of 24-hours in advance to schedule the following required engineering inspections:
  - Erosion Control Inspection
  - Cofferdam and Turbidity Curtain Inspection(s)
  - Storm Sewer Inspection
  - Prepour Curb Inspection(s)
  - Turfstone Base Course Inspection
  - Poured-in-Place Surfacing Base Course Inspection
  - Artificial Turf Base Course Inspection
  - Fishing Outcropping Inspection
  - Final Engineering Inspection

**REFERENCED SPECIFICATIONS AND CODES**

- The Americans with Disabilities Act and the Illinois Accessibility Code.
- The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
- U.S. Soil Conservation Service Field Engineering Handbook
- All codes and ordinances of the Village of Oak Brook, Illinois Department of Natural Resources, DuPage County Soil and Water Conservation Districts, and all agencies having jurisdiction.
- All requirements of the Occupational Safety and Health Administration.
- The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
- In case of conflict, the more restrictive provision shall apply.



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**PROJECT**  
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**Phase II**  
**Development**

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**PROJECT TEAM**



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**PROJECT NUMBER**

**1040**

**SHEET TITLE**  
**Layout Plan -**  
**Overall**

**SHEET NUMBER**

**3.0**



1450 Forest Gate Rd,  
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PROJECT  
**Central Park  
Phase II  
Development**

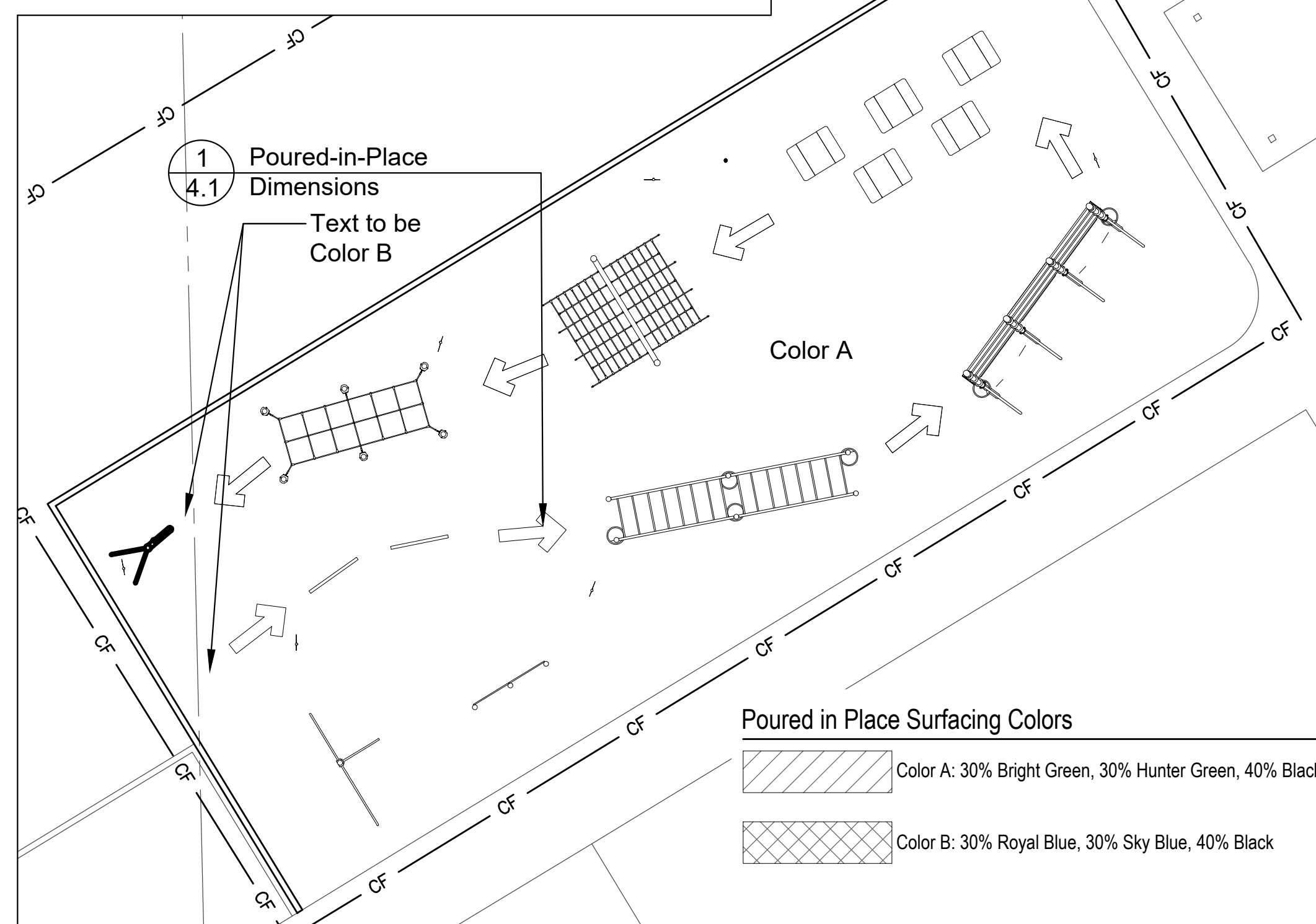
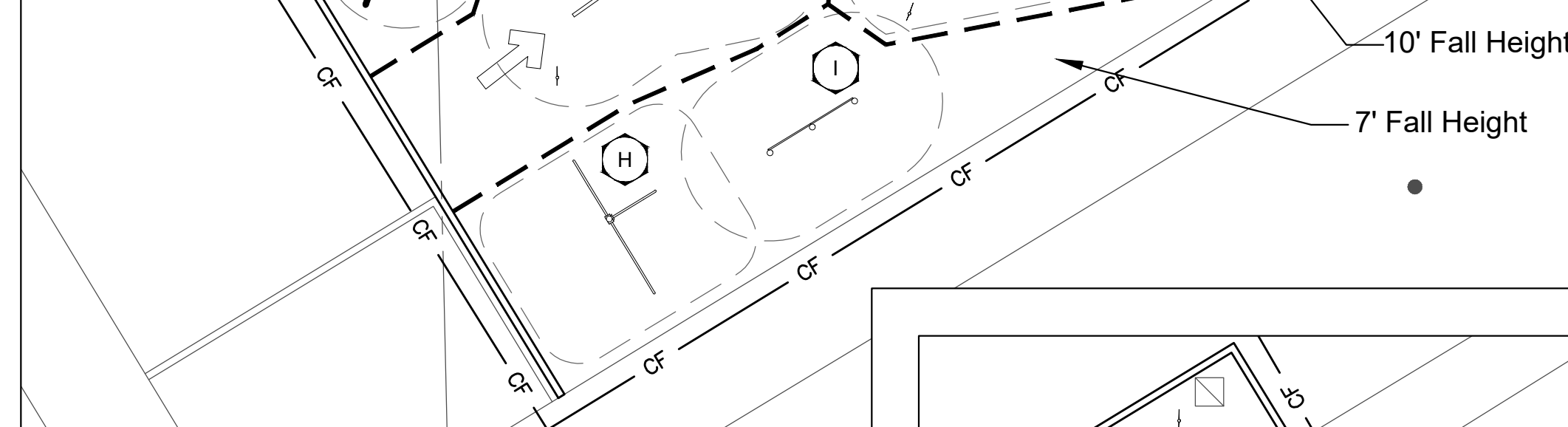
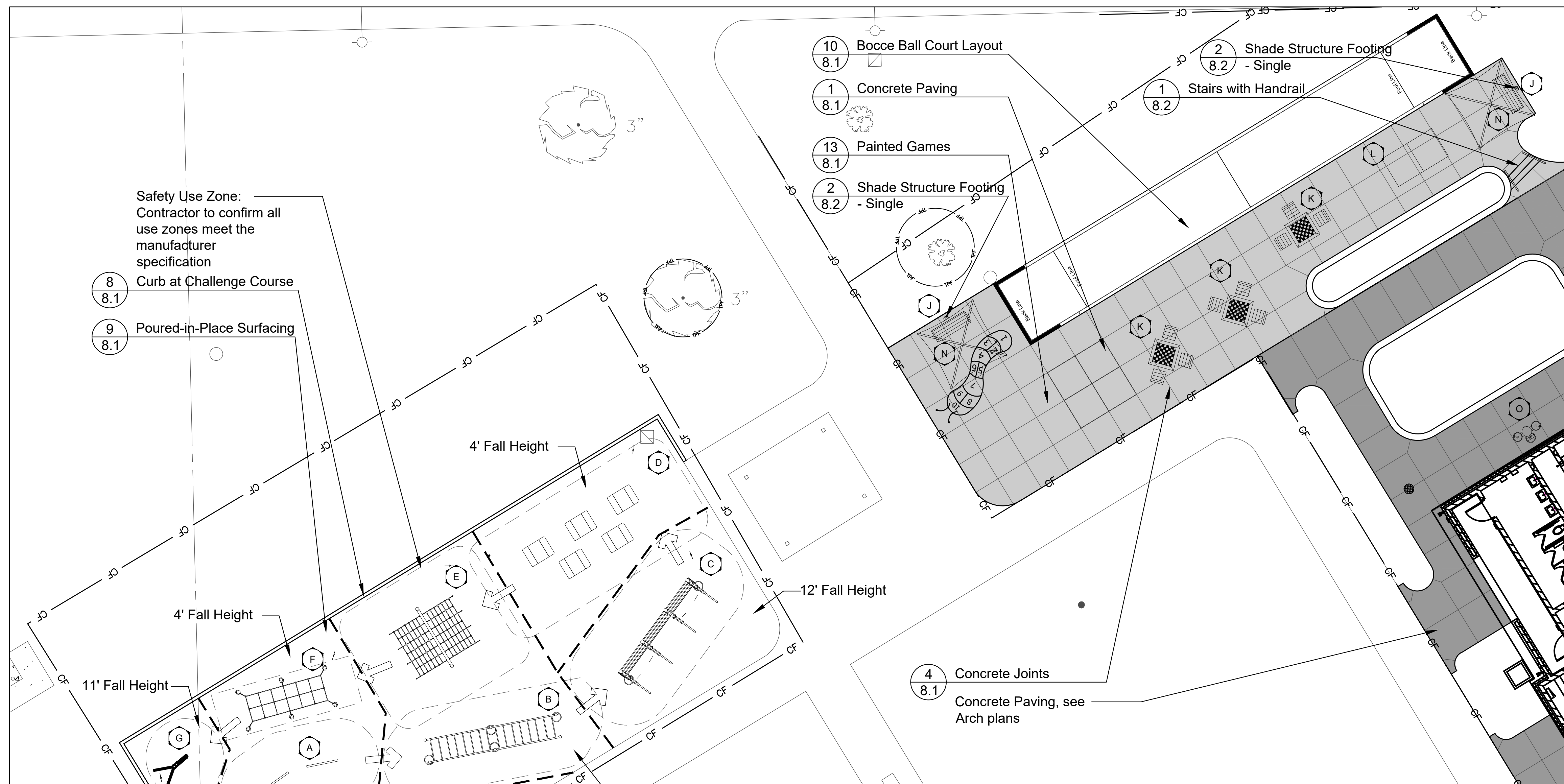
1315 Kennington Rd,  
Oak Brook, Illinois 60523

PROJECT TEAM

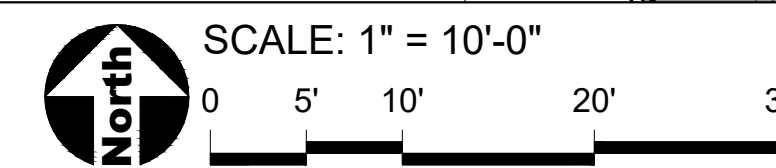


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**Challenge Course/Game Area Enlargement**



SITE AMENITIES SCHEDULE

Key	Item	Color	Quantity	Model	Manufacturer	Supplier
A	Fitcore Extreme Angled Balance Beam Double	Posts: Blue Accent: Pine Green	1	#243908	Landscape Structures	Nutoys Leisure Products 800-526-6197
B	Fitcore Extreme Angled Overhead Ladder	Posts: Blue Accent: Pine Green	1	#243907	Landscape Structures	Nutoys Leisure Products 800-526-6203
C	Fitcore Extreme Ledge Hanger	Posts: Blue Accent: Pine Green	1	#243778	Landscape Structures	Nutoys Leisure Products 800-526-6203
D	Fitcore Extreme Quintuple Steps	Posts: Blue Accent: Pine Green	1	#243062	Landscape Structures	Nutoys Leisure Products 800-526-6199
E	Fitcore Extreme A-Frame Cargo	Posts: Blue Accent: Pine Green	1	#243016	Landscape Structures	Nutoys Leisure Products 800-526-6198
F	Fitcore Extreme High Step	Posts: Blue Accent: Pine Green	1	#244064	Landscape Structures	Nutoys Leisure Products 800-526-6202
G	Fitcore Extreme Rope Climb	Posts: Blue Accent: Pine Green	1	#243910	Landscape Structures	Nutoys Leisure Products 800-526-6199
H	Healthbeat Assisted Row/Push-Up	Posts: Blue Accent: Pine Green	2	#192452	Landscape Structures	Nutoys Leisure Products 800-526-6200
I	Chin-Up Station	Posts: Blue Accent: Pine Green	1	#137958	Landscape Structures	Nutoys Leisure Products 800-526-6201
J	SkyWays Cantilever Single Post Pyramid 10'x10'	Posts: Dune Fabric: Blue	2	#237673	Landscape Structures	Nutoys Leisure Products 800-526-6202
K	Game Table	Standard Finish, Grey	3	#T7102, 3 Seat	Doty & Sons	Doty & Sons 800-233-3907
L	Ping Pong Table	Standard Finish, Grey	1	#T1086050	Doty & Sons	Doty & Sons 800-233-3907
M	Picnic Table ADA	Powdercoat: Black Slats: Cedar	6	By Owner	Ultrasite	Ultrasite 800-459-5872
N	Bench	Black Powdercoat	4	#678, P238H-P8P	Ultrasite	Ultrasite 800-459-5872
O	Drinking Fountain	Black Powdercoat	1	#10145SMFA with Pet Fountain and Recessed Hose Bibb with Lock Door	Most Dependable Fountains	Play Design Scapes 224-324-4597
P	Soccer Goal Pair	White	1 Pair	#2239-00A, Complete Soccer Goal System, 8'x24', Portable Aluminum Goals (Pair) with Net, Ties, and Auger Anchor System	PW Athletics	Nutoys Leisure Products 800-526-6197
Q	Pedestrian Light Fixture	Black Powdercoat	5	Light Fixture: VPR-EA30 Post: 1030T Base: 3500 Base		
R	Interpretive Sign		1	By Owner		

LEGEND

- Concrete Paving
- Concrete Paving at Restroom by Others
- Colored Paving - Colored
- Heavy Duty Concrete Paving
- Poured in Place Rubber Surfacing
- Artificial Turf Surfacing
- EJ Concrete Expansion Joints
- CL Construction Limits / Construction Fence

REVISIONS

MB/EM	ISSUE FOR BID	DATE
		06JAN2022

ORIGINAL ISSUE DATE  
**Issued for Bid** 06JAN2023

PROJECT NUMBER

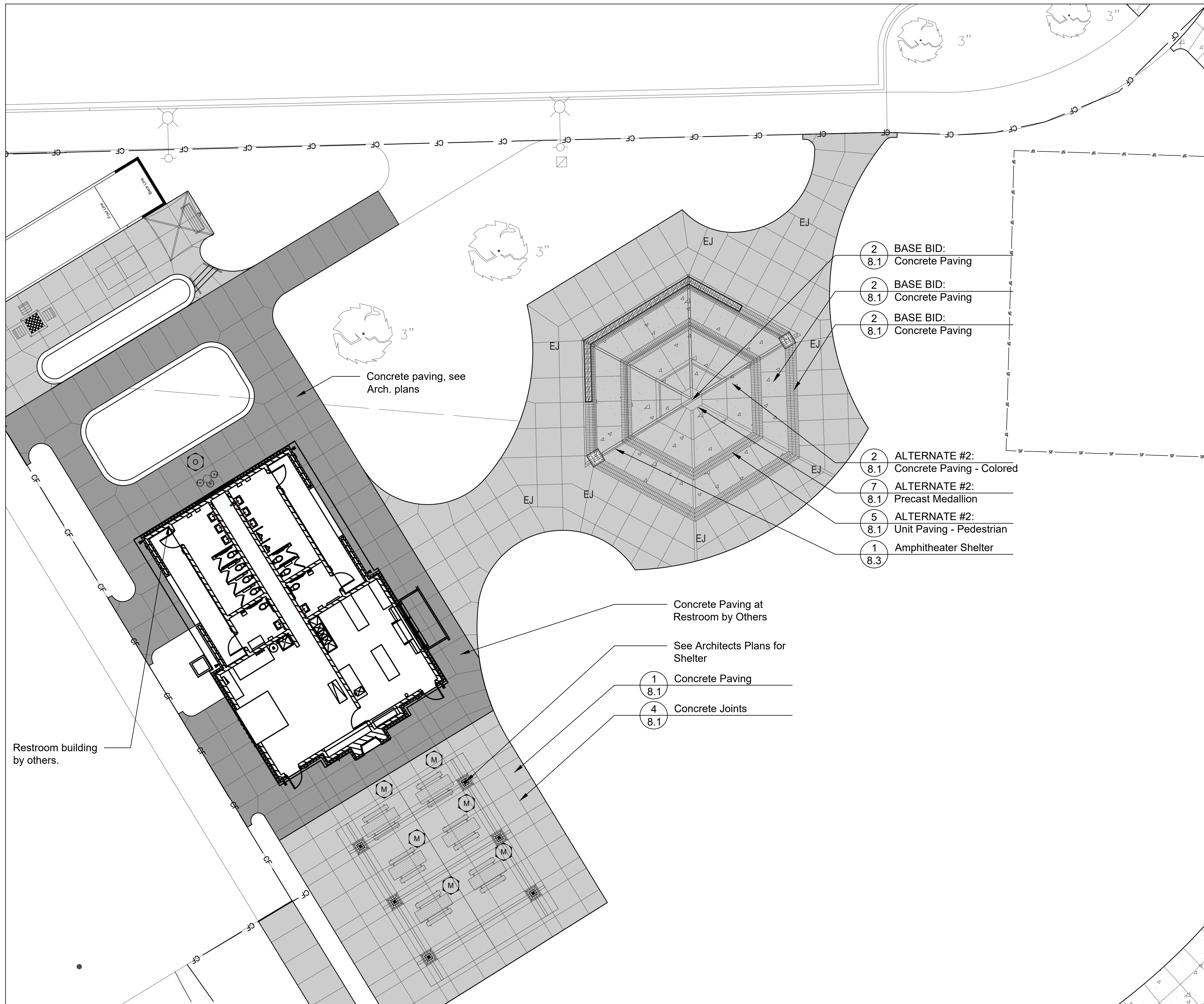
**1040**

SHEET TITLE

**Layout Plan -  
Challenge  
Course /  
Game Area**

SHEET NUMBER

**3.1**

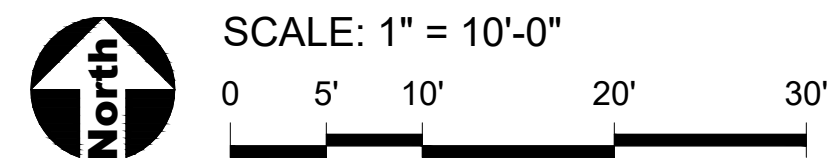


- 2 BASE BID:  
8.1 Concrete Paving
- 2 BASE BID:  
8.1 Concrete Paving
- 2 BASE BID:  
8.1 Concrete Paving
- 2 ALTERNATE #2:  
8.1 Concrete Paving - Colored
- 7 ALTERNATE #2:  
8.1 Precast Medallion
- 5 ALTERNATE #2:  
8.1 Unit Paving - Pedestrian
- 1  
8.3 Amphitheater Shelter



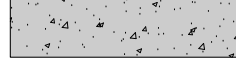
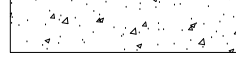
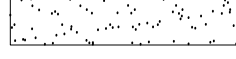
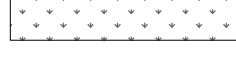
- Concrete Paving at Restroom by Others
- See Architects Plans for Shelter
- 1  
8.1 Concrete Paving
- 4  
8.1 Concrete Joints

Restroom building by others.

Concrete paving, see Arch. plans



**LEGEND**

	Concrete Paving
	Concrete Paving at Restroom by Others
	ALTERNATE #2: Colored Paving - Colored
	Heavy Duty Concrete Paving
	Poured in Place Rubber Surfacing
	Artificial Turf Surfacing
EJ	Concrete Expansion Joints
— CL —	Construction Limits / Construction Fence



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PROJECT  
**Central Park  
Phase II  
Development**

1315 Kensington Rd,  
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PROJECT TEAM



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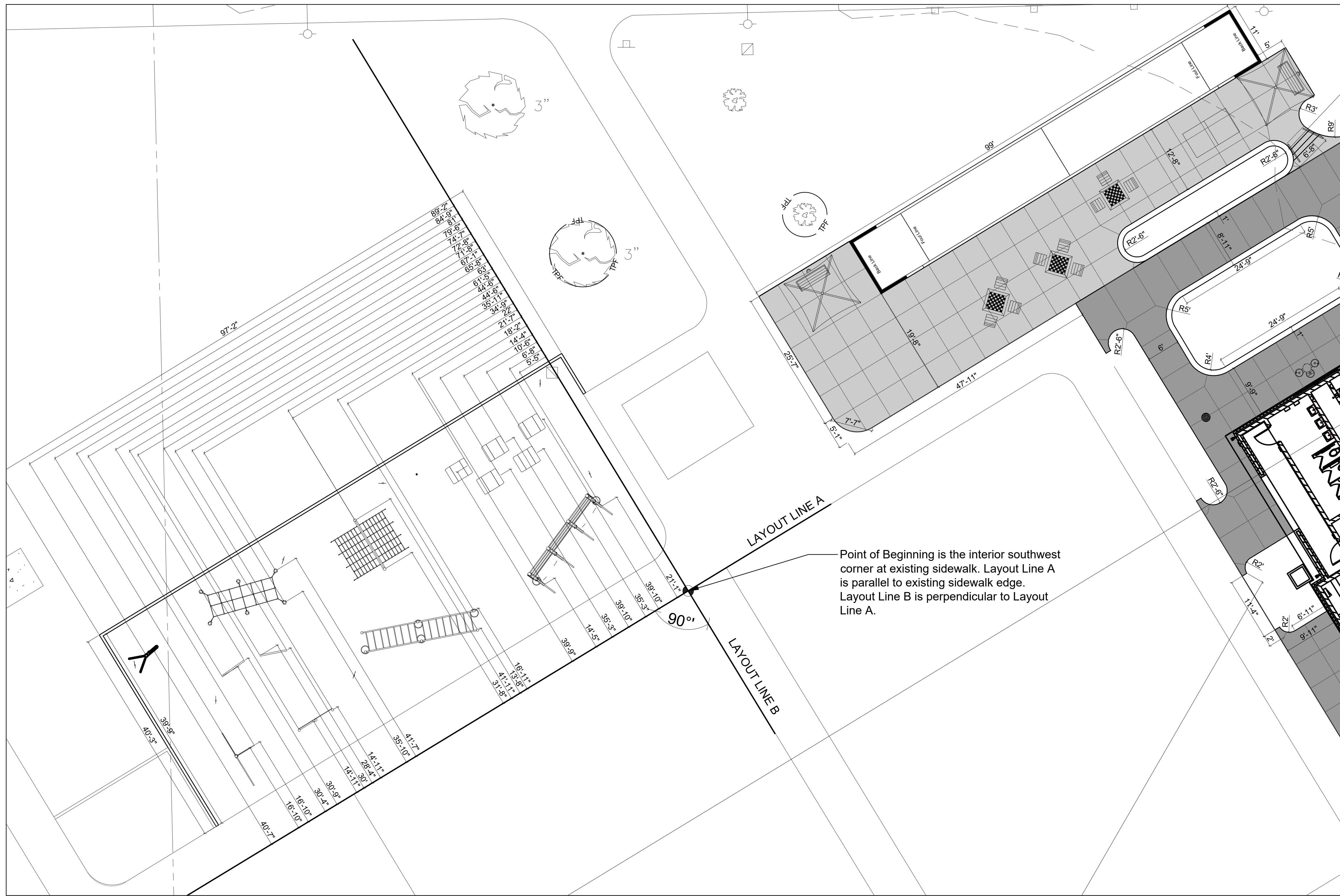
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**Layout Plan -  
Shelter /  
Amphitheater**

SHEET NUMBER

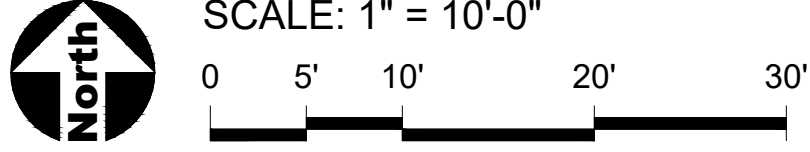
**3.2**







Point of Beginning is the interior southwest corner at existing sidewalk. Layout Line A is parallel to existing sidewalk edge. Layout Line B is perpendicular to Layout Line A.



**GENERAL NOTES: GRADING**

1. See Sheet 4.0 for Notes.



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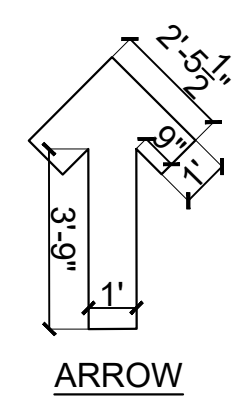
PROJECT NUMBER  
**1040**

SHEET TITLE  
**Dimension**  
**Plan -**  
**Challenge**  
**Course /**  
**Game Area**

SHEET NUMBER

**4.1**



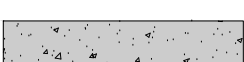
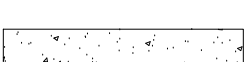
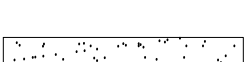
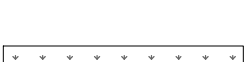
**START**  
**FINISH**



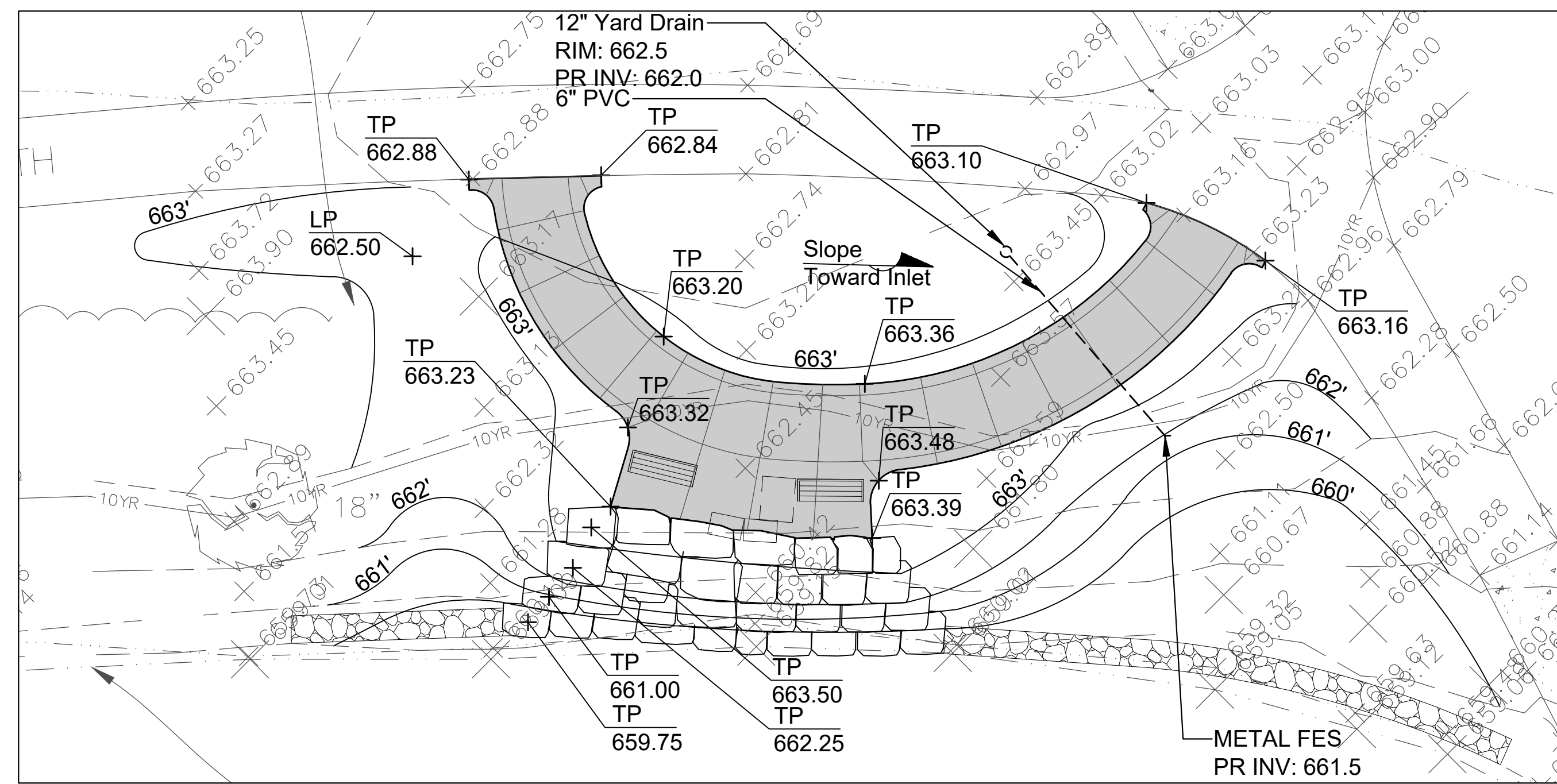
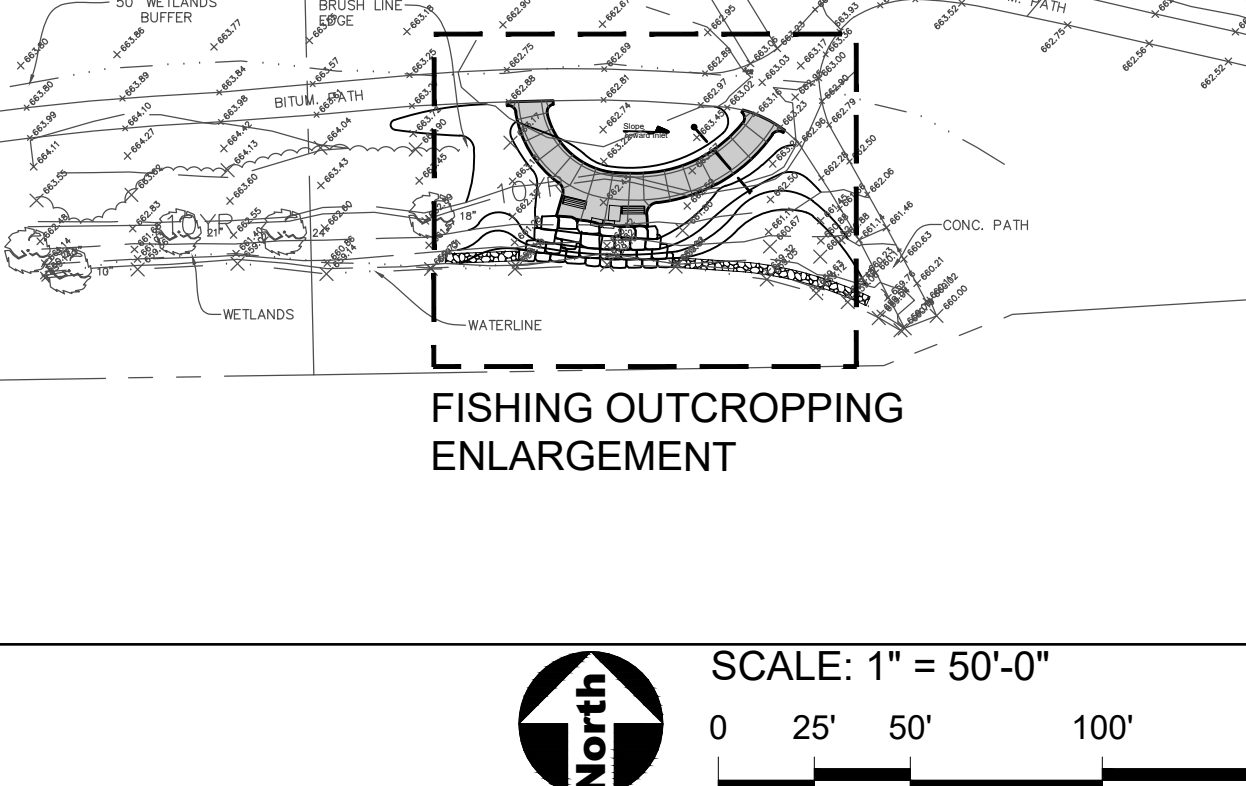
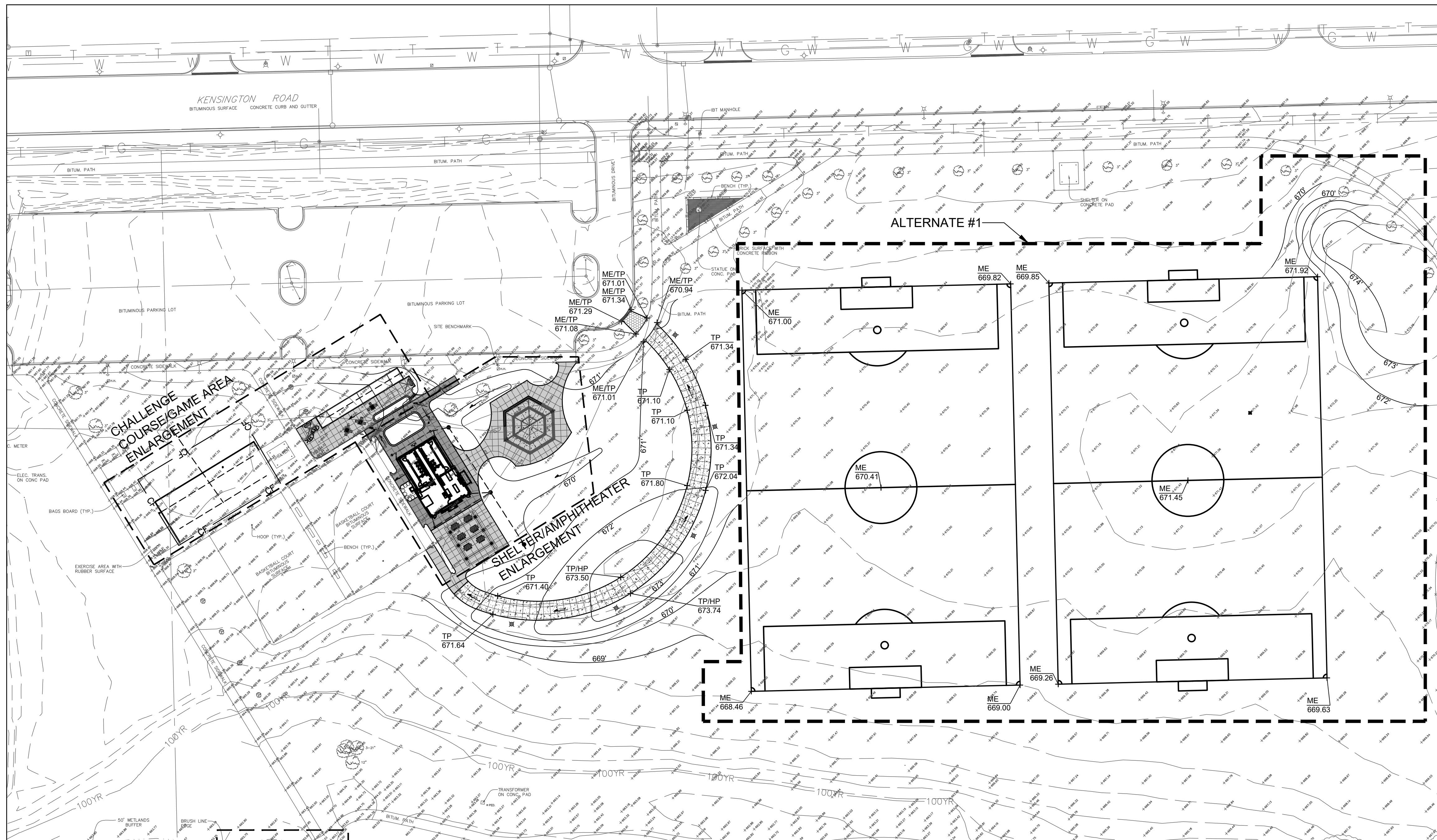
NOTES:  
DESIGN SIZES THROUGHOUT THE SITE

**1** **Poured-In-Place Dimensions**  
SCALE: 1/4"=1'-0" d-detail name\_48

**LEGEND**

-  Concrete Paving
-  Concrete Paving at Restroom by Others
-  Colored Paving - Colored
-  Heavy Duty Concrete Paving
-  Poured in Place Rubber Surfacing
-  Artificial Turf Surfacing
-  EJ Concrete Expansion Joints
-  CL Construction Limits / Construction Fence





**Fishing Outcropping Enlargement**

**GENERAL NOTES: GRADING**

1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.

**LEGEND**

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 665.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% — Drainage Flow Direction
- CL — Construction Limits / Construction Fence

**INDEX OF ACRONYMS AND ABBREVIATIONS**

- HP - High Point
- INV - Pipe Invert Elevation
- LP - Low Point
- ME - Match Existing Elevation
- RIM - Top of Rim Elevation
- TP - Top of Pavement
- TW - Top of Wall



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**Phase II**  
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**REVISIONS**

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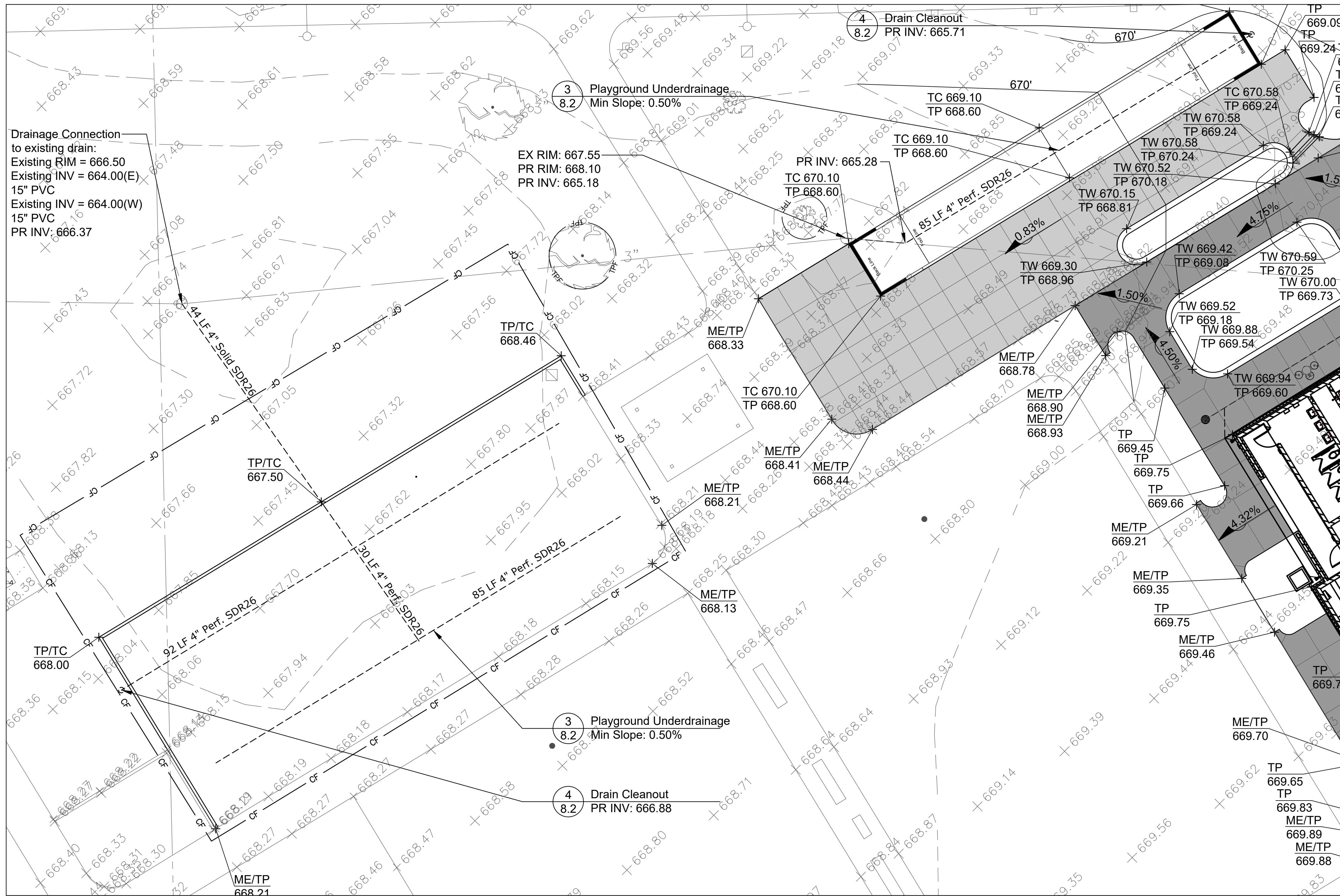
ORIGINAL ISSUE DATE  
**Issued for Bid** 06JAN2023

PROJECT NUMBER  
**1040**

**SHEET TITLE**  
**Grading &**  
**Drainage Plan**  
**- Overall**

SHEET NUMBER

**5.0**



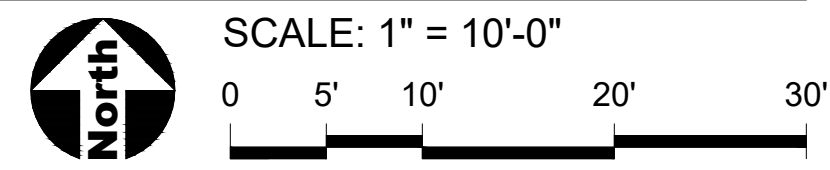
Drainage Connection  
to existing drain:  
Existing RIM = 666.50  
Existing INV = 664.00(E)  
15" PVC  
Existing INV = 664.00(W)  
15" PVC  
PR INV: 666.37

3 Playground Underdrainage  
8.2 Min Slope: 0.50%

4 Drain Cleanout  
8.2 PR INV: 665.71

3 Playground Underdrainage  
8.2 Min Slope: 0.50%

4 Drain Cleanout  
8.2 PR INV: 666.88



**GENERAL NOTES: GRADING**

1. See Sheet 5.0 for Notes.

**LEGEND**

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% Drainage Flow Direction
- CL — Construction Limits / Construction Fence

**INDEX OF ACRONYMS AND ABBREVIATIONS**

- HP - High Point
- INV - Pipe Invert Elevation
- LP - Low Point
- ME - Match Existing Elevation
- RIM - Top of Rim Elevation
- TC - Top of Curb
- TP - Top of Pavement
- TW - Top of Wall



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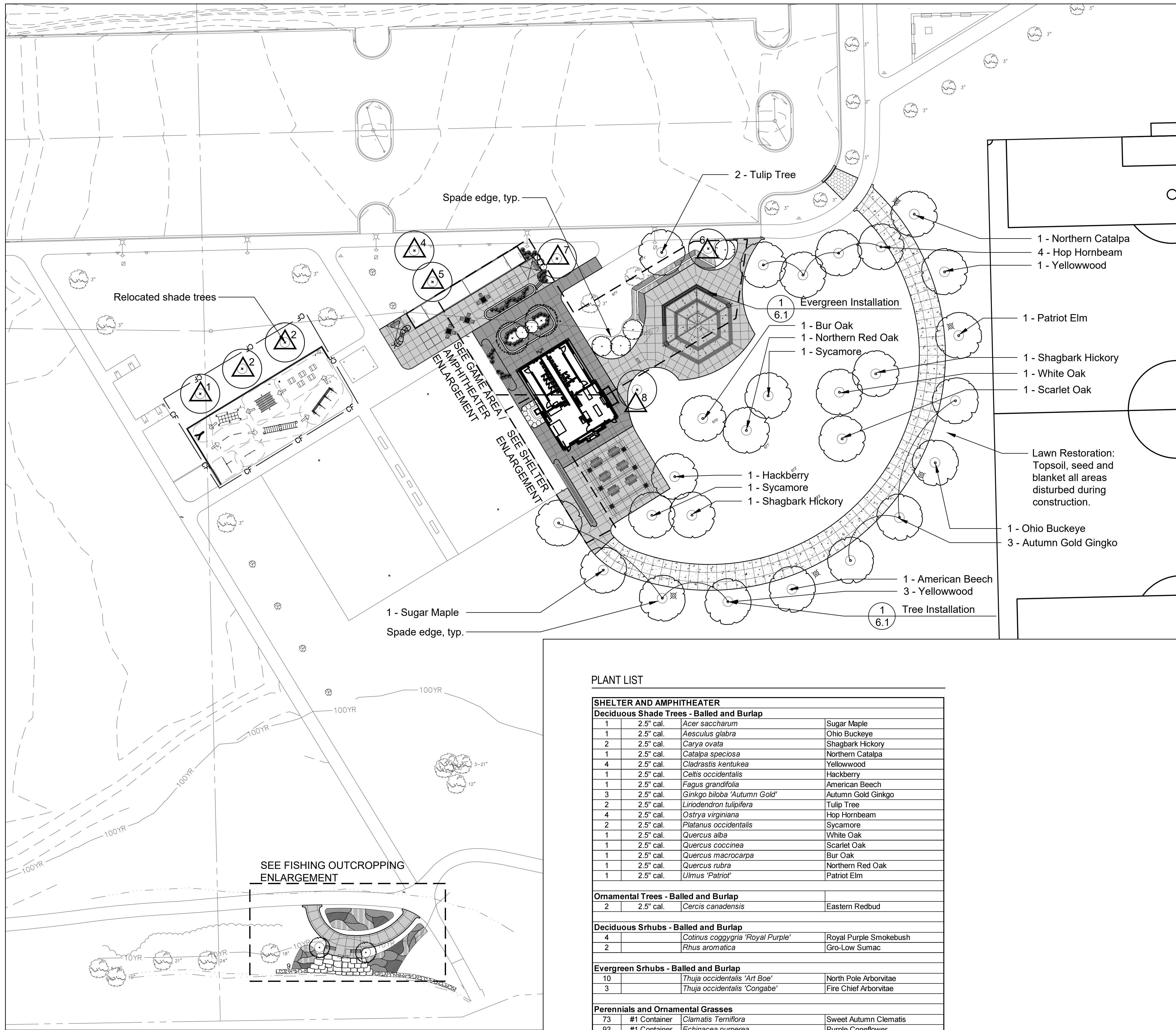
ORIGINAL ISSUE DATE  
**Issued for Bid** 06JAN2023

PROJECT NUMBER  
**1040**

SHEET TITLE  
**Grading &  
Drainage Plan  
- Challenge  
Course /  
Game Area**

SHEET NUMBER

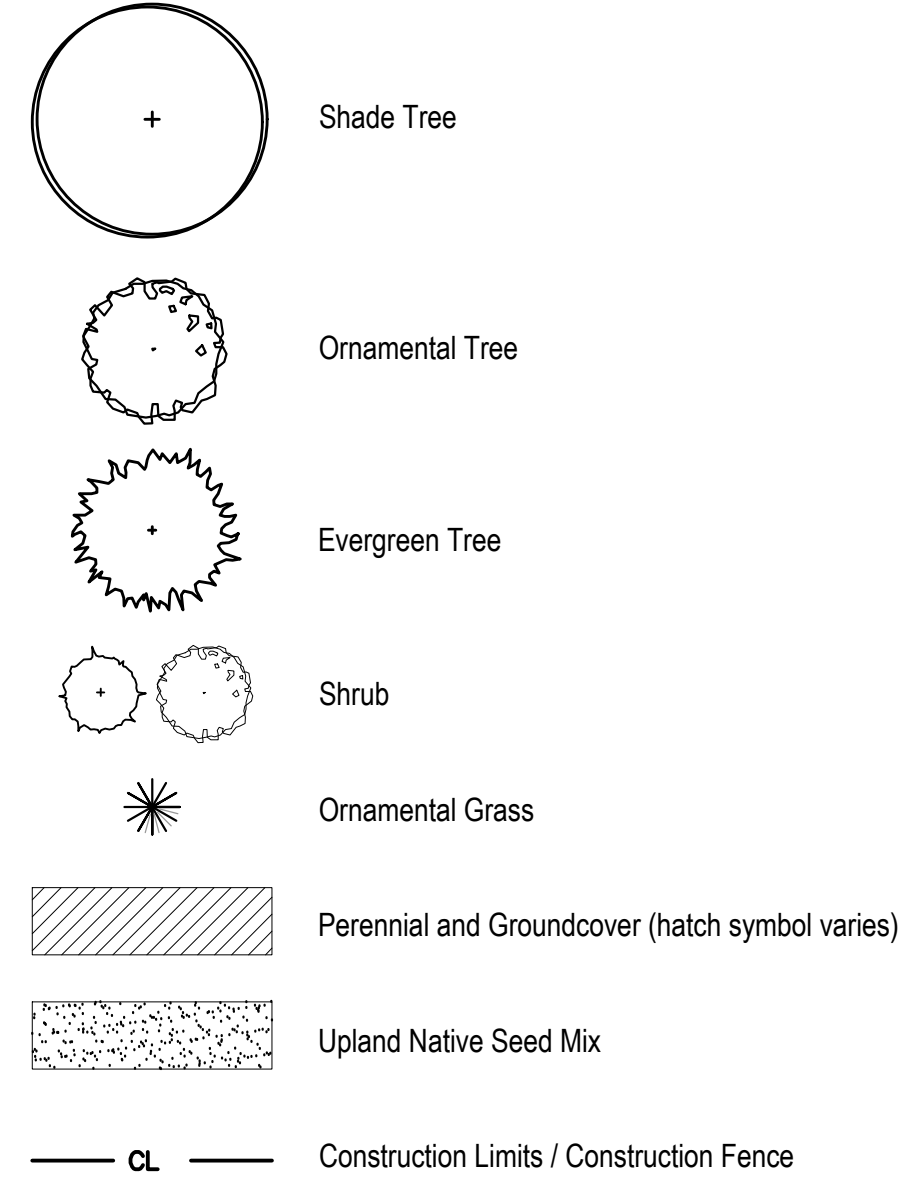




**GENERAL NOTES: LANDSCAPE**

- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the plans.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- All plant material shall be inspected and approved by the Owner's Representative prior to the installation of any and all plant material.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch.
- Beds and tree rings (6" diameter) shall have 3" of hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by roto-tilling 2" of Mushroom Compost into new beds. Do not add compost nor roto-till within drip line of existing trees.
- Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification.
- Turf mixes shall be installed and lawn established at all disturbed areas.
- Do not overseed into mulch beds and paving.
- Contractor shall restore all areas disturbed as a result of construction.

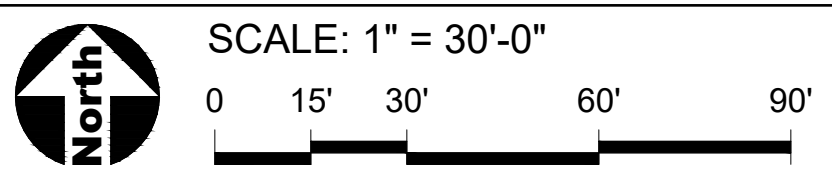
**LEGEND**



Note: See Sheet 6.2 for Landscape Details, and see specifications for the seed mix information.

**PLANT LIST**

SHELTER AND AMPHITHEATER			
<b>Deciduous Shade Trees - Balled and Burlap</b>			
1	2.5" cal.	Acer saccharum	Sugar Maple
1	2.5" cal.	Aesculus glabra	Ohio Buckeye
2	2.5" cal.	Carya ovata	Shagbark Hickory
1	2.5" cal.	Catalpa speciosa	Northern Catalpa
4	2.5" cal.	Cladrastis kentukea	Yellowwood
1	2.5" cal.	Celtis occidentalis	Hackberry
1	2.5" cal.	Fagus grandifolia	American Beech
3	2.5" cal.	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo
2	2.5" cal.	Liriodendron tulipifera	Tulip Tree
4	2.5" cal.	Ostrya virginiana	Hop Hornbeam
2	2.5" cal.	Platanus occidentalis	Sycamore
1	2.5" cal.	Quercus alba	White Oak
1	2.5" cal.	Quercus coccinea	Scarlet Oak
1	2.5" cal.	Quercus macrocarpa	Bur Oak
1	2.5" cal.	Quercus rubra	Northern Red Oak
1	2.5" cal.	Ulmus 'Patriot'	Patriot Elm
<b>Ornamental Trees - Balled and Burlap</b>			
2	2.5" cal.	Cercis canadensis	Eastern Redbud
<b>Deciduous Shrubs - Balled and Burlap</b>			
4		Cotinus coggygria 'Royal Purple'	Royal Purple Smokebush
2		Rhus aromatica	Gro-Low Sumac
<b>Evergreen Shrubs - Balled and Burlap</b>			
10		Thuja occidentalis 'Art Boe'	North Pole Arborvitae
3		Thuja occidentalis 'Congabe'	Fire Chief Arborvitae
<b>Perennials and Ornamental Grasses</b>			
73	#1 Container	Clamatis Terniflora	Sweet Autumn Clematis
92	#1 Container	Echinacea purpurea	Purple Coneflower
54	#1 Container	Monarda didyma 'Raspberry Wine'	Raspberry Wine Beebalm
74	#1 Container	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint
16	#1 Container	Rudbeckia fulgida 'Vietta's Little Suzy'	Little Suzy Black-eyed Susan
20	#1 Container	Solidago rugosa 'Fireworks'	Fireworks Goldenrod
44	#1 Container	Sporobolus heterolepis	Prairie Dropseed
369	3" Cell	Thymus praecox 'Coccineus'	Creeping Thyme



1450 Forest Gate Rd,  
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**PROJECT**  
**Central Park**  
**Phase II**  
**Development**

1315 Kennington Rd,  
Oak Brook, Illinois 60523

**PROJECT TEAM**



CIVIL ENGINEER & SURVEYOR  
Engineering Resource Associates  
3s701 West Avenue, Suite 150  
Warrenville, Illinois 60555  
IL License 184-001186

**REVISIONS**

MB/EM	ISSUE FOR BID	06JAN2022

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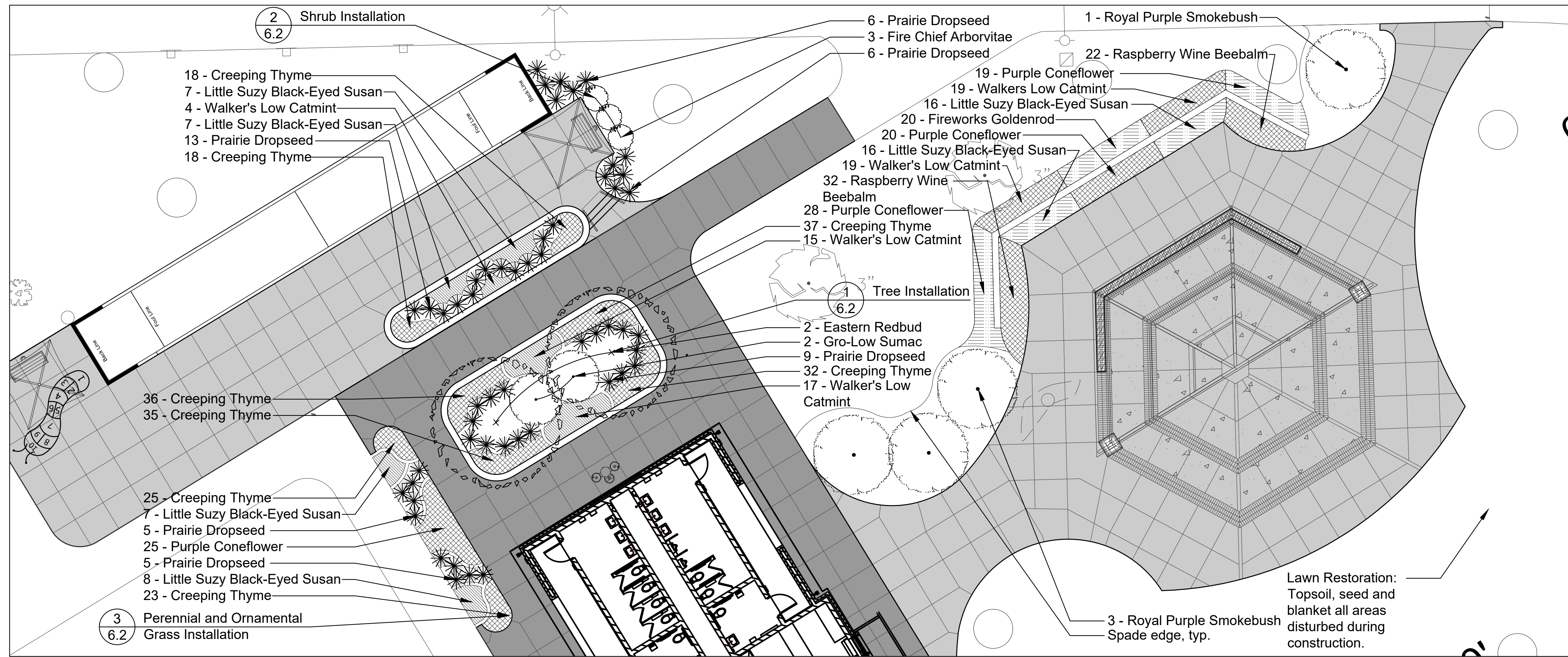
**1040**

**SHEET TITLE**

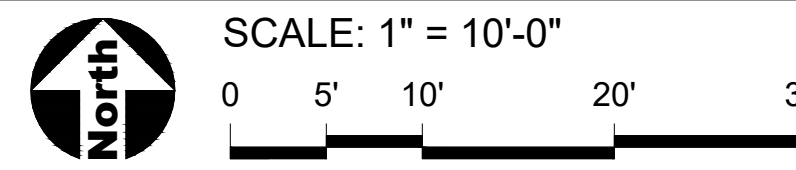
**Landscape & Restoration**  
**Plan - Overall**

**SHEET NUMBER**

**6.0**



**Game Area / Amphitheater Enlargement**



**GENERAL NOTES: LANDSCAPE**

1. See Sheet 6.0 for Notes.



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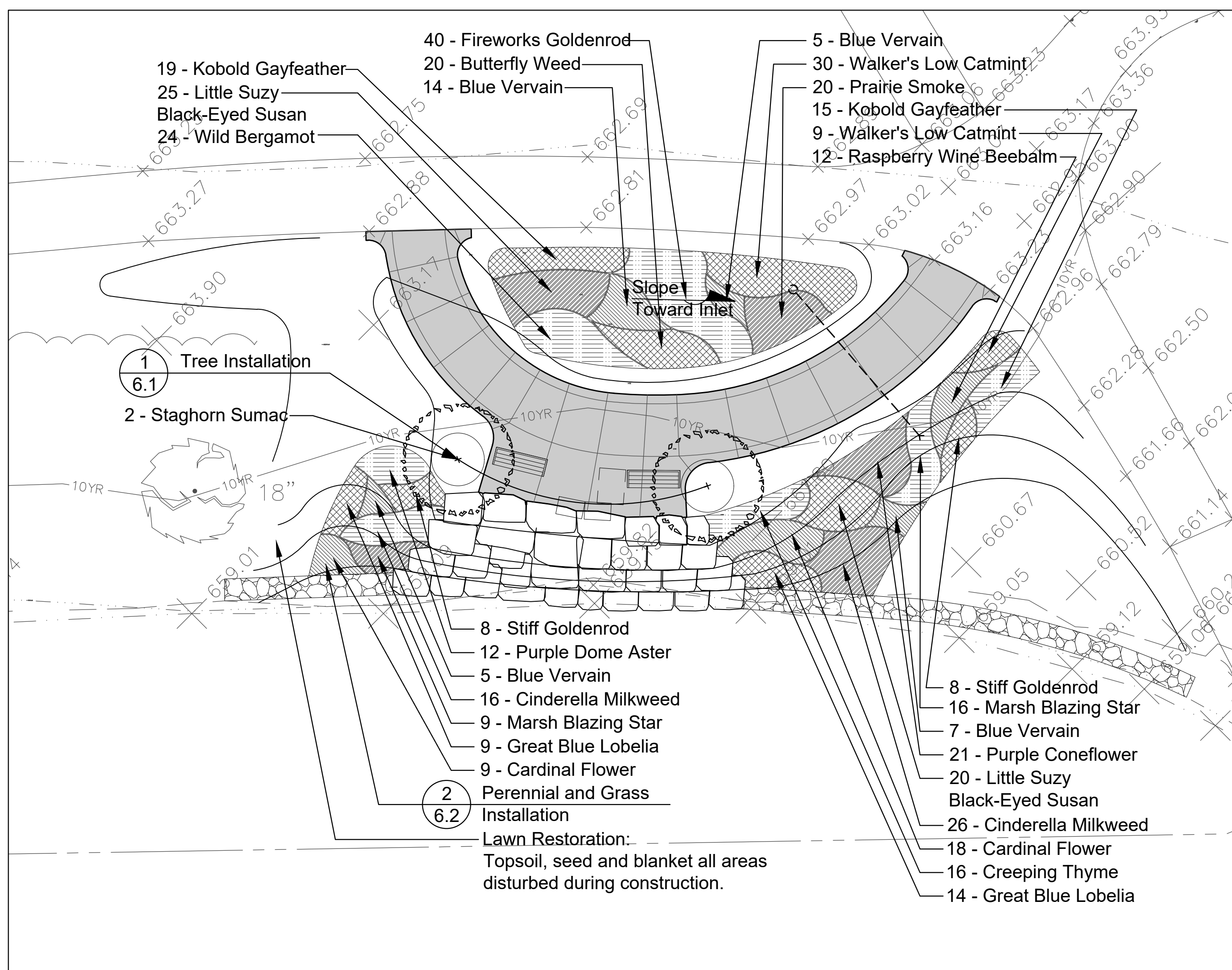
**PROJECT**  
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**Phase II**  
**Development**

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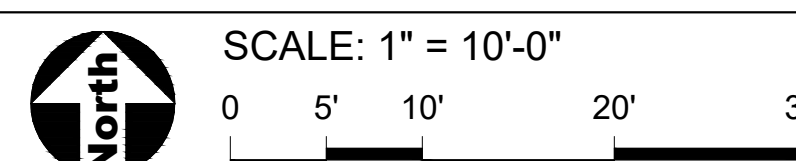
**PROJECT TEAM**

**uplandDesign Ltd**  
Landscape Architecture & Park Planning  
Chicago, Illinois 312-350-4088  
Plainfield, Illinois 815-254-0091  
uplandDesign.com

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**Fishing Outcropping Enlargement**



**LEGEND**

- Shade Tree
- Ornamental Tree
- Evergreen Tree
- Shrub
- Ornamental Grass
- Perennial and Groundcover (hatch symbol varies)
- Upland Native Seed Mix
- CL Construction Limits / Construction Fence

Note: See Sheet 6.2 for Landscape Details, and see specifications for the seed mix information.

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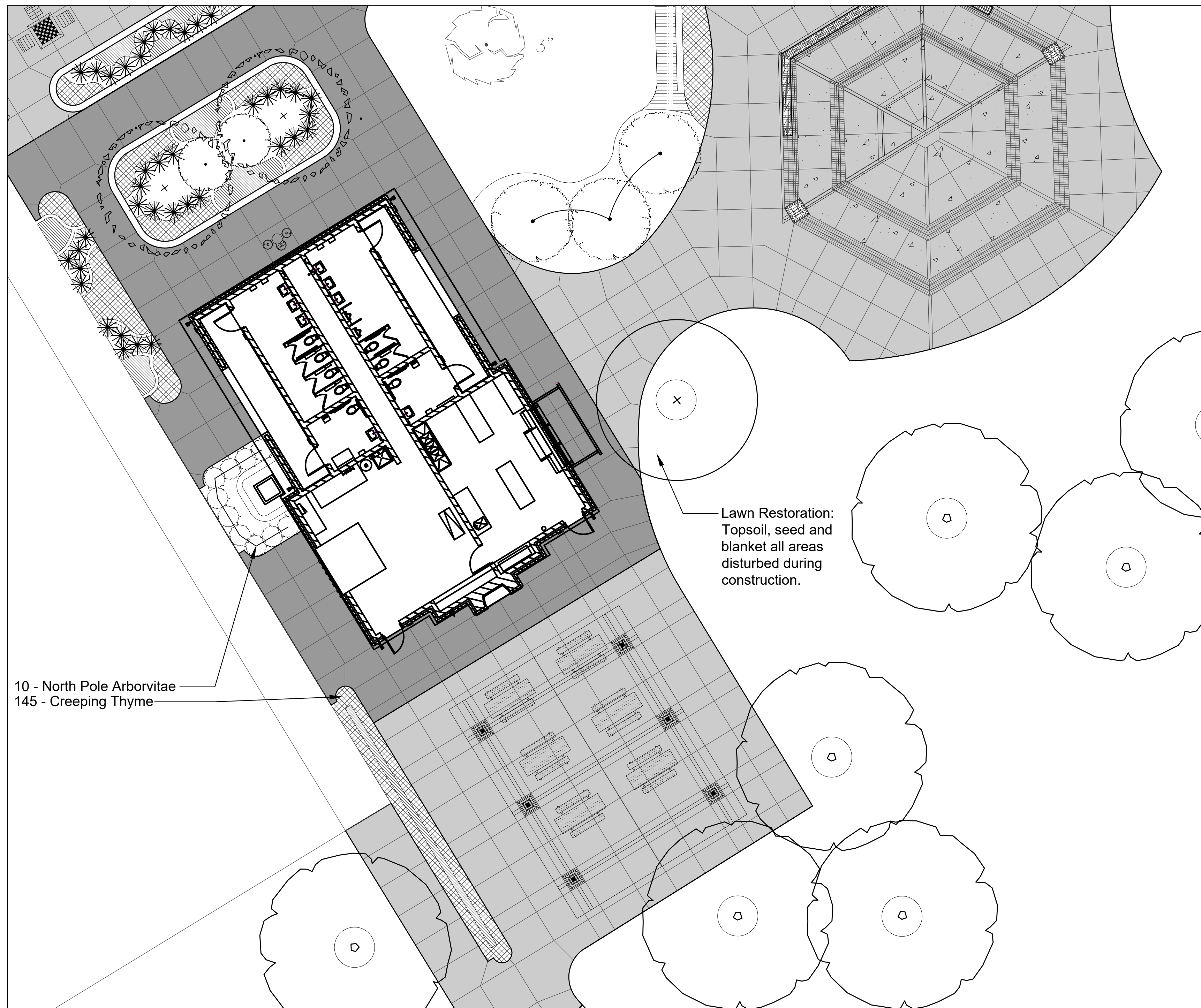
**SHEET TITLE**  
**Landscape & Restoration**  
**Plan - Game Area / Amphitheater / Fishing Outcropping**

SHEET NUMBER

**PLANT LIST**

POLLINATOR GARDEN AT FISHING OUTCROPPING			
<b>Ornamental Trees - Balled and Burlap</b>			
2	2.5" cal.	<i>Rhus typhina</i>	Staghorn Sumac
<b>Perennials and Ornamental Grasses</b>			
32	2.5" cal.	<i>Asclepias incarnata</i> 'Cinderella'	Cinderella Milkweed
20	2.5" cal.	<i>Asclepias tuberosa</i>	Butterfly Weed
21	2.5" cal.	<i>Echinacea purpurea</i>	Purple Coneflower
20	2.5" cal.	<i>Geum triflorum</i>	Prairie Smoke
25	2.5" cal.	<i>Liatis spicata</i>	Marsh Blazing Star
34	2.5" cal.	<i>Liatis spicata</i> 'Kobold'	Kobold Gayfeather
27	2.5" cal.	<i>Lobelia cardinalis</i> 'Balck Truffle'	Cradinal Flower
23	2.5" cal.	<i>Lobelia siphilitica</i>	Great Blue Lobelia
12	2.5" cal.	<i>Monarda didyma</i> 'Raspberry Wine'	Raspberry Wine Beebalm
24	2.5" cal.	<i>Monarda fistulosa</i>	Wild Bergamot
39	2.5" cal.	<i>Nepeta racemosa</i> 'Walker's Low'	Walker's Low Catmint
8	2.5" cal.	<i>Oligoneuron rigidum</i>	Stiff Goldenrod
45	2.5" cal.	<i>Rudbeckia fulgida</i> 'Viette's Little Suzy'	Little Suzy Black-eyed Susan
40	2.5" cal.	<i>Solidage rugosa</i> 'Fireworks'	Fireworks Goldenrod
12	2.5" cal.	<i>Symphotrichum novae-angliae</i> 'Purple Do'	Purple Dome Aster
31	2.5" cal.	<i>Verbena hastata</i>	Blue Vervain
<b>Groundcovers</b>			
16	2.5" cal.	<i>Thymus praecox</i> 'Coccineus'	Creeping Thyme

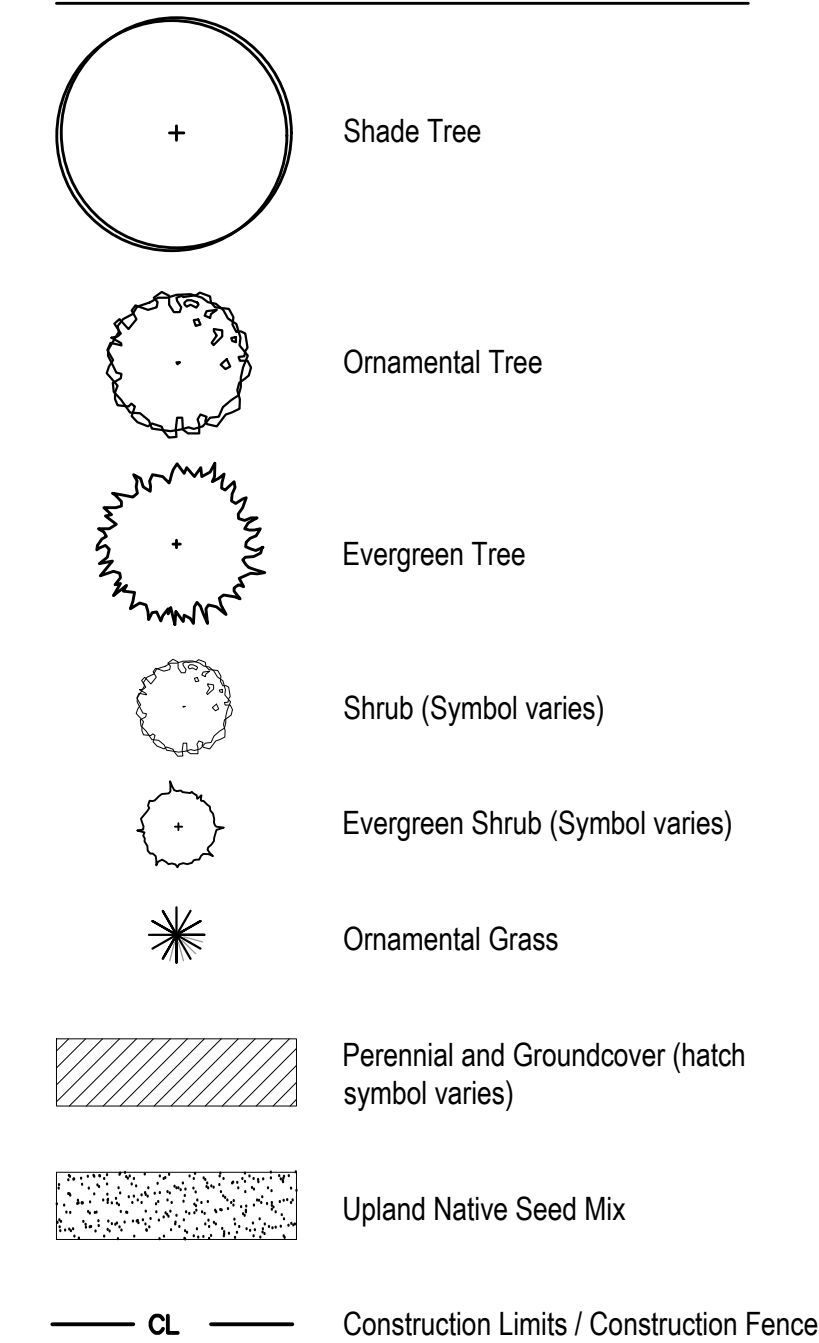
1. See Sheet 6.0 for Notes.



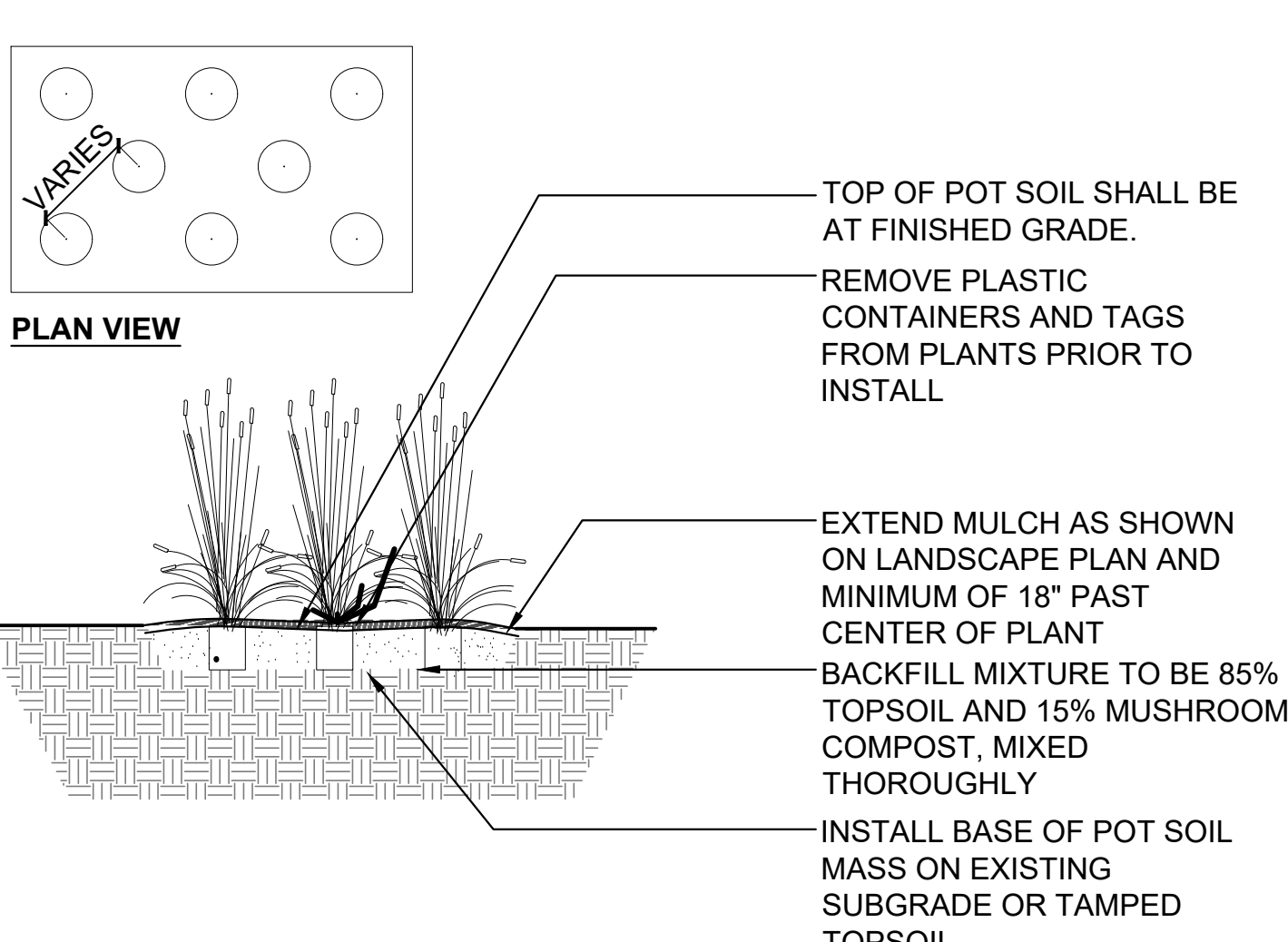
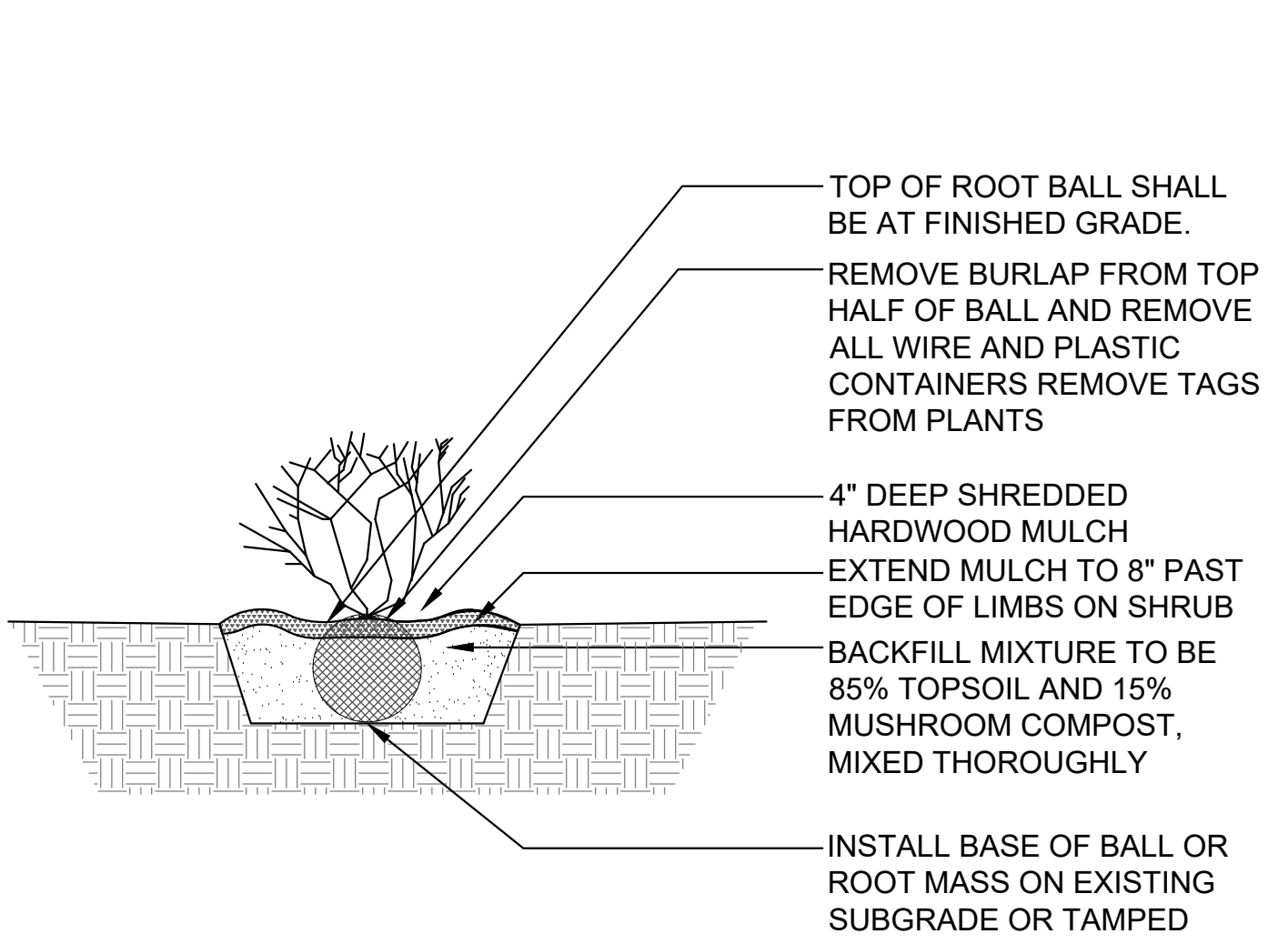
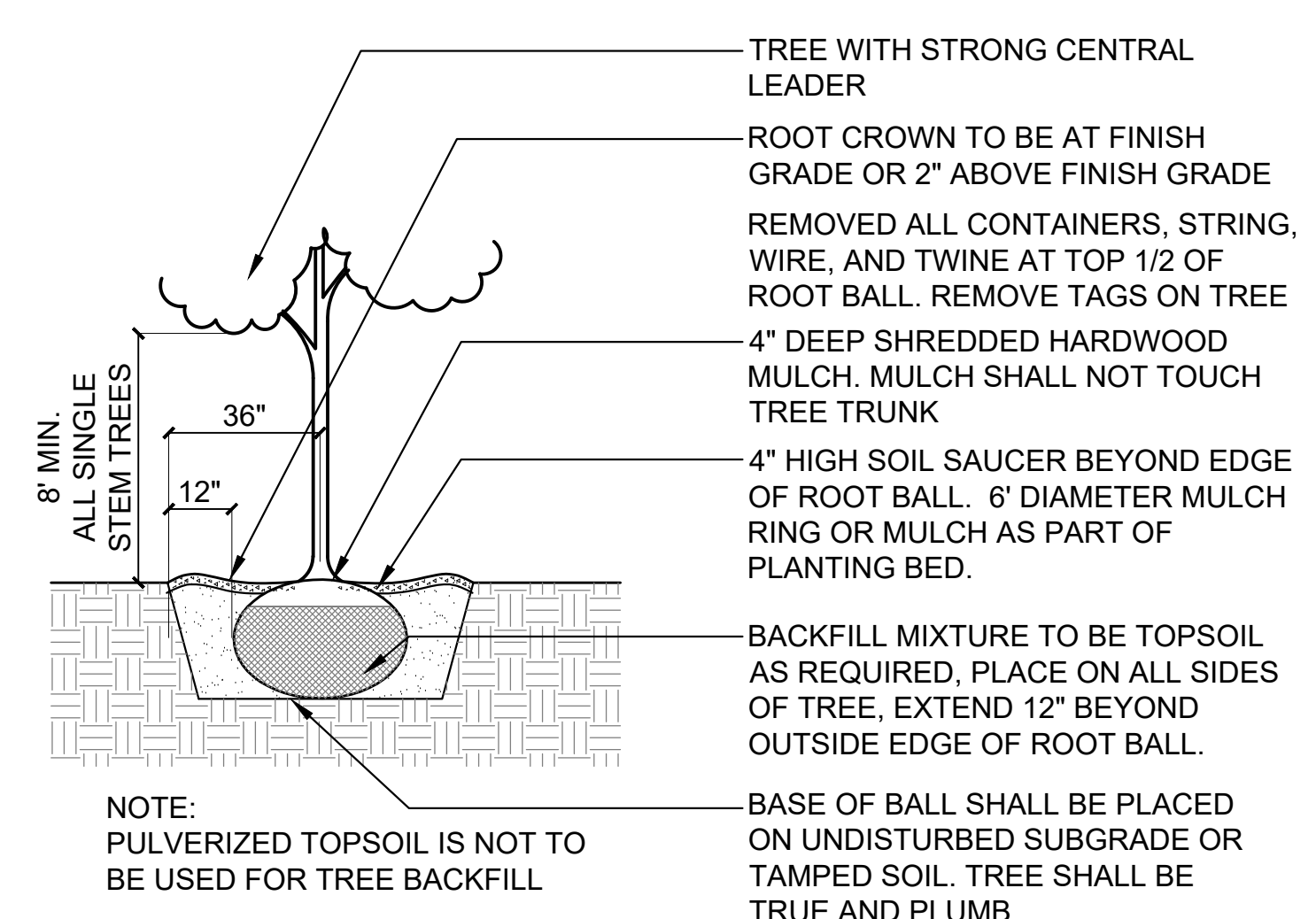
PLANT LIST

SHELTER AND AMPHITHEATER			
Deciduous Shade Trees - Balled and Burlap			
1	2.5" cal.	<i>Acer saccharum</i>	Sugar Maple
1	2.5" cal.	<i>Aesculus glabra</i>	Ohio Buckeye
2	2.5" cal.	<i>Carya ovata</i>	Shagbark Hickory
1	2.5" cal.	<i>Catalpa speciosa</i>	Northern Catalpa
4	2.5" cal.	<i>Cladrastis kentukea</i>	Yellowwood
1	2.5" cal.	<i>Celtis occidentalis</i>	Hackberry
1	2.5" cal.	<i>Fagus grandifolia</i>	American Beech
3	2.5" cal.	<i>Ginkgo biloba 'Autumn Gold'</i>	Autumn Gold Ginkgo
2	2.5" cal.	<i>Liriodendron tulipifera</i>	Tulip Tree
4	2.5" cal.	<i>Ostrya virginiana</i>	Hop Hornbeam
2	2.5" cal.	<i>Platanus occidentalis</i>	Sycamore
1	2.5" cal.	<i>Quercus alba</i>	White Oak
1	2.5" cal.	<i>Quercus coccinea</i>	Scarlet Oak
1	2.5" cal.	<i>Quercus macrocarpa</i>	Bur Oak
1	2.5" cal.	<i>Quercus rubra</i>	Northern Red Oak
1	2.5" cal.	<i>Ulmus 'Patriot'</i>	Patriot Elm
Ornamental Trees - Balled and Burlap			
2	2.5" cal.	<i>Cercis canadensis</i>	Eastern Redbud
Deciduous Shrubs - Balled and Burlap			
4		<i>Cotinus coggygia 'Royal Purple'</i>	Royal Purple Smokebush
2		<i>Rhus aromatica</i>	Gro-Low Sumac
Evergreen Shrubs - Balled and Burlap			
10		<i>Thuja occidentalis 'Art Boe'</i>	North Pole Arborvitae
3		<i>Thuja occidentalis 'Congabe'</i>	Fire Chief Arborvitae
Perennials and Ornamental Grasses			
73	#1 Container	<i>Clamatis Terniflora</i>	Sweet Autumn Clematis
92	#1 Container	<i>Echinacea purpurea</i>	Purple Coneflower
54	#1 Container	<i>Monarda didyma 'Raspberry Wine'</i>	Raspberry Wine Beebalm
74	#1 Container	<i>Nepeta racemosa 'Walker's Low'</i>	Walker's Low Catmint
16	#1 Container	<i>Rudbeckia fulgida 'Viette's Little Suzy'</i>	Little Suzy Black-eyed Susan
20	#1 Container	<i>Solidago rugosa 'Fireworks'</i>	Fireworks Goldenrod

LEGEND



Shelter Enlargement



1 Tree Installation SCALE: N.T.S. d-plant-tree\_12

2 Shrub Installation SCALE: N.T.S. d-plant-shrub\_12

3 Perennial & Ornamental Grass Installation SCALE: 1" = 1'-0" d-perennials



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PROJECT TEAM



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SHEET TITLE  
**Landscape &  
Restoration  
Plan - Shelter**

SHEET NUMBER





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PROJECT  
**Central Park  
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IRRIGATION  
FRS Design Group LLC  
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Spring Green, Wisconsin 53588

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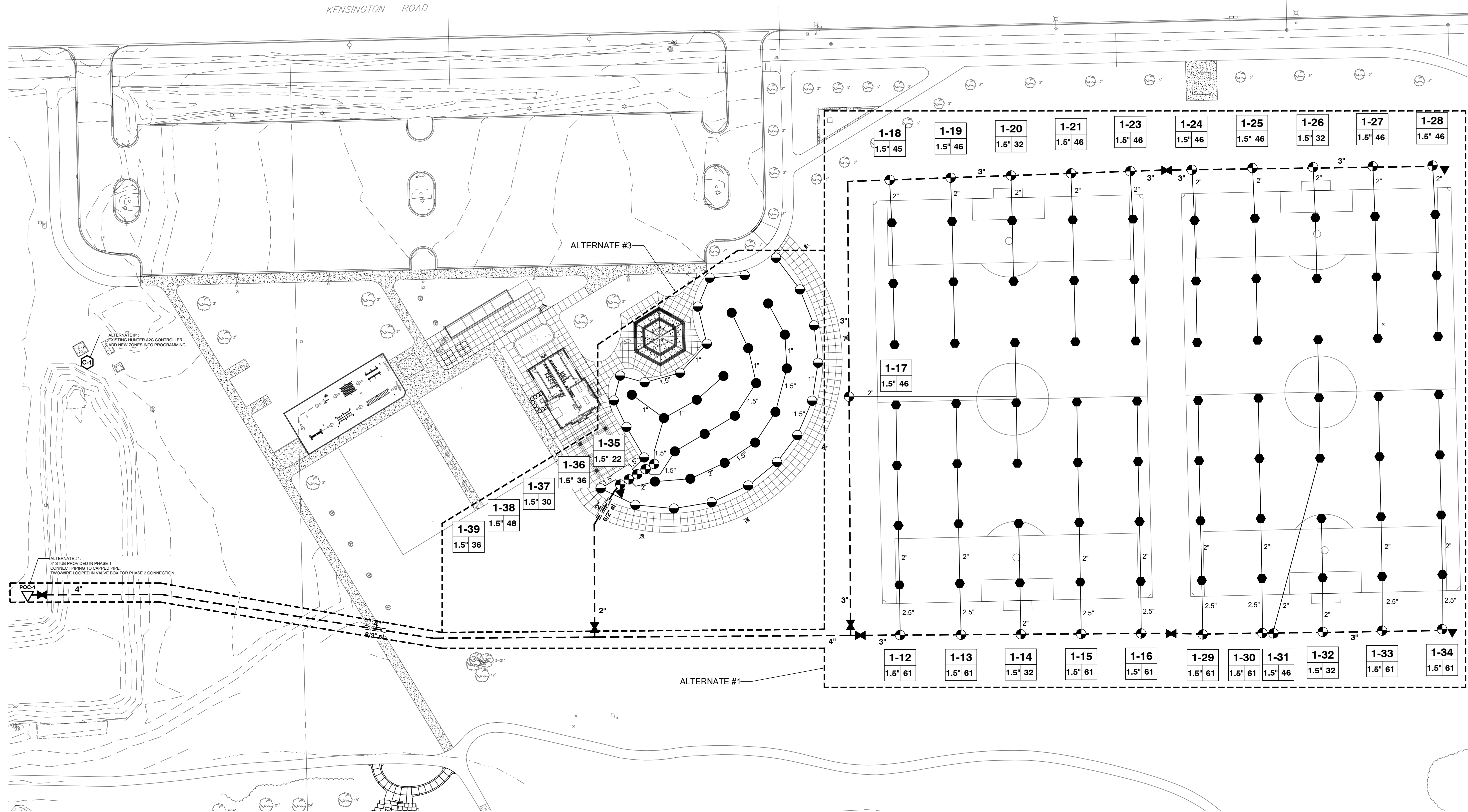
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SHEET TITLE

**OVERALL  
IRRIGATION  
PLAN**

SHEET NUMBER

**7.0**

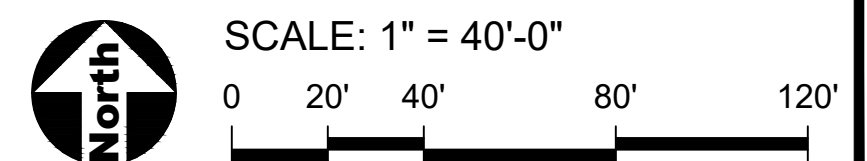


- LEGEND**
- HUNTER I-20-06-SS-PRB -- 6" STAINLESS-STEEL ROTOR  
Part Circle - #3 Nozzle, 3 GPM at 45-psi
  - HUNTER I-20-06-SS-PRB -- 6" STAINLESS-STEEL ROTOR  
Full Circle - #6 Nozzle, 6 GPM at 45-psi
  - HUNTER I-40-06-SS-ON 6" STAINLESS-STEEL ROTOR, OPPOSING NOZZLES  
Full Circle - #18 Nozzle, 15.2 GPM at 60-psi
  - HUNTER PGV SERIES ELECTRIC VALVE - Size per Plan  
All valve to utilize Hunter Accu-Sync Pressure Regulation
  - HUNTER HQ44-LRC QUICK COUPLER VALVE with PURPLE CAP  
Provide Owner with Valve Keys and Hose Swivels --  
(2) HK44 Keys; (2) HS1 Hose Swivel.
  - ISOLATION GATE VALVE - Leemco LGV Series -- Size to Pipe
  - CL 200 PVC Mainline Pipe - Size per Plan
  - CL 200 PVC Lateral Pipe - Size per Plan
  - SLEEVE - Size per Plan

- 2" PIPE SIZE**
- EXISTING - HUNTER A2C-75D-SS STAINLESS-STEEL WALL MOUNT CONTROLLER  
Location as indicated on drawings.  
Use ICD-100 decoders only.
  - EXISTING - 3" POINT OF CONNECTION  
Located as indicated on drawings.  
Tie-in to Phase 1 mainline stub.
- 4" / 2"sl Sleeve / Bore**
- Wire Sleeve Size
  - Pipe Sleeve Size
- Controller Number Station Number**
- Valve Type Zone GPM Valve Size**

**GENERAL IRRIGATION NOTES**

1. CONTACT ALL UTILITIES AND GENERAL CONTRACTOR AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
2. MAINTAIN ALL CODES REQUIRED BY LOCAL AUTHORITIES.
3. COORDINATE ELECTRICAL HOOKUP WITH GENERAL CONTRACTOR, ELECTRICIAN AND OWNER.
4. COORDINATE ALL SLEEVES AND PENETRATIONS WITH GENERAL CONTRACTOR IRRIGATION CONTRACTOR IS RESPONSIBLE FOR BORES, SLEEVES OR PENETRATIONS RELATED TO THE IRRIGATION.
5. IRRIGATION HEADS AND LINES ARE SCHEMATIC - FIELD ADJUSTMENTS MAY BE REQUIRED.
6. CAP OR PLUG ALL OPENINGS AS SOON AS LINES ARE INSTALLED TO PREVENT DEBRIS IN THE LINE.
7. INSTALL ALL PIPING AND FITTINGS USING GLUE METHODS CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS.
8. MAINLINE PIPING SHALL BE INSTALLED AT MINIMUM OF 18" TO THE TOP OF PIPE. LATERAL LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 18" TO THE TOP OF PIPE.
9. THOROUGHLY FLUSH ALL LINES PRIOR TO THE OPERATION OF SPRINKLER HEADS.
10. INSTALL WIRES A MIN. OF 8" BELOW GRADE.
  - SPLICES ARE NOT ALLOWED IN THE TRENCH.
  - PROVIDE A 24" EXPANSION LOOP AT EACH CHANGE IN DIRECTION.
  - 5 FEET OF EXCESS DECODER WIRE IS TO BE AT EACH DECODER LOCATION FOR EASE OF ACCESS.
11. THE IRRIGATION SYSTEM SHALL BE TESTED AT OPERATING PRESSURE FOR A MINIMUM OF 4 HOURS. REPAIR ALL LEAKS AND RETEST AFTER CURING.
12. UPON COMPLETION OF TEST, COMPLETE ASSEMBLY OF ALL EQUIPMENT AND SPRINKLERS FOR PROPER DISTRIBUTION.
13. PROVIDE 'AS BUILT' DRAWINGS SHOWING ALL COMPONENTS OF THE SYSTEM PRIOR TO FINAL PAYMENT. PROVIDE FINAL GPM OF ZONES, WIRE RUNS, HEADS, VALVES, PIPE SIZES ETC...
14. SLEEVE UNDER ROAD, WALLS, PAVERS, AND DRIVES
  - SLEEVE WIRE AND PIPING SEPARATELY, SEE PLAN FOR SIZING
  - ALL WIRING TO BE SLEEVED IN A MINIMUM 2" SLEEVE
  - ALL SLEEVEING TO BE SDR-21 PVC CLASS 200
15. ALL BIDDERS SHALL VISIT AND REVIEW THE SITE AND FAMILIAR THEMSELVES WITH THE SITE THE SITE PRIOR TO SUBMITTING A BID.
16. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING AND ACQUIRING ALL PERMITS.
17. PRESSURE READINGS WERE PROVIDED BY OTHERS. IF THE STATIC PSI IS NOT 72psi BEFORE THE RPZ, NOTIFY OWNER'S REPRESENTATIVE.





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PROJECT TEAM



Landscape Architecture & Park Planning  
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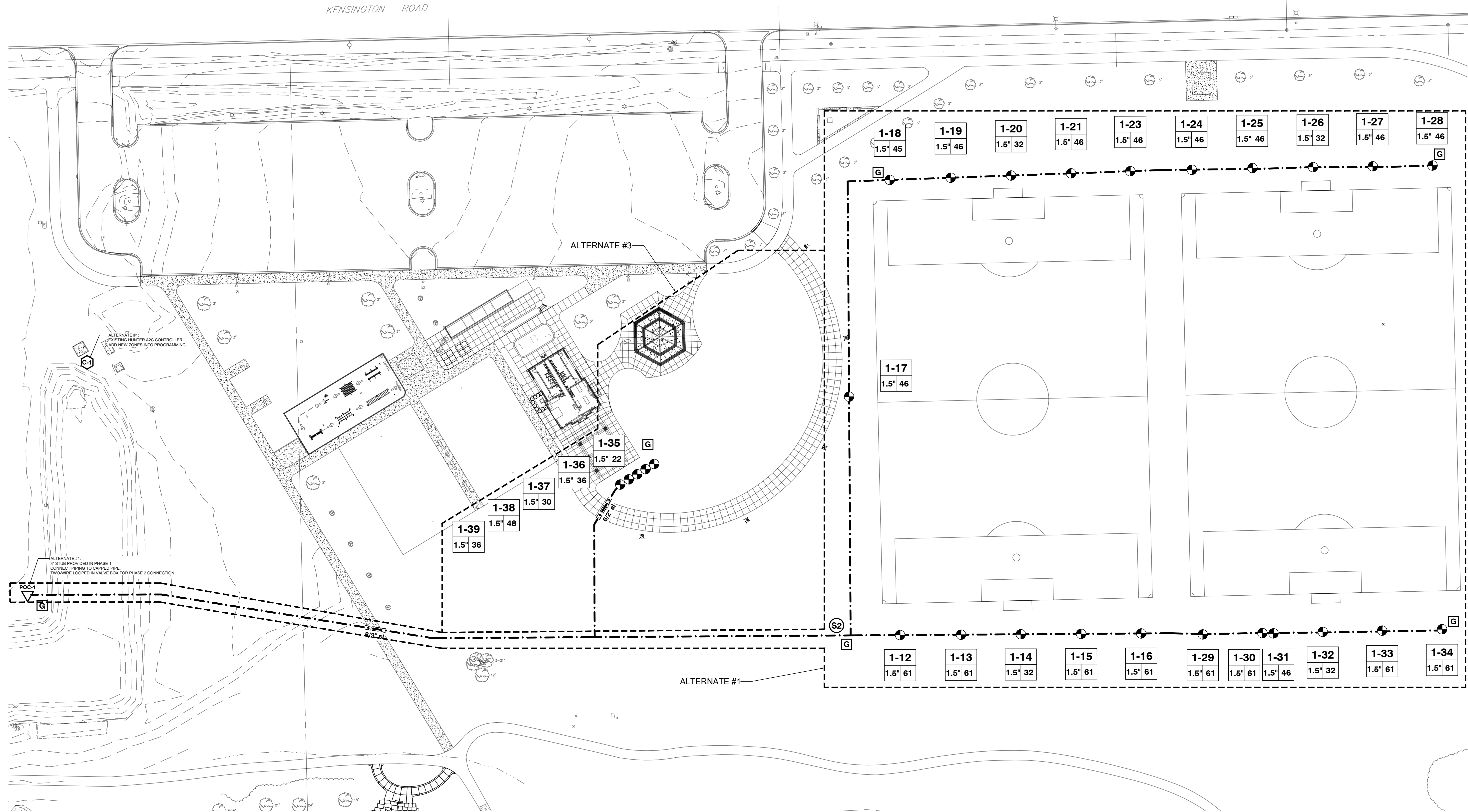
**1040**

SHEET TITLE

**OVERALL  
TWO-WIRE  
SCHEMATIC**

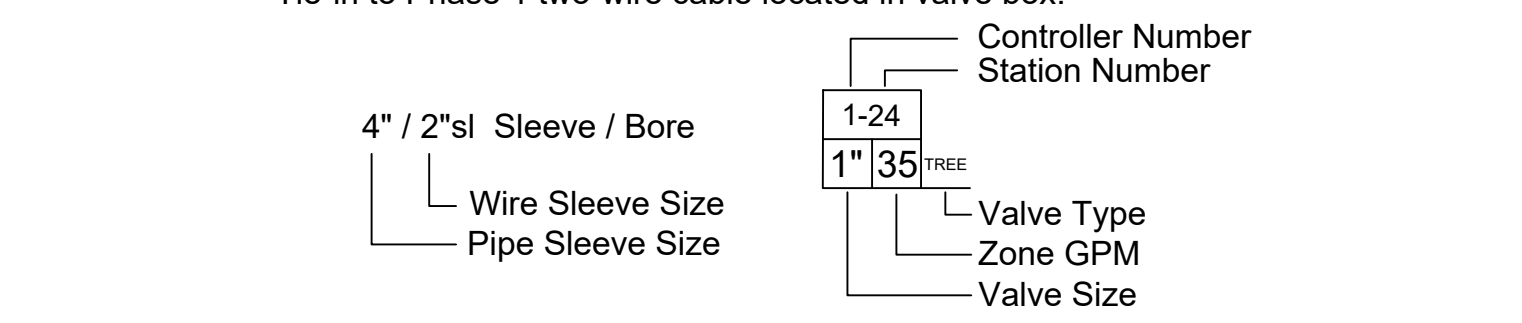
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**7.1**



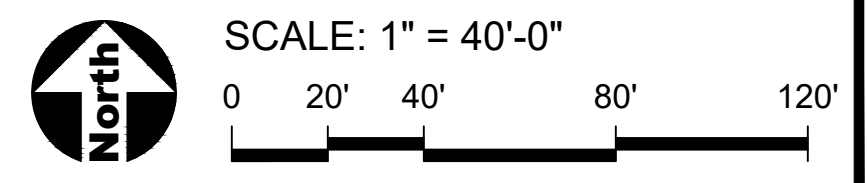
**LEGEND -- IRRIGATION ELECTRIC**

- TWO-WIRE ROUTE -- Red Jacket
- G** GROUNDING LOCATION  
Connect to ground lead on ICD-100 decoder at each grounding location.  
Use Paige Wire #P7408D Re-Enterable Connectors only.  
Wire nuts, Cadwelds, or lugs are not permitted on grounding connections.  
Install per manufacture's recommendations and local codes.
- S2** PAIGE DECODER CABLE FUSE DEVICE (DCFD) - TWO WAY
- C-1** EXISTING - HUNTER A2C-75D-SS STAINLESS-STEEL WALL MOUNT CONTROLLER  
Location as indicated on drawings.  
Use ICD-100 decoders only.
- POC-1** EXISTING - 3" POINT OF CONNECTION  
Located as indicated on drawings.  
Tie-in to Phase 1 two-wire cable located in valve box.



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12. UPON COMPLETION OF TEST, COMPLETE ASSEMBLY OF ALL EQUIPMENT AND SPRINKLERS FOR PROPER DISTRIBUTION.
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14. SLEEVE UNDER ROAD, WALLS, PAVERS, AND DRIVES  
- SLEEVE WIRE AND PIPING SEPARATELY, SEE PLAN FOR SIZING  
- ALL WIRING TO BE SLEEVED IN A MINIMUM 2" SLEEVE  
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15. ALL BIDDERS SHALL VISIT AND REVIEW THE SITE AND FAMILIAR THEMSELVES WITH THE SITE THE SITE PRIOR TO SUBMITTING A BID.
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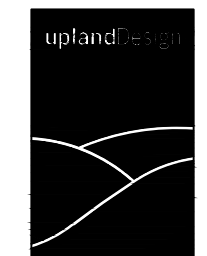




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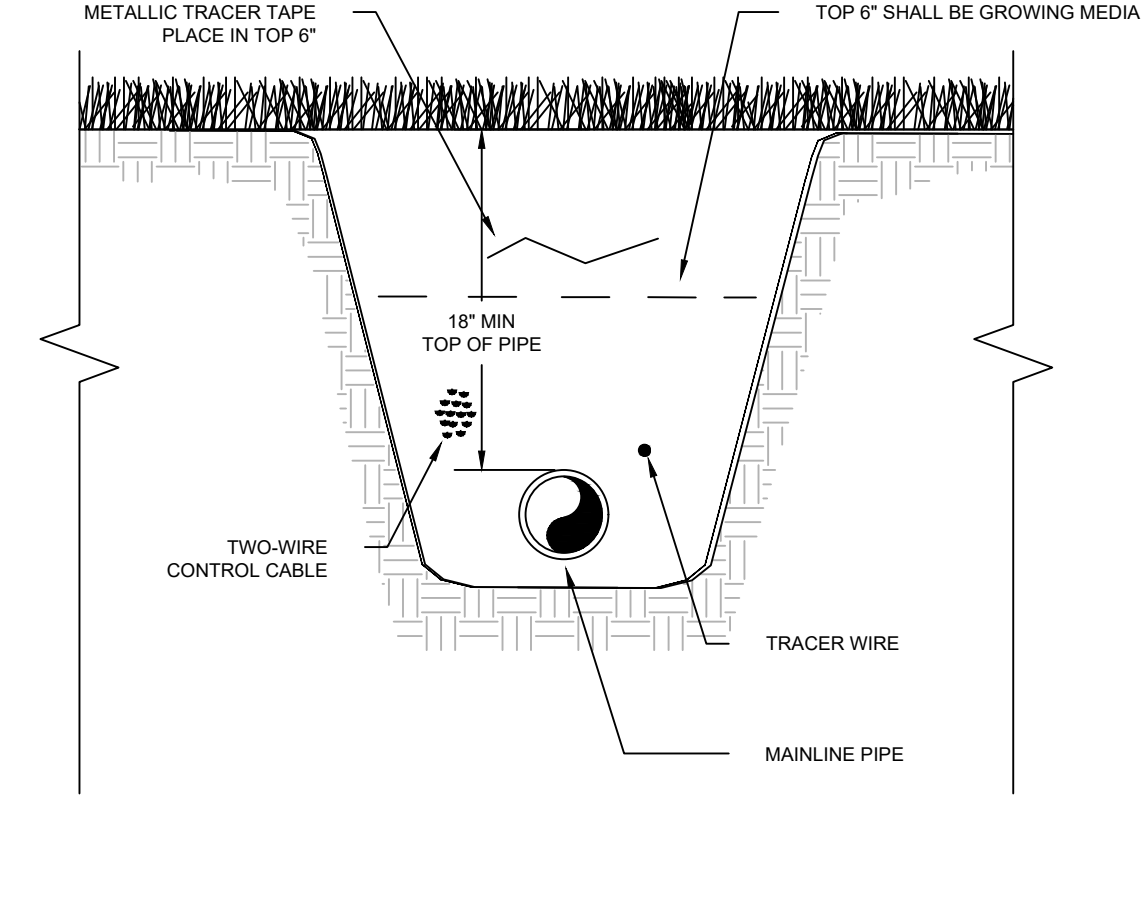
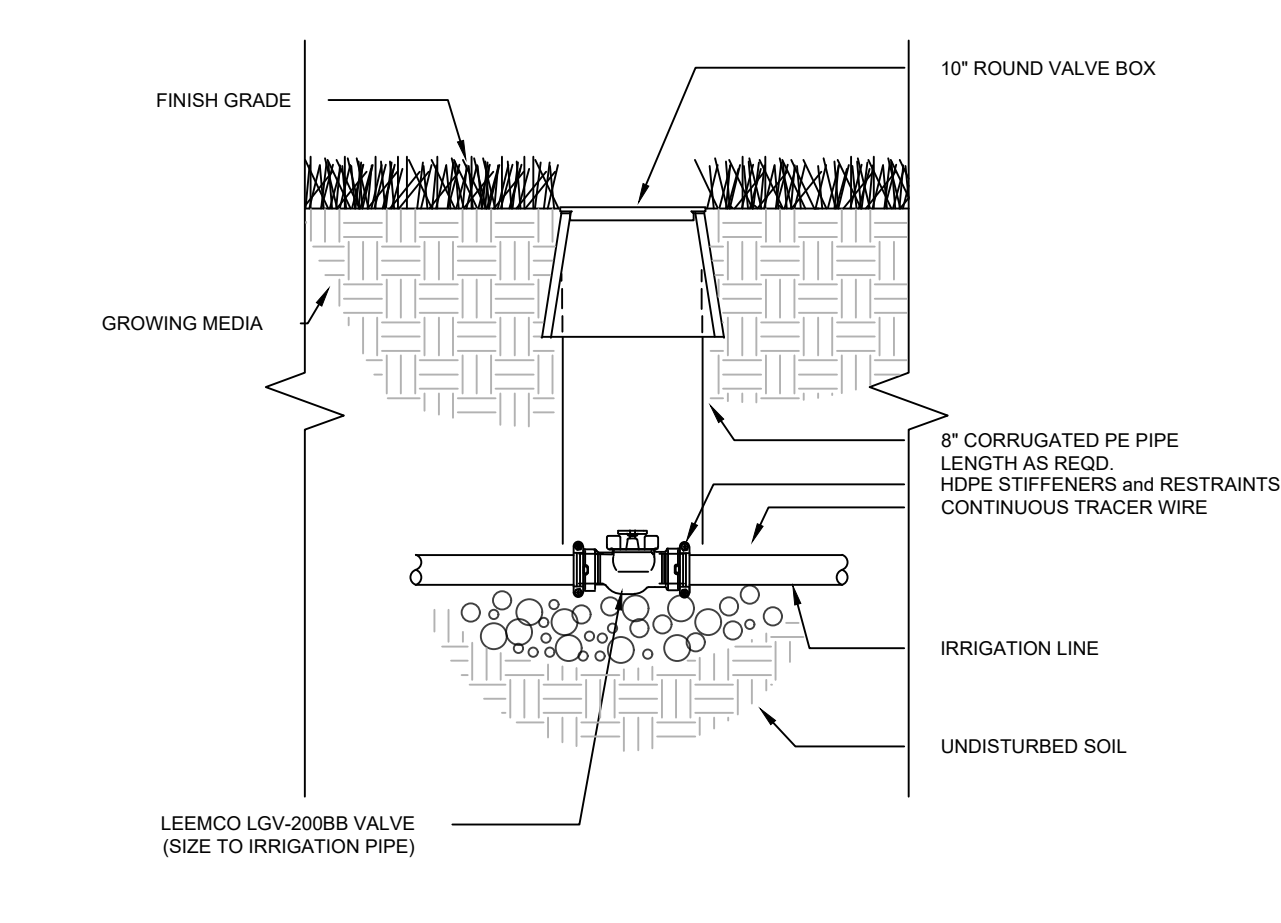
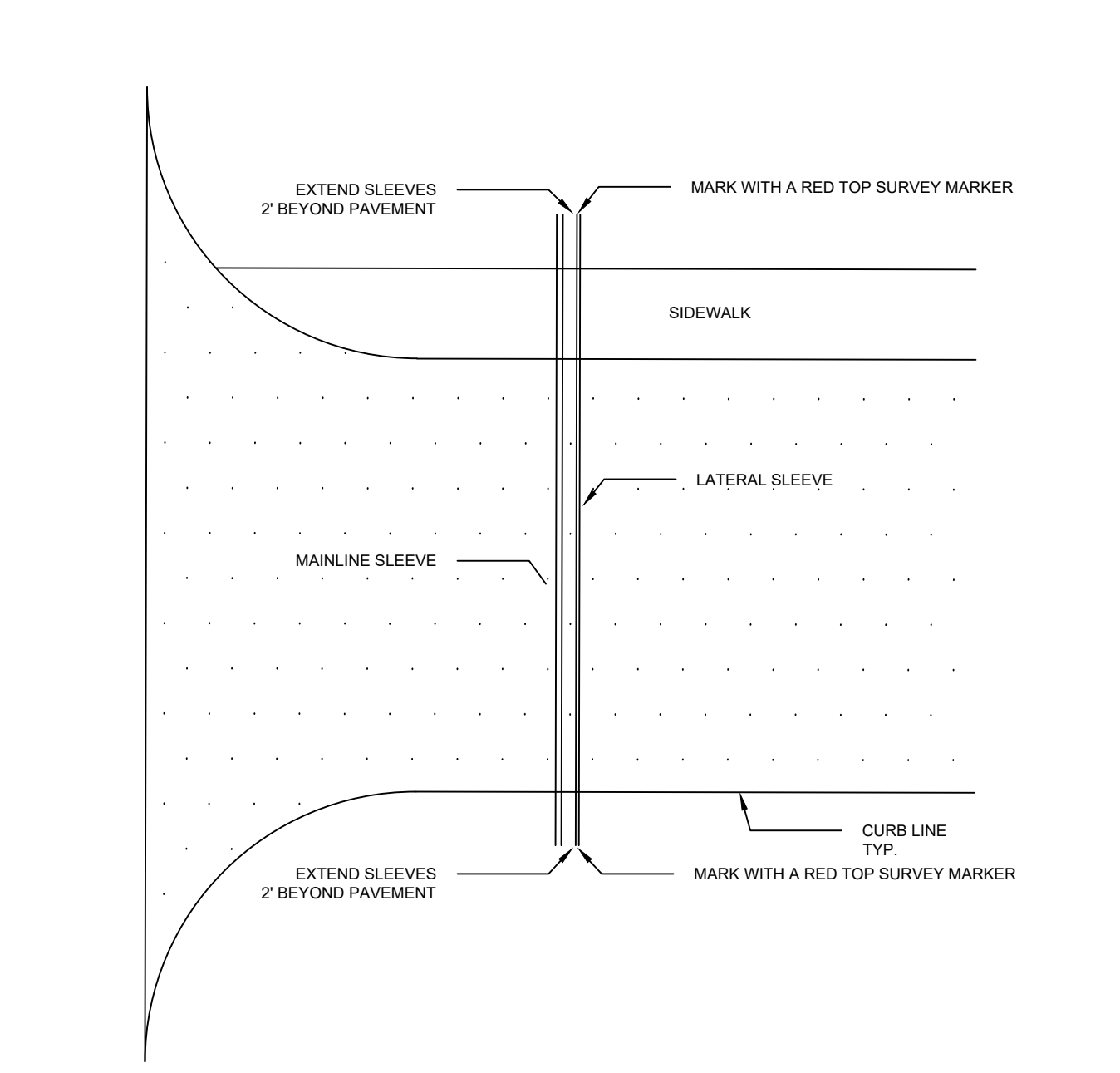
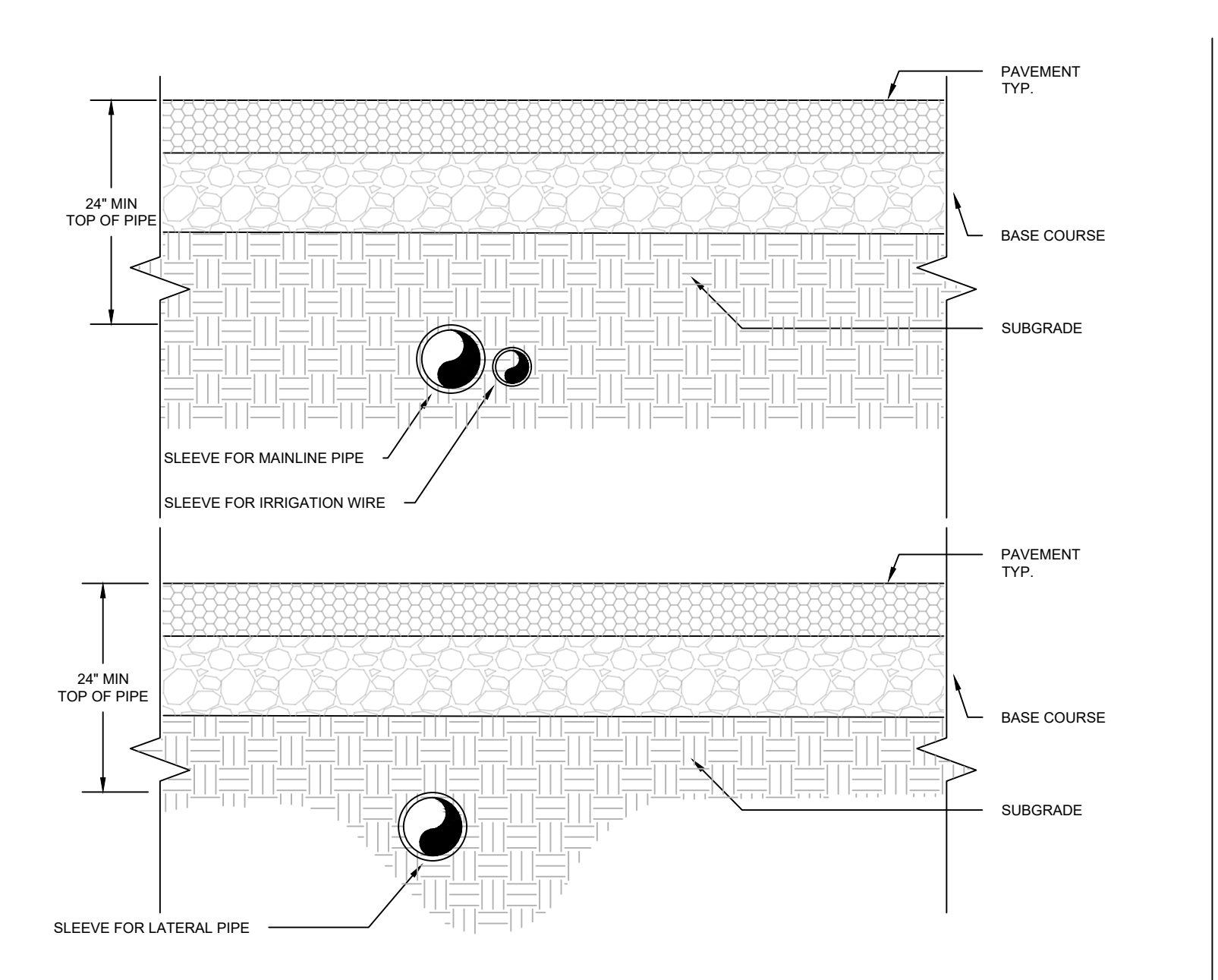
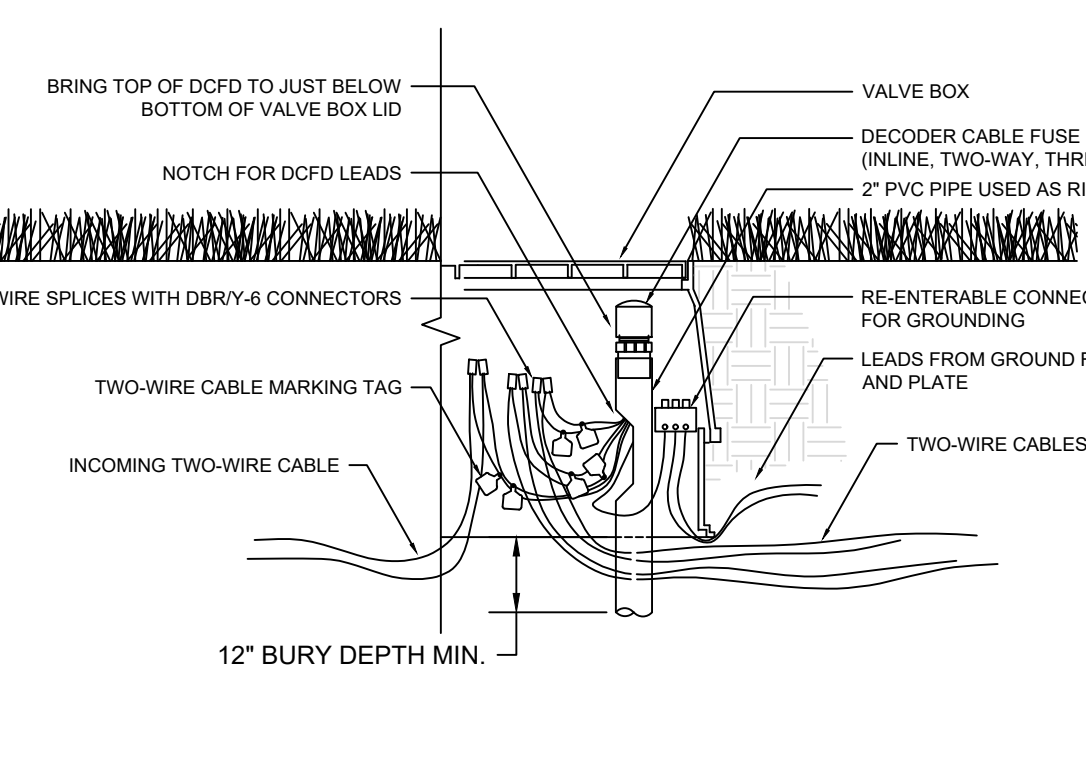
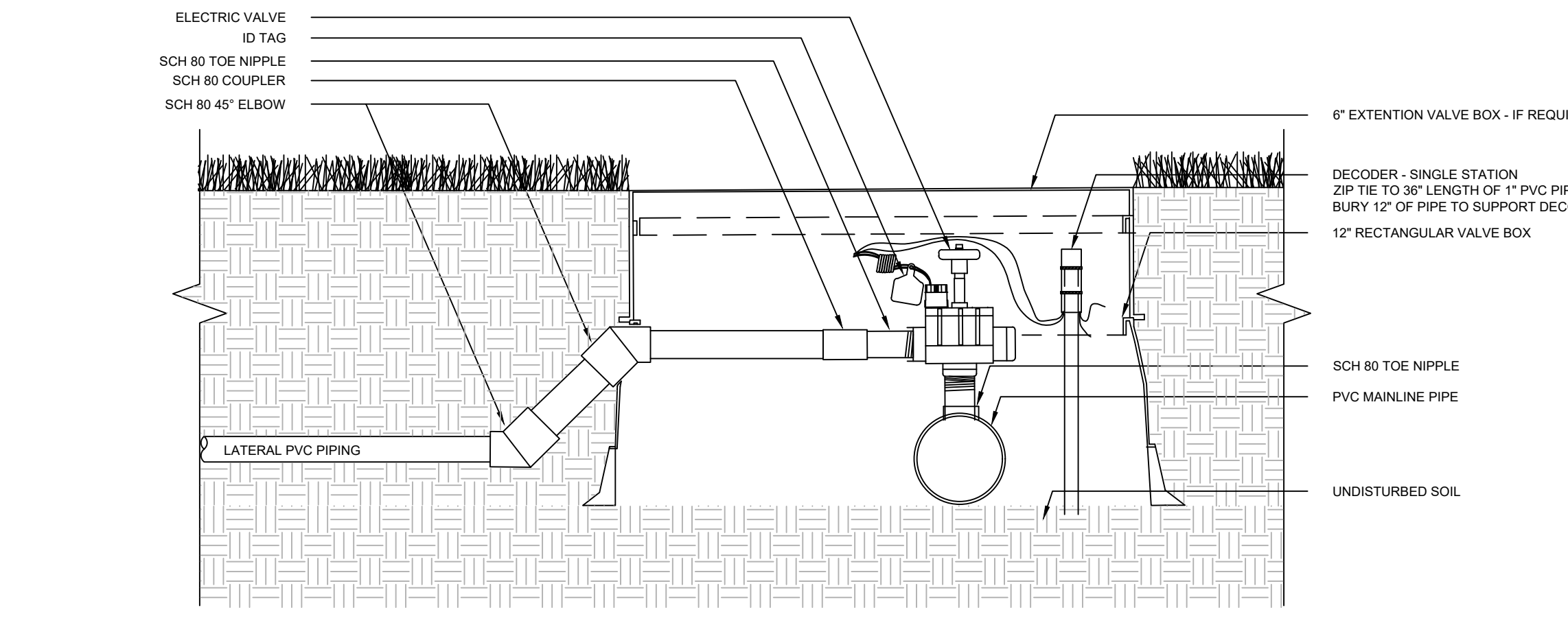
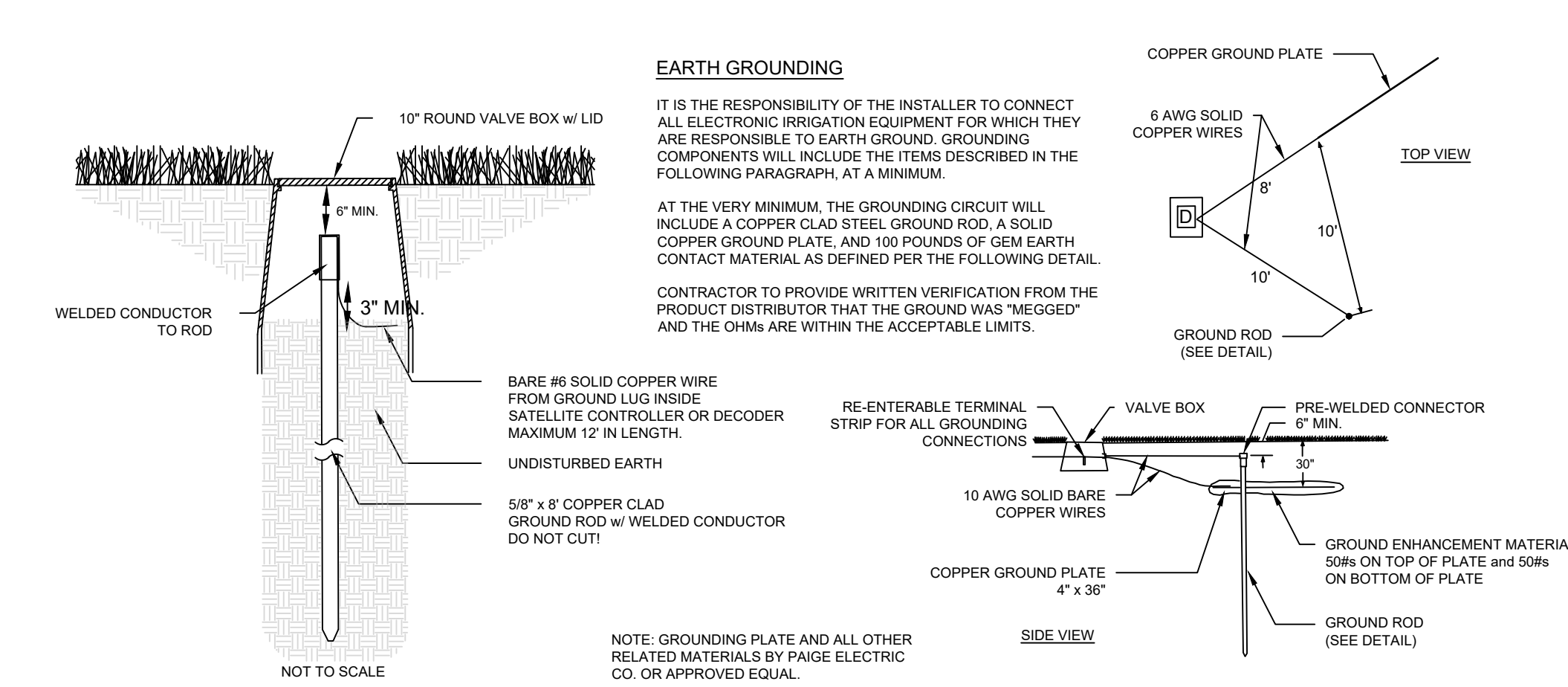
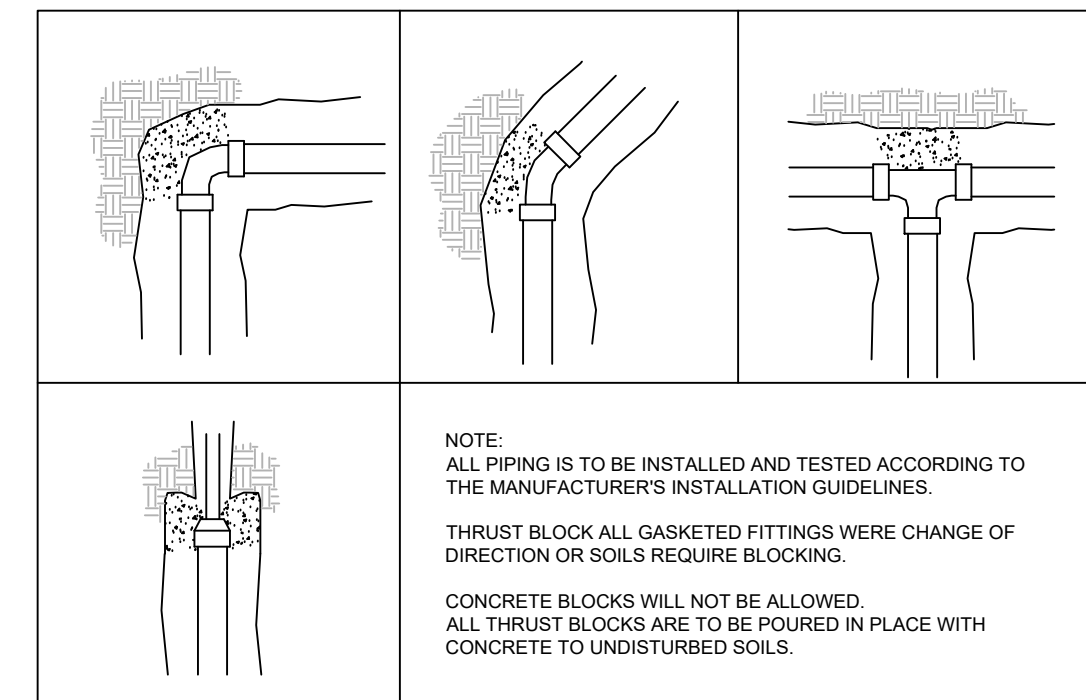
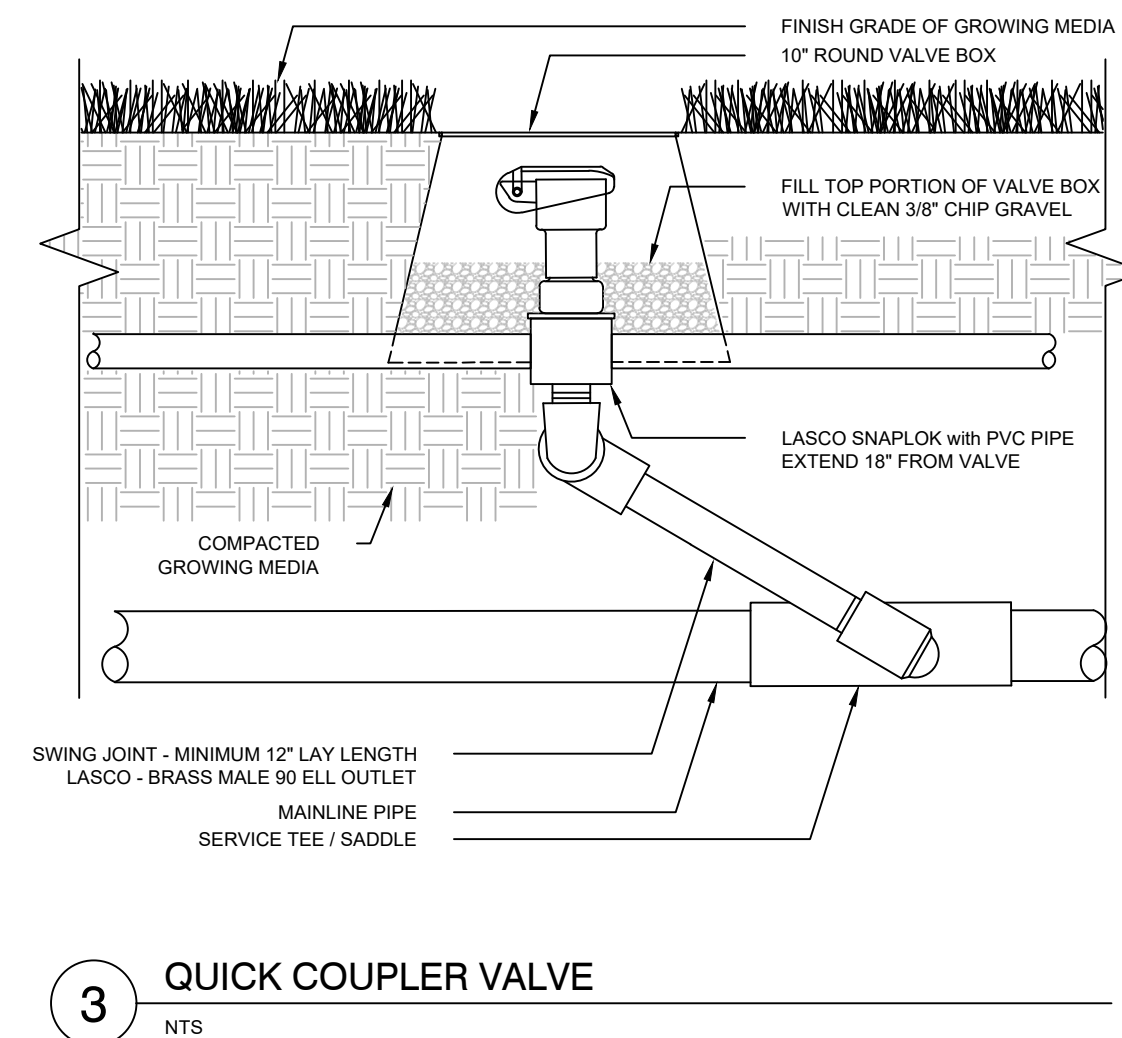
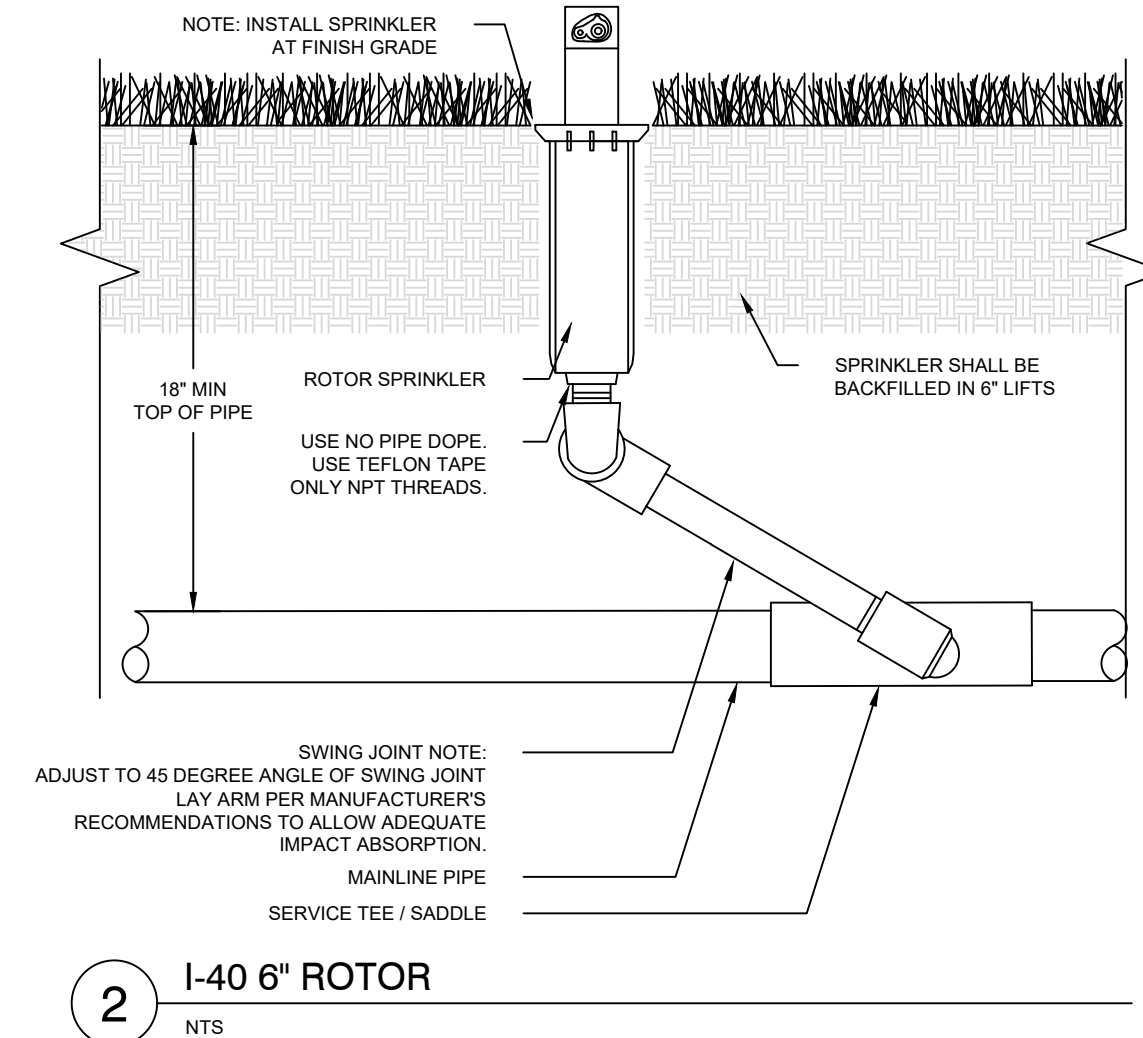
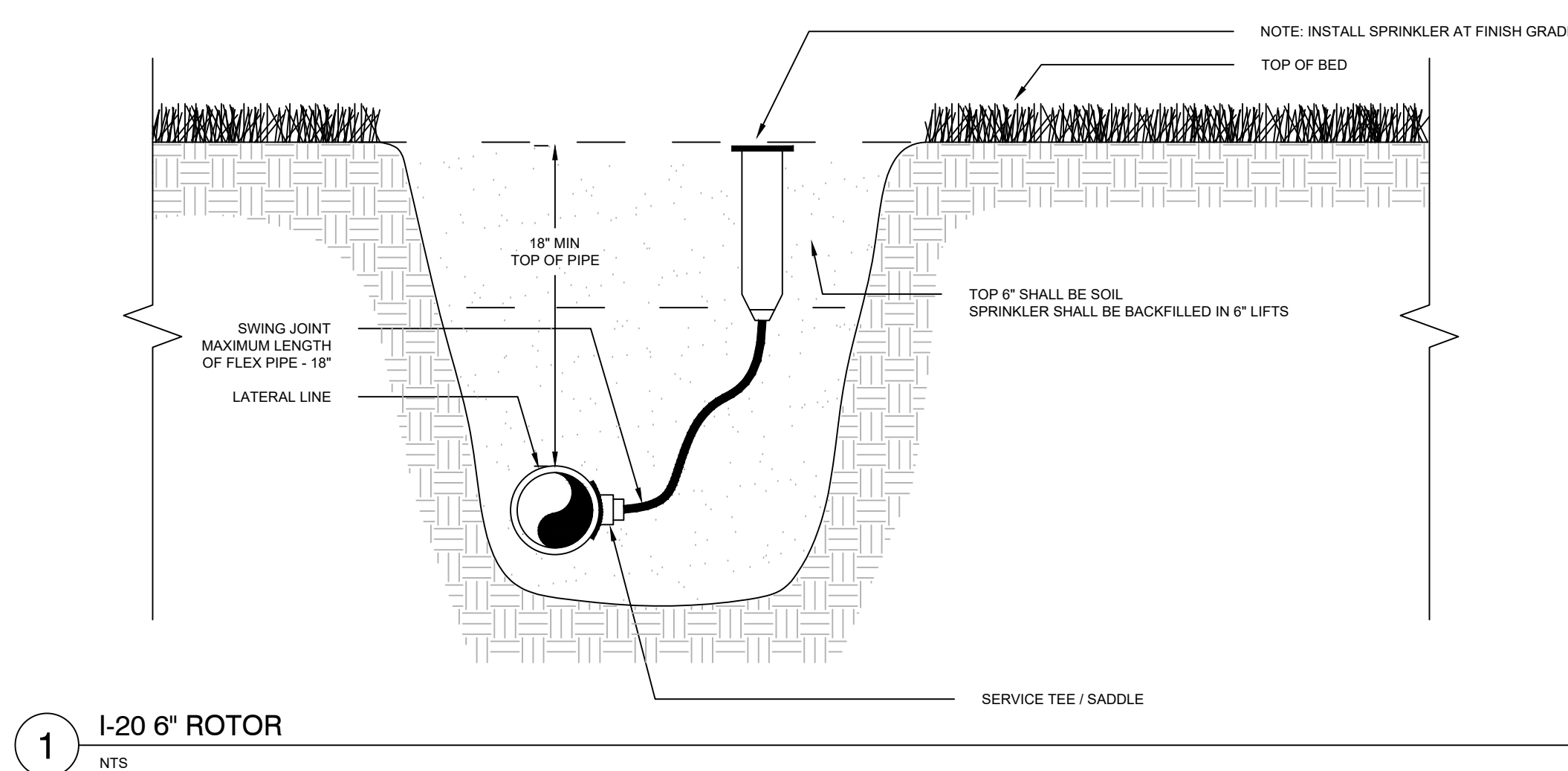
**1040**

SHEET TITLE

**IRRIGATION  
DETAILS**

SHEET NUMBER

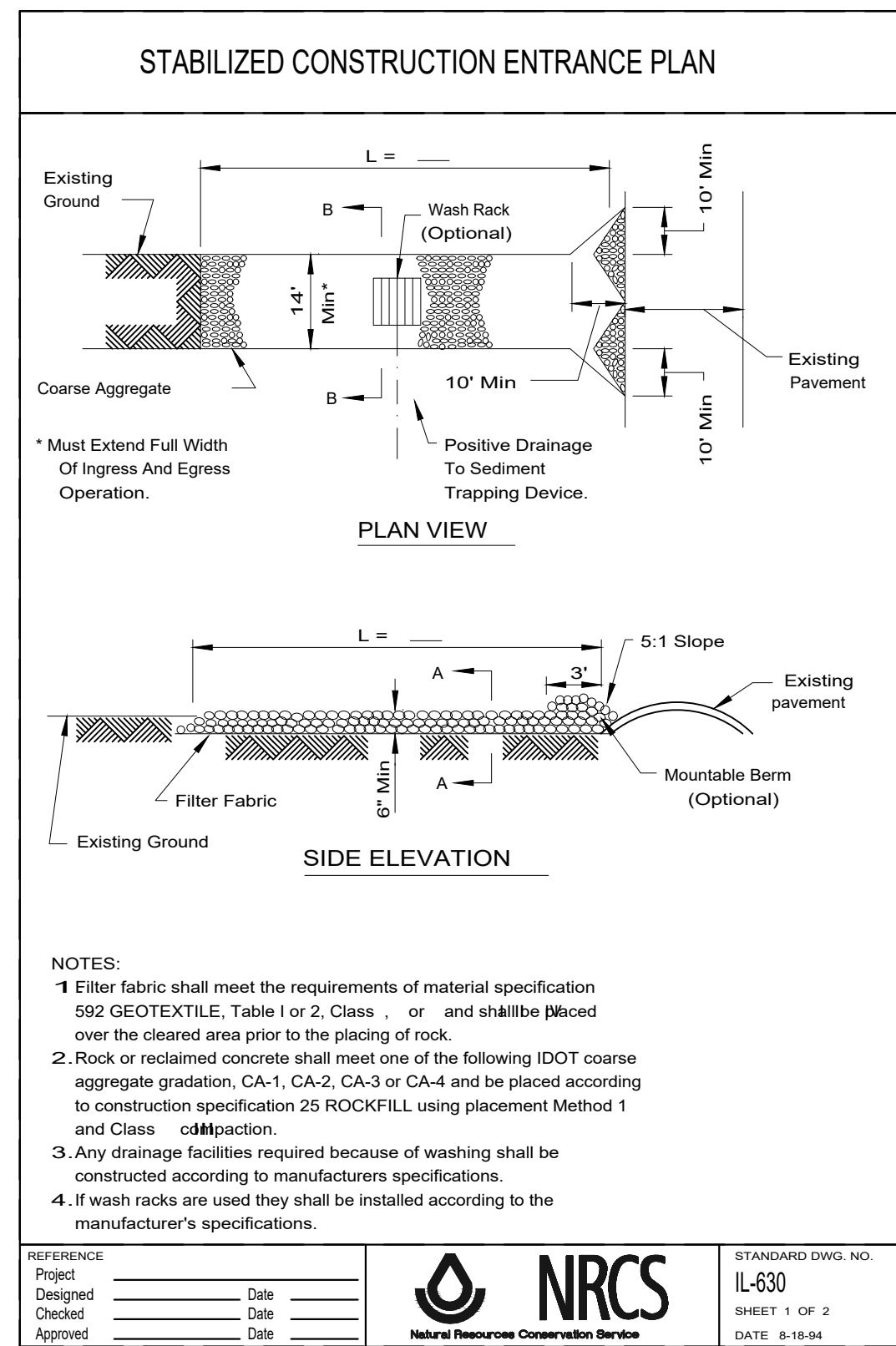
**7.2**



8 SLEEVING NTS

9 ISOLATION VALVE - 2", 2.5", and 3" NTS

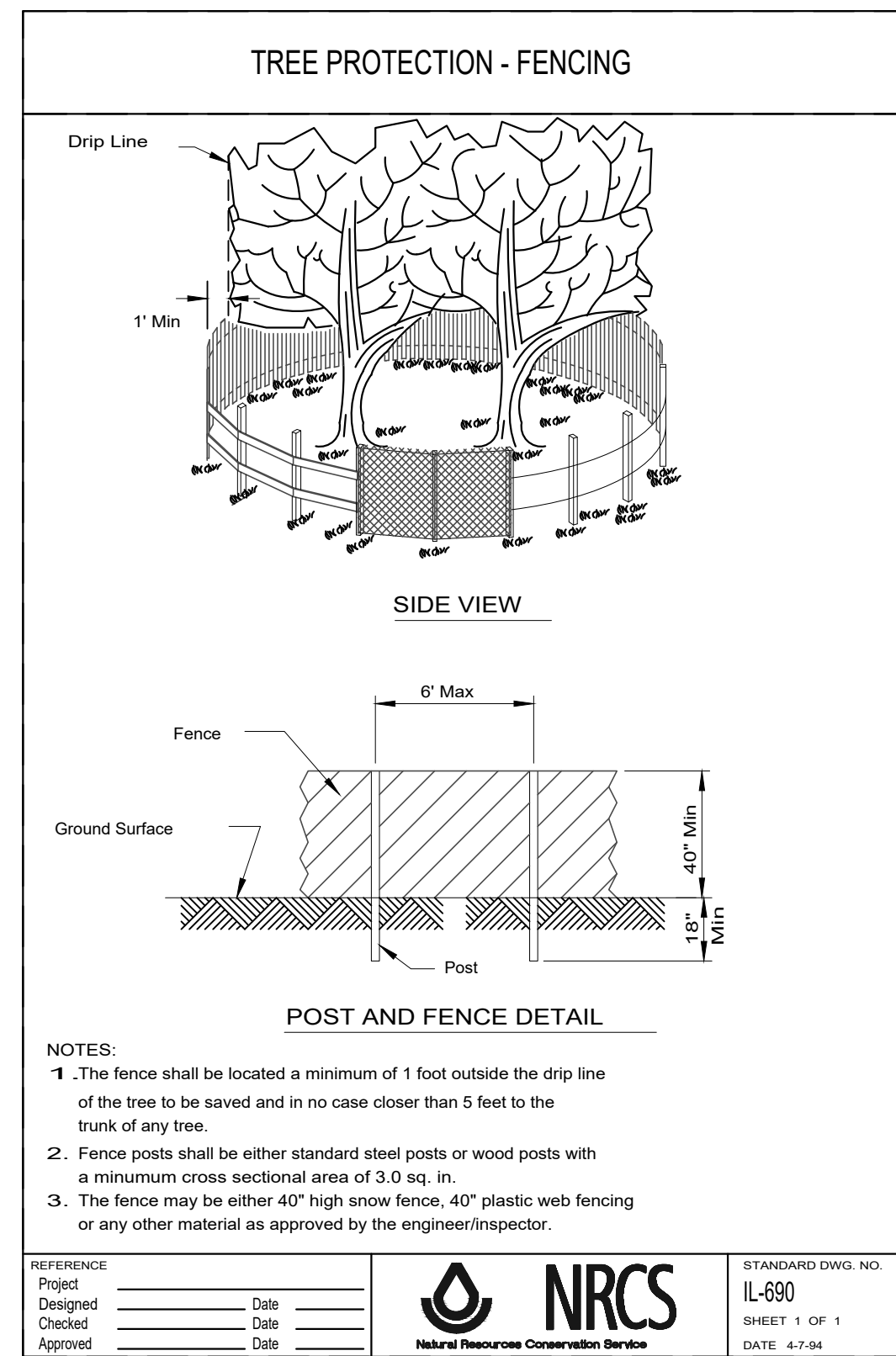
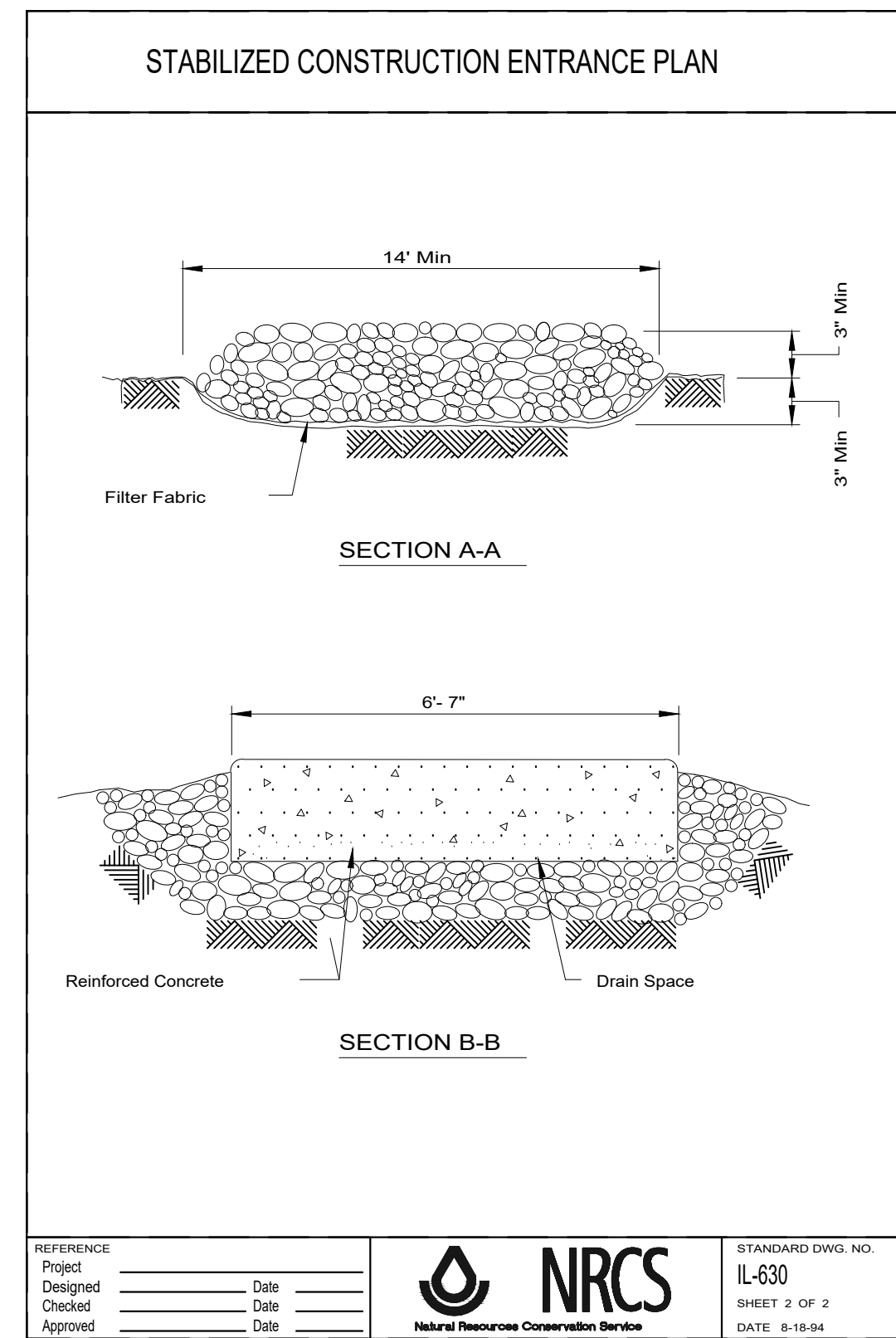
10 WIRE TRENCH NTS



1 Stabilized Construction Entrance Plan

SCALE: NTS

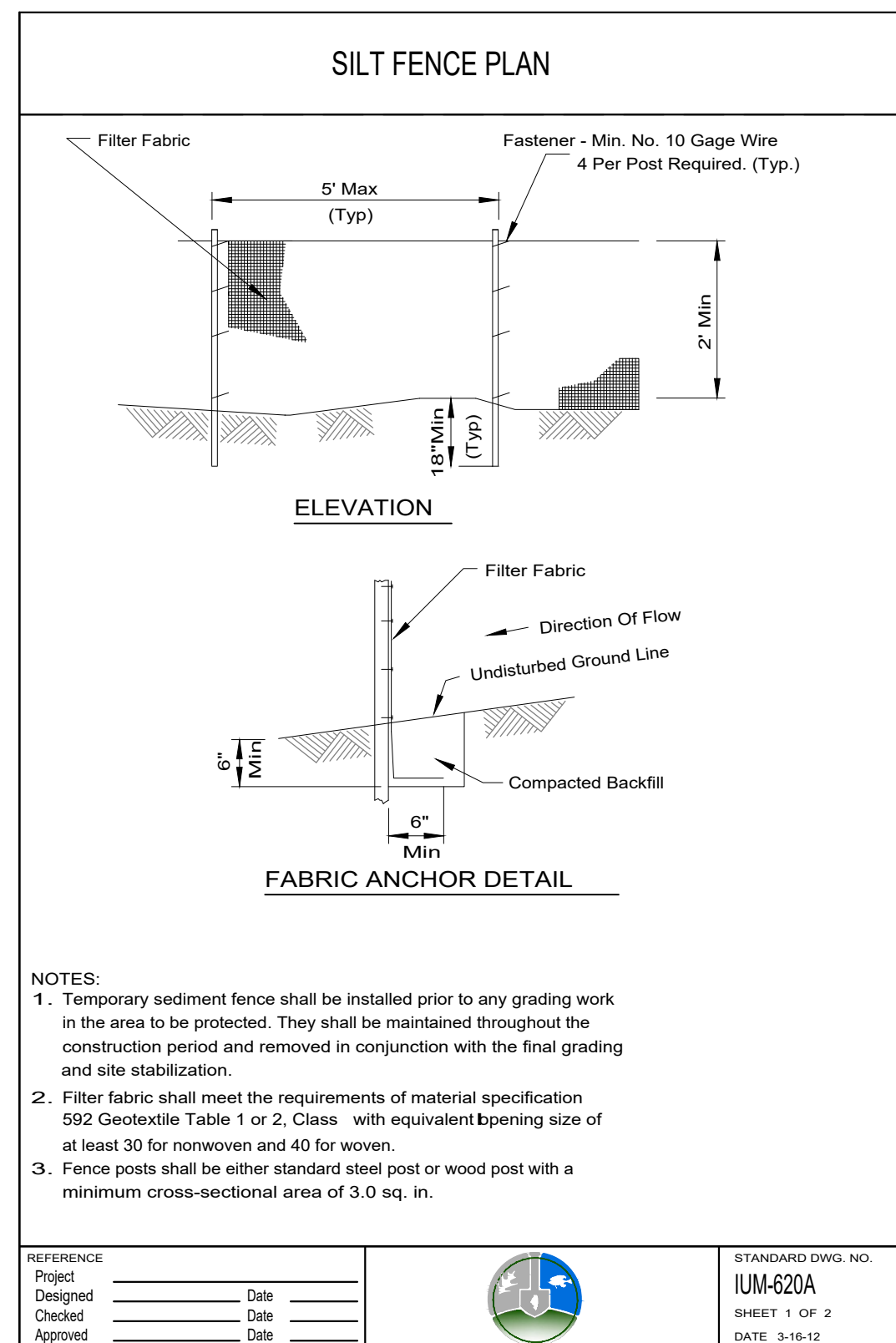
d-NRCS-IL630-construction entrance\_12



3 Tree Protection Fence

SCALE: NTS

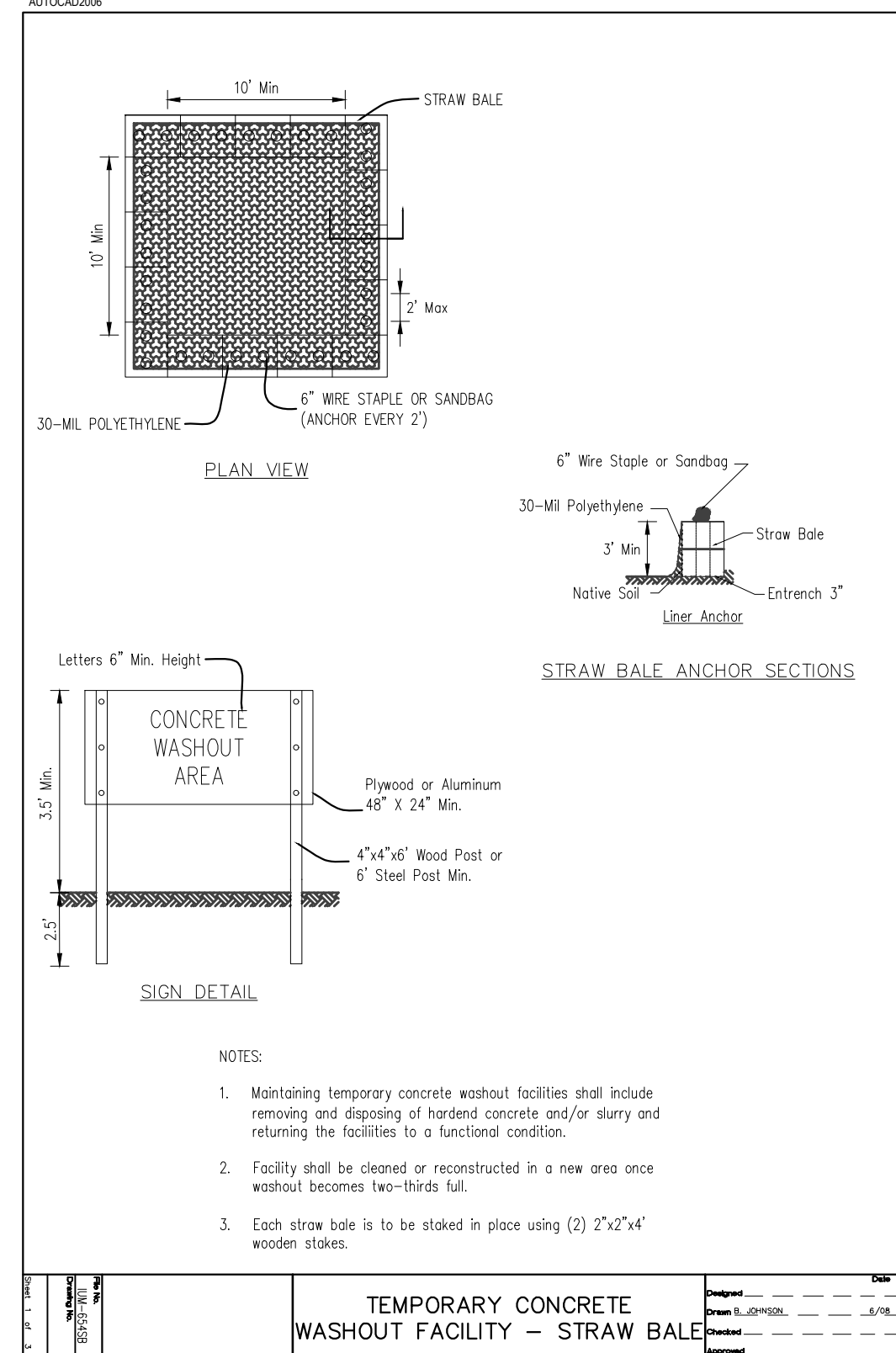
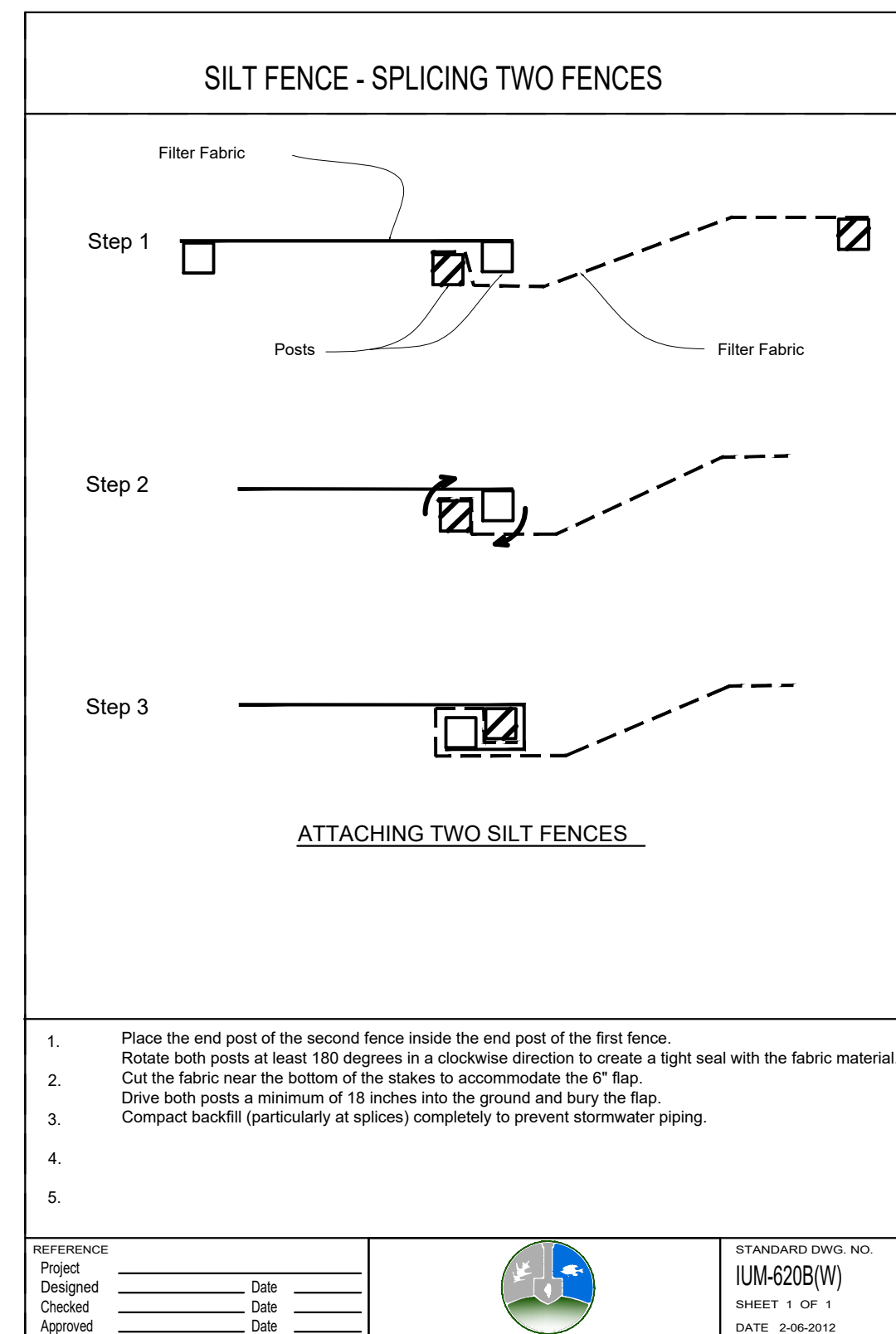
d-NRCS-IL690-tree protection fence\_12



2 Silt Fence

SCALE: NTS

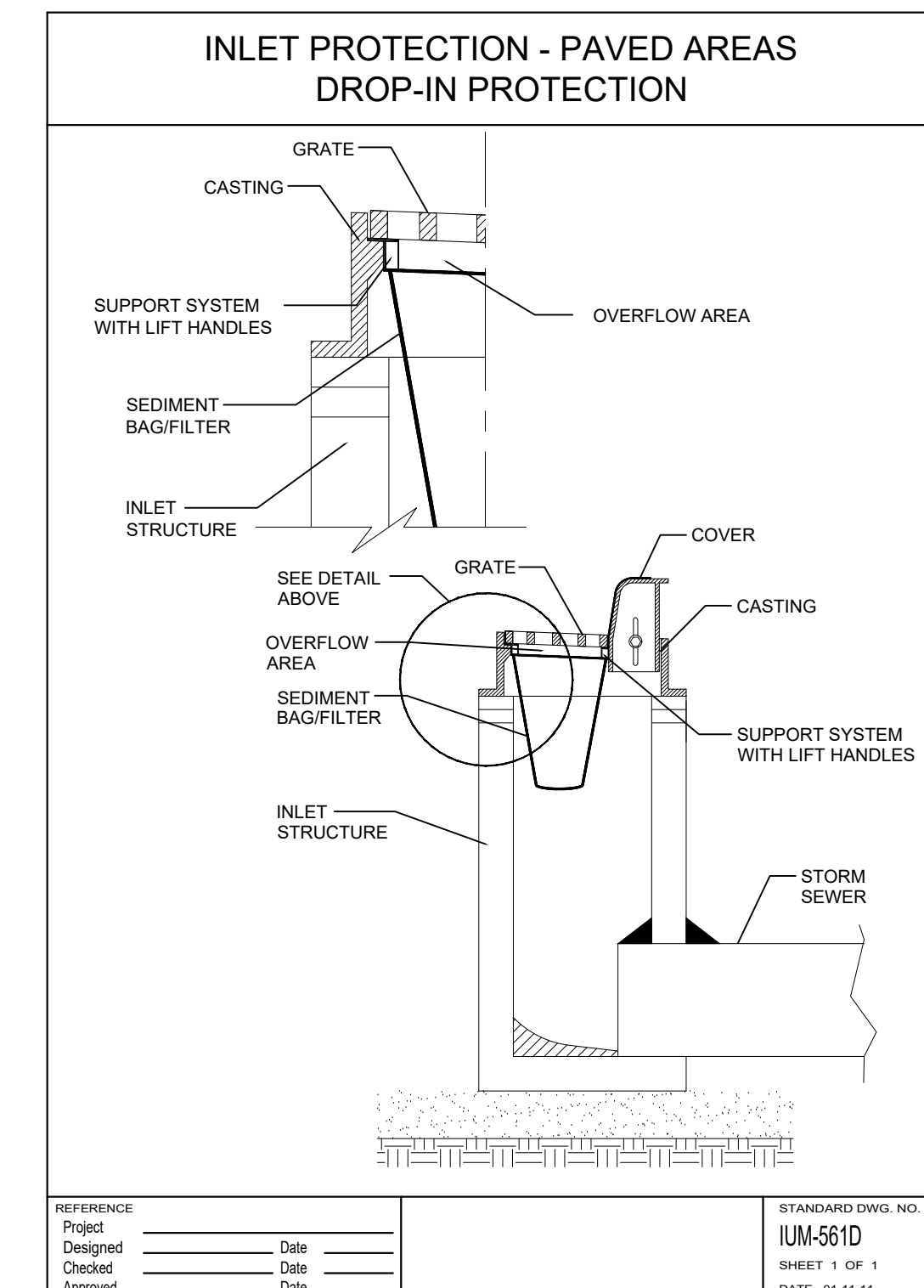
d-IUM 620B-silt fence\_12



4 Temporary Concrete Washout

SCALE: NTS

d-IUM-654SB-concrete washout\_12



5 Inlet Protection

SCALE: NTS



1450 Forest Gate Rd,  
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Phone: 630-990-4233

PROJECT  
**Central Park  
Phase II  
Development**

1315 Kensington Rd,  
Oak Brook, Illinois 60523

PROJECT TEAM



uplandDesign Ltd  
Landscape Architecture & Park Planning  
Chicago, Illinois 312-350-4088  
Plainfield, Illinois 815-254-0091  
uplandDesign.com

CIVIL ENGINEER & SURVEYOR  
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REVISIONS

MB/EM	ISSUE FOR BID	06JAN2022

ORIGINAL ISSUE DATE  
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SHEET TITLE  
**Construction  
Details**

SHEET NUMBER

**8.0**



1450 Forest Gate Rd,  
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PROJECT  
**Central Park  
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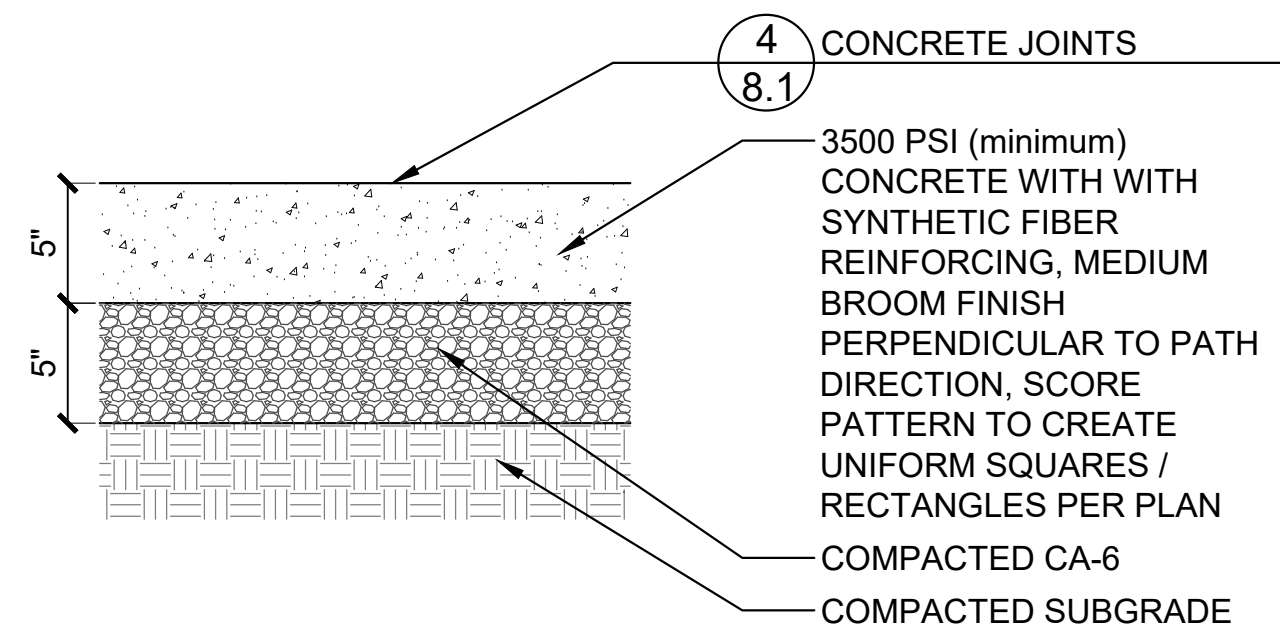
MB/EM	ISSUE FOR BID	DATE
		06JAN2022

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**Issued for Bid** 06JAN2023

PROJECT NUMBER  
**1040**

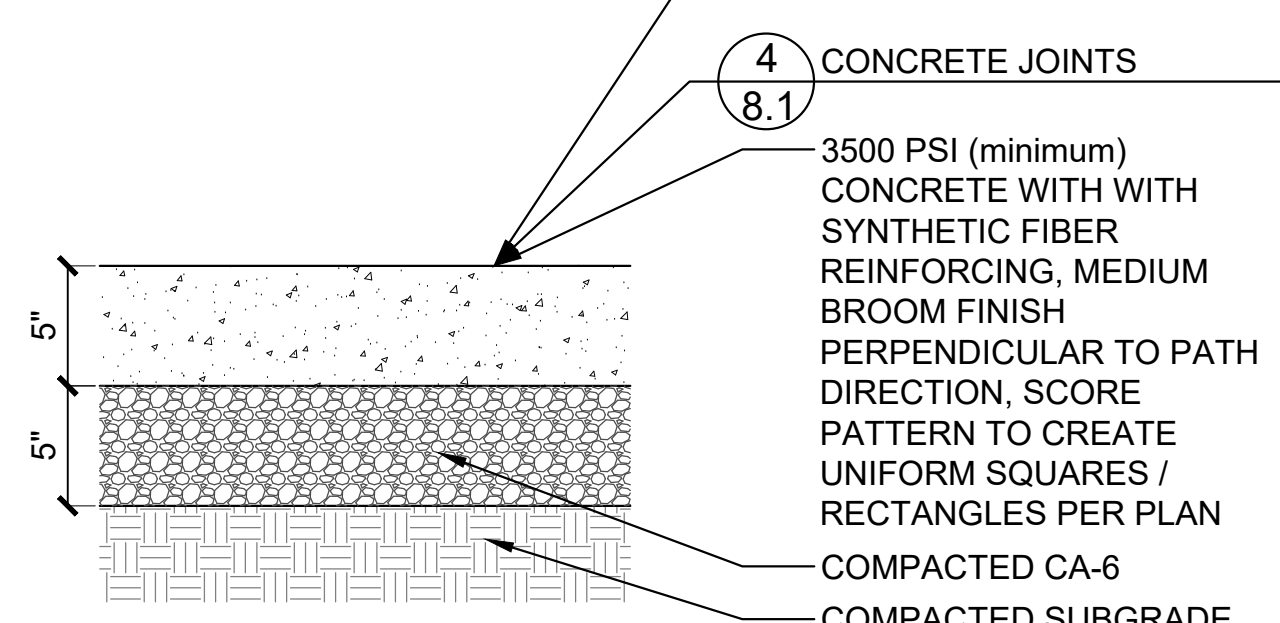
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**Construction  
Details**

SHEET NUMBER  
**8.1**

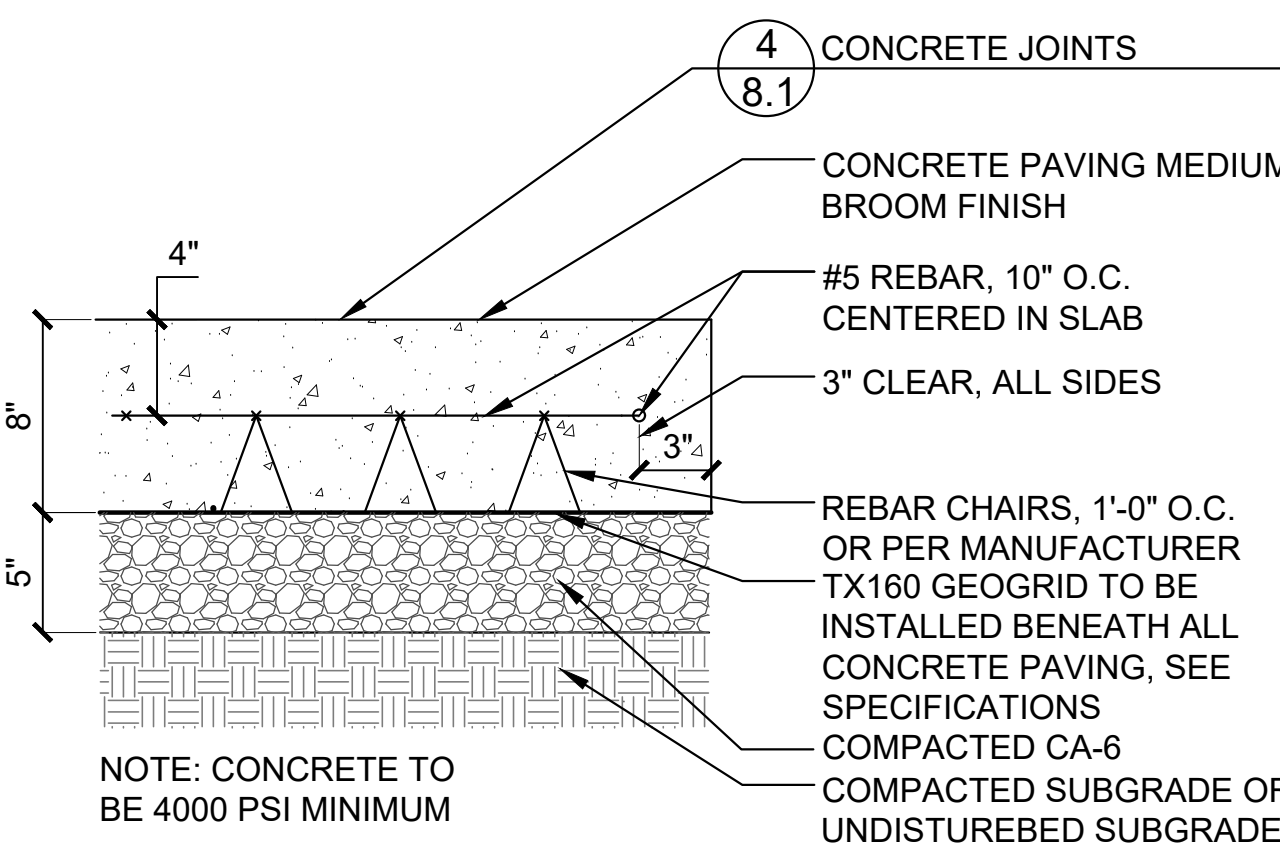


**1 Concrete Paving**  
SCALE: 1 1/2"=1'-0"  
d-conc pav-5\_8

- NOTES:
1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
  2. INTEGRAL COLOR AS MANUFACTURED BY BUTTERFIELD COLOR OR APPROVED EQUAL.
  3. CONTRACTOR SHALL APPLY BUTTERFIELD COLOR SELECT GRADE ANTIQUING RELEASE, COLOR: WALNUT AND SILANE / SILOXANE SEALER.
  4. SUBMIT ALL COLOR SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE FOR APPROVAL.



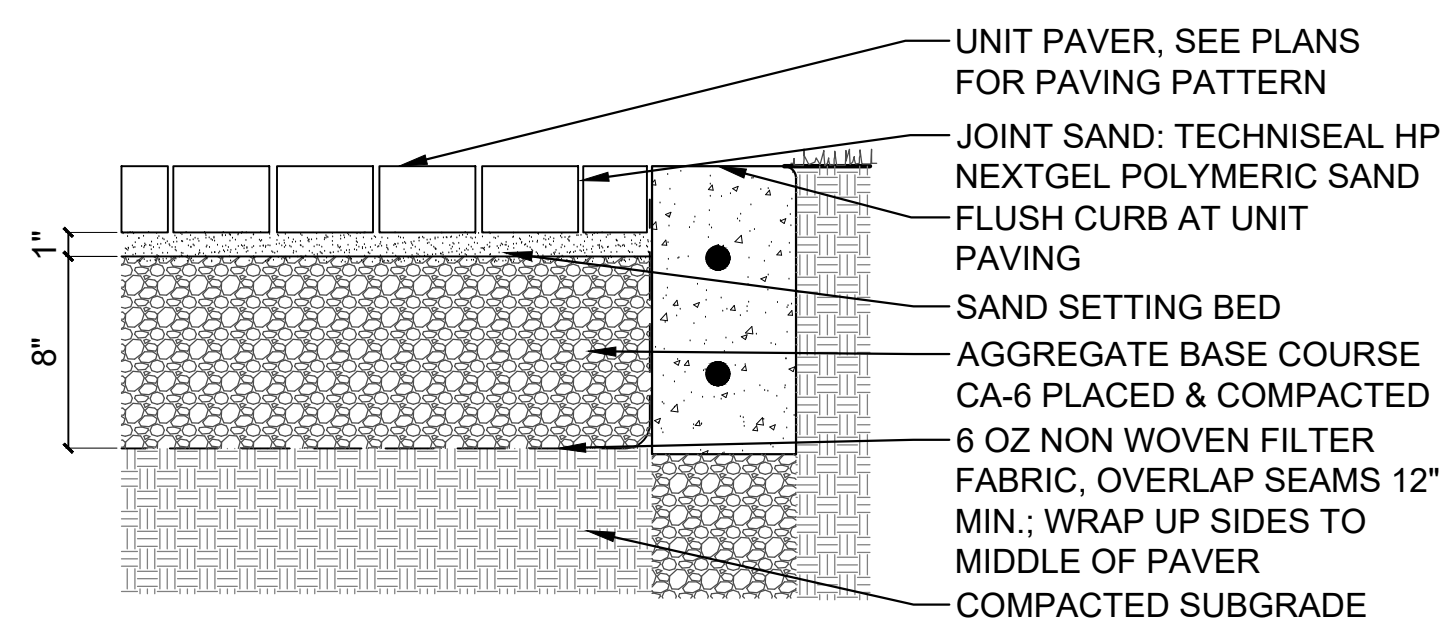
**2 Concrete Paving - Colored**  
SCALE: 1 1/2"=1'-0"  
d-conc pav-5\_8



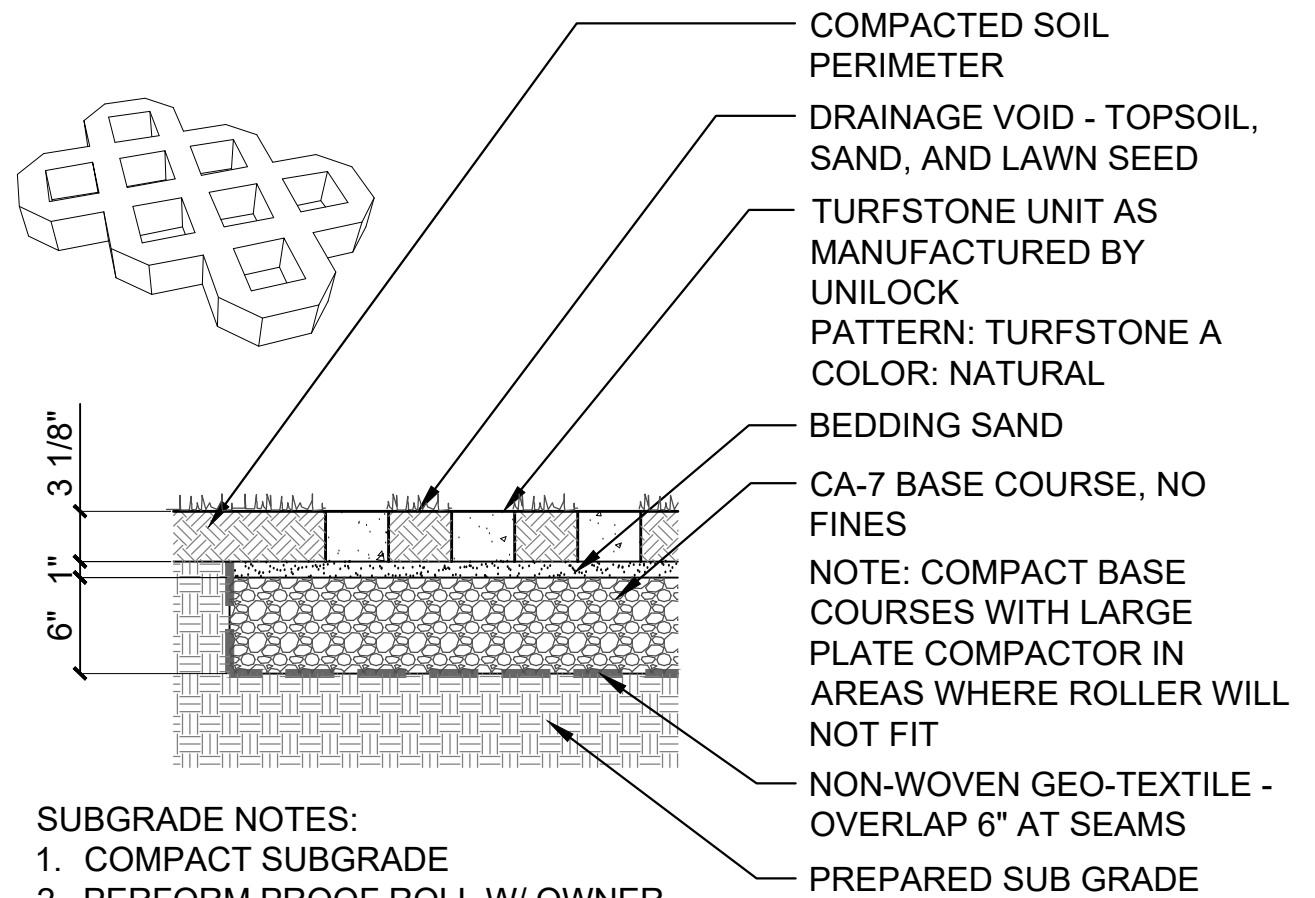
**3 Heavy Duty Concrete Paving**  
SCALE: 1 1/2"=1'-0"  
d-conc\_pav heavy\_8.dwg

- NOTES:
1. JOINTS PLAN TAKES PRIORITY OVER NOTES EXCEPT FOR MAXIMUM SPACING.
  2. CONTRACTION JOINTS TO BE PLACED 10' O.C. MAXIMUM
  3. EXPANSION JOINTS TO BE PLACED 30' O.C. MAXIMUM
  4. PLACE EXPANSION JOINTS BETWEEN NEW CONCRETE POURS AND INSTALL 8" EPOXY COATED BARS, 12" O.C.
  5. CURB JOINTS TO MATCH CONCRETE PAVING WHERE APPLICABLE
  6. INSTALL SMOOTH DOWELS AT EXPANSION JOINTS
  7. NO 'CALIFORNIA JOINTS'

**4 Concrete Joints**  
SCALE: 1 1/2"=1'-0"  
d-conc\_joints\_8.dwg



**5 Unit Paving - Pedestrian**  
SCALE: 1 1/2"=1'-0"  
d-detail name\_8

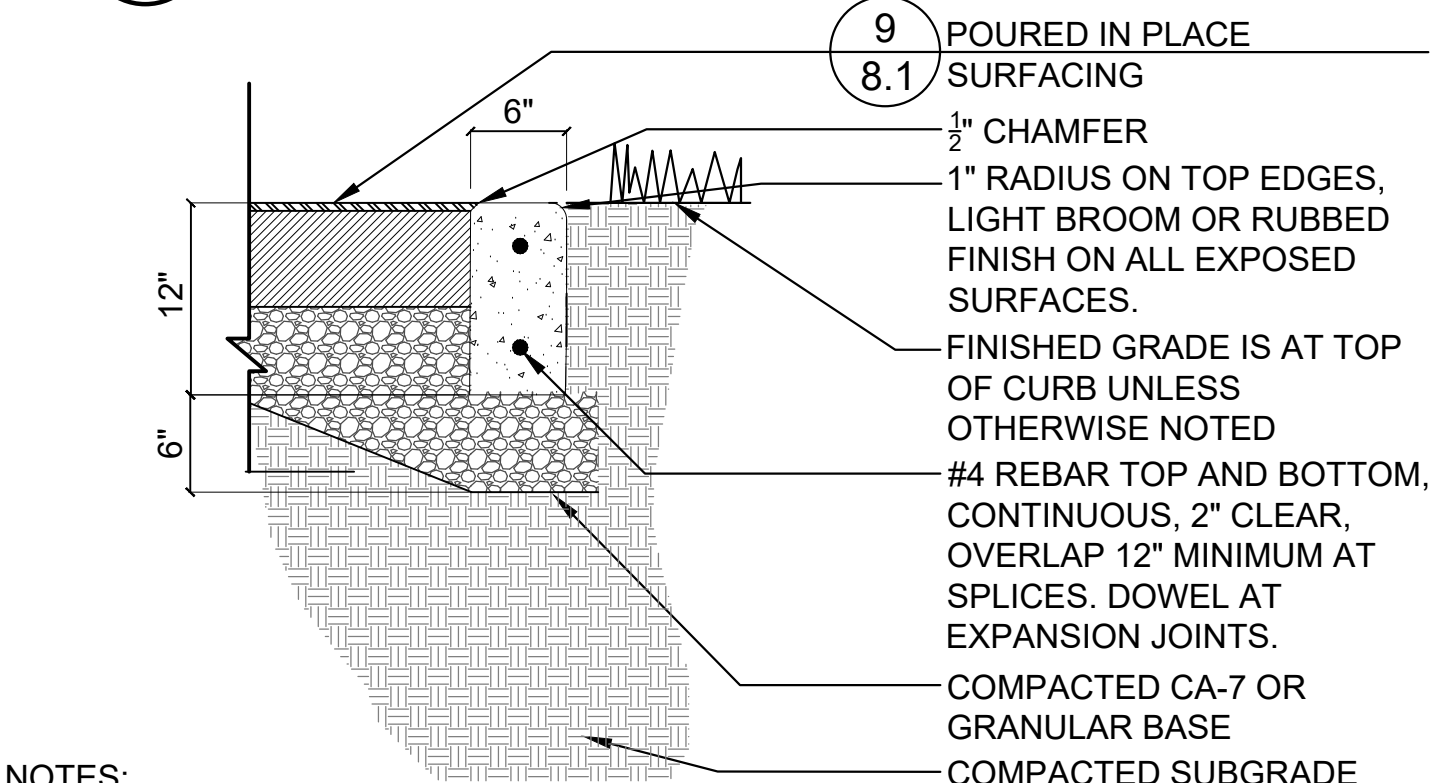


**6 Turfstone**  
SCALE: 1"=1'-0"  
d-paver-turfstone\_12

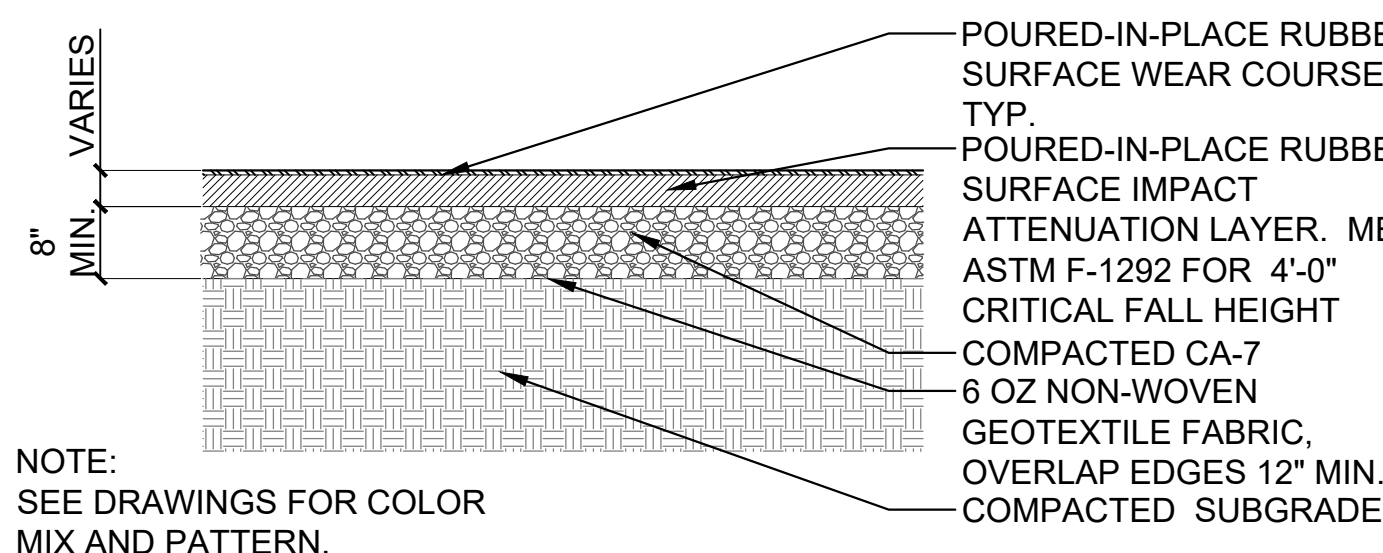
- BASE BID NOTES: PRECAST
1. 1/8" MAX. SANDBLASTED ETCH LOGO AND EPOXY STAIN LOGO, COLOR: TBD
  2. #3 REBAR 12" O.C. HORIZ. GRID BOTH WAYS, TIE WITH 6" OVERLAP WHERE TIES MEET
  3. PRECAST COLOR TO BE WHITE AS MANUFACTURED BY CUSTOM STONE WORKS 815-748-2109, OR APPROVED EQUAL.



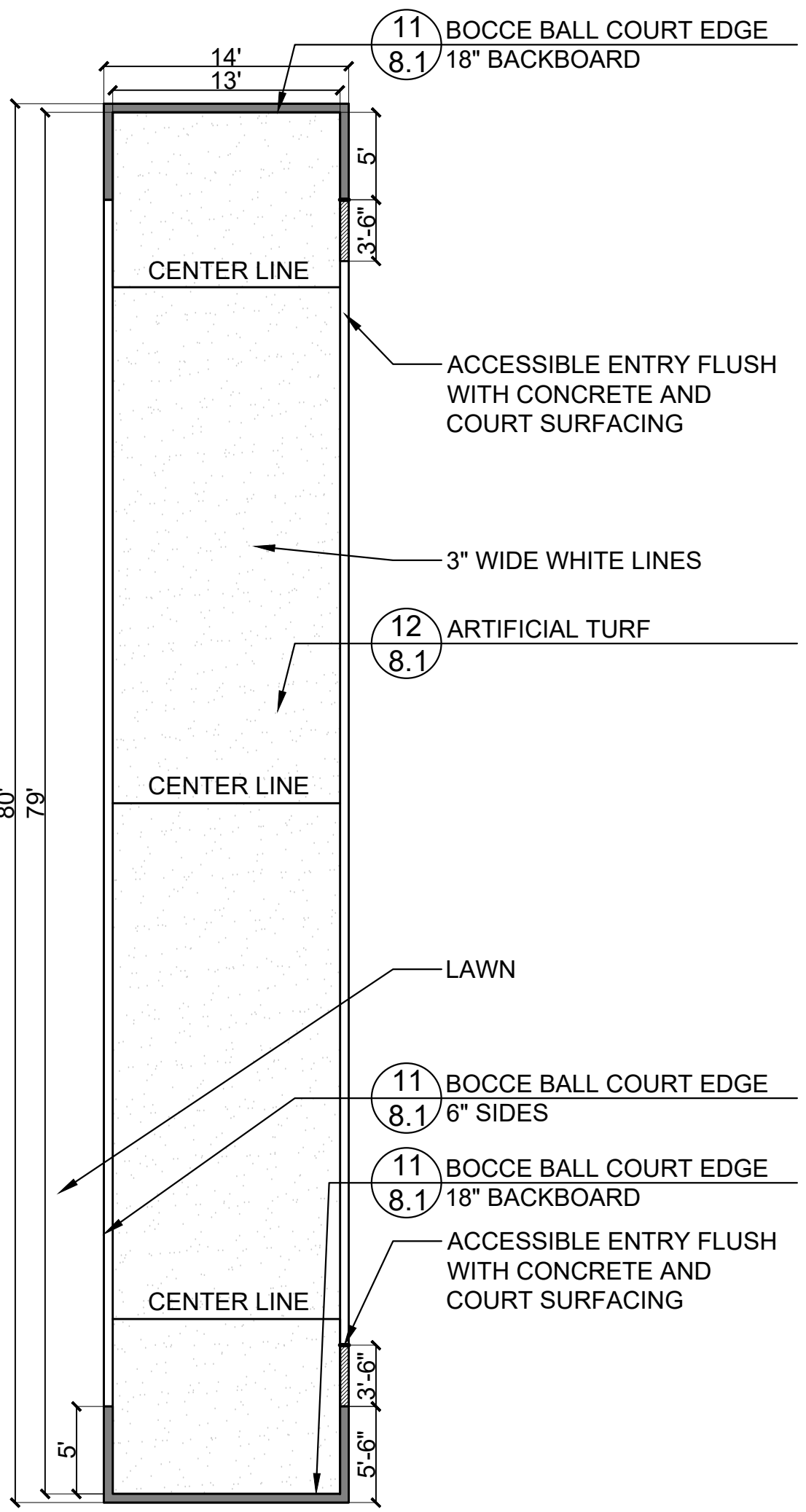
**7 Precast Medallion**  
SCALE: 1"=1'-0"  
det-conc-precast-logo



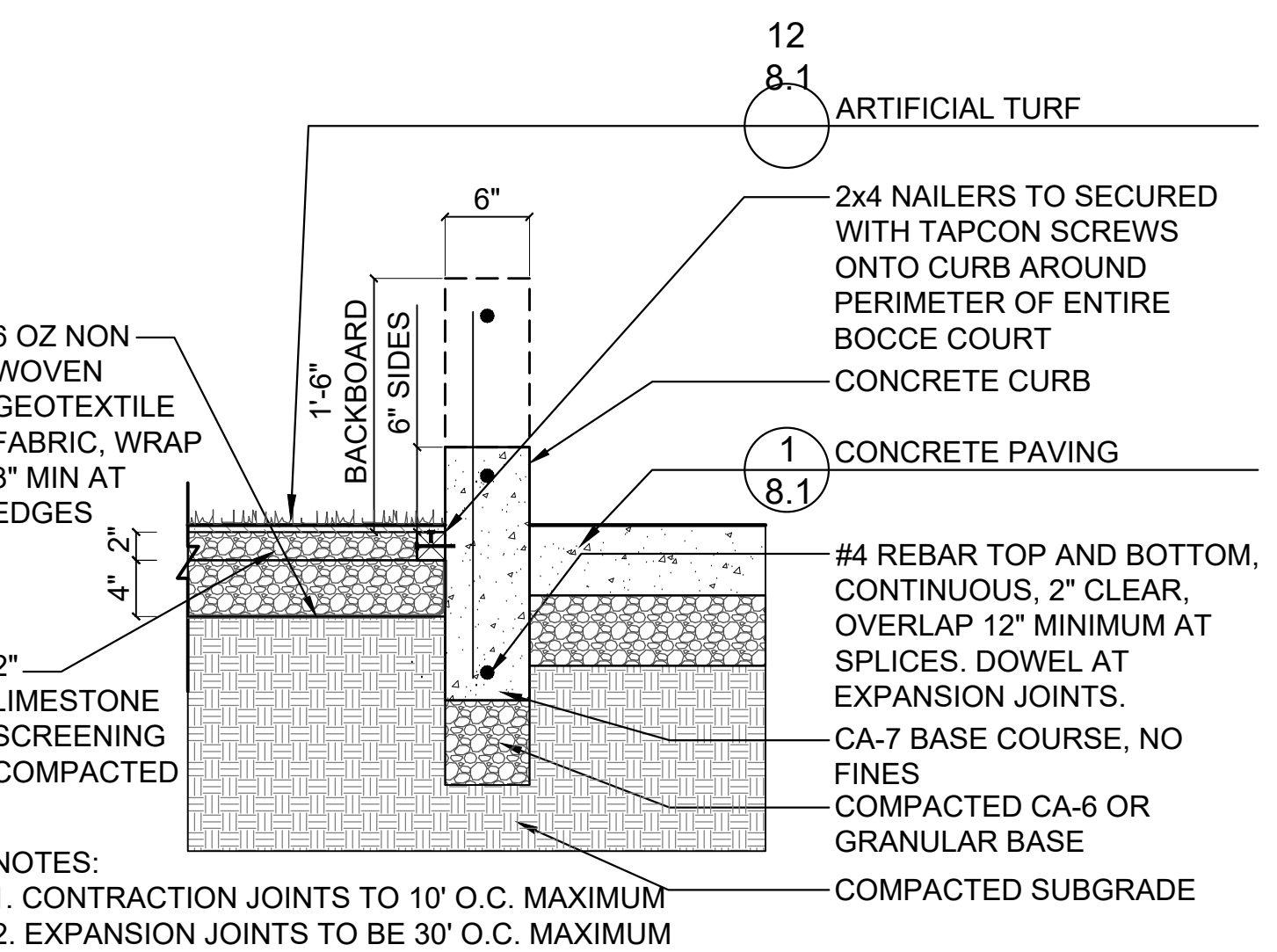
**8 Curb at Challenge Course**  
SCALE: 1"=1'-0"  
d-conc curb-pip\_12



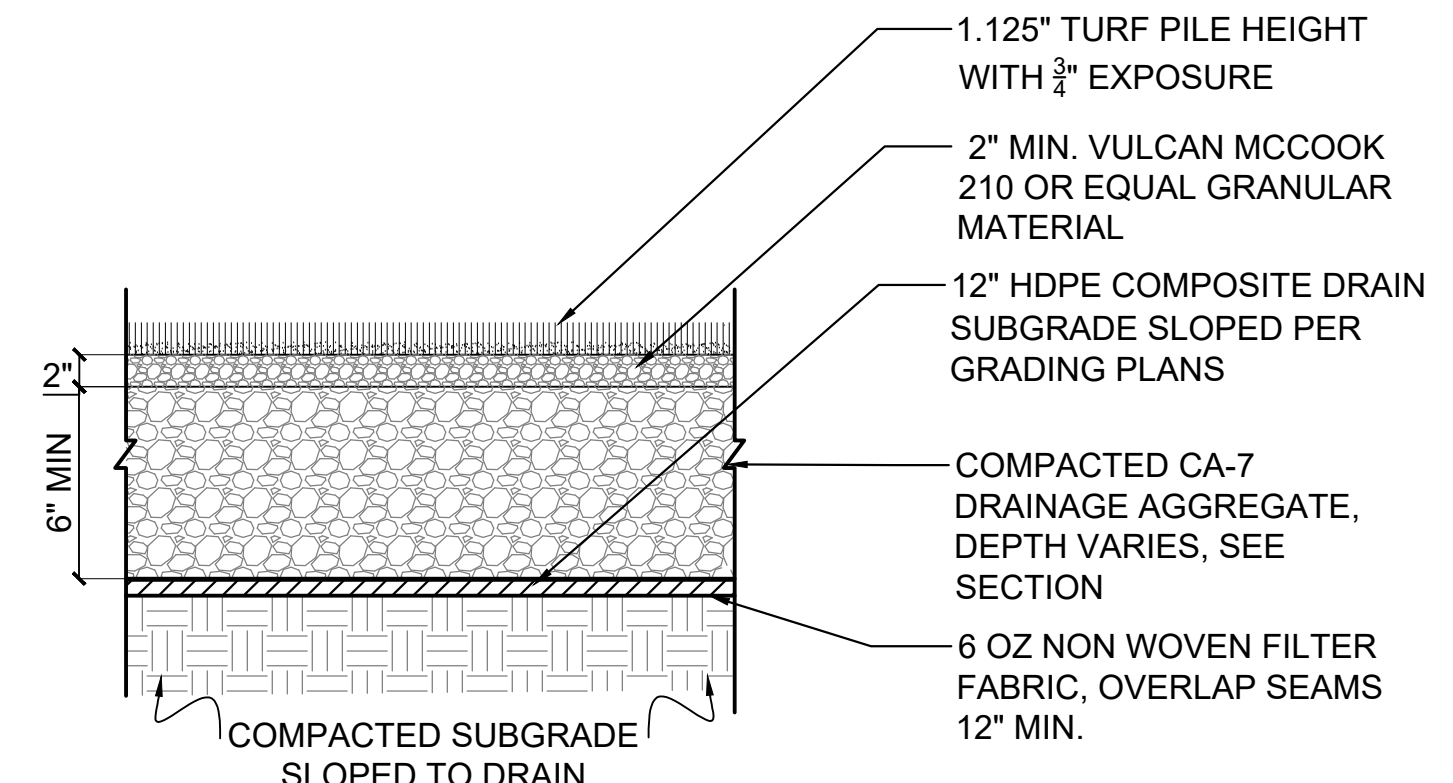
**9 Poured-in-Place Surfacing**  
SCALE: 3/4"=1'-0"  
d-pip-on gravel\_16.dwg



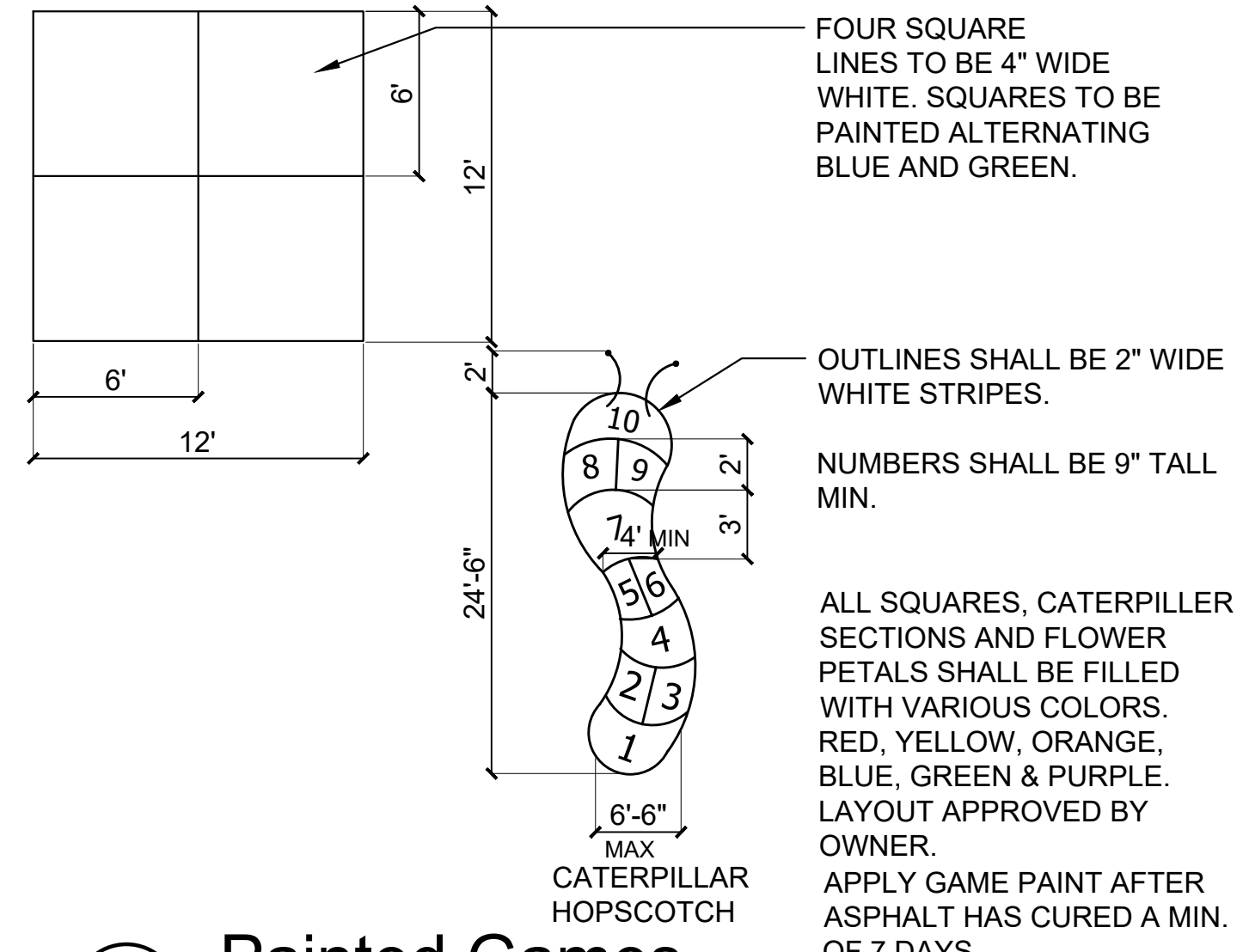
**10 Bocce Ball Court Layout**  
SCALE: 1/8"=1'-0"  
d-bocce ball layout\_96



**11 Bocce Ball Court Edge**  
SCALE: 1"=1'-0"  
d-bocce ball court edge\_12



**12 Artificial Turf**  
SCALE: 1/2"=1'-0"  
det-Turf Section



**13 Painted Games**  
SCALE: N.T.S.  
d-play-painted\_games\_more12.dwg



1450 Forest Gate Rd,  
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Phone: 630-990-4233

# Central Park Phase II Development

1315 Kennsington Rd,  
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PROJECT TEAM



CIVIL ENGINEER & SURVEYOR  
Engineering Resource Associates  
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IL License 184-001186

## REVISIONS

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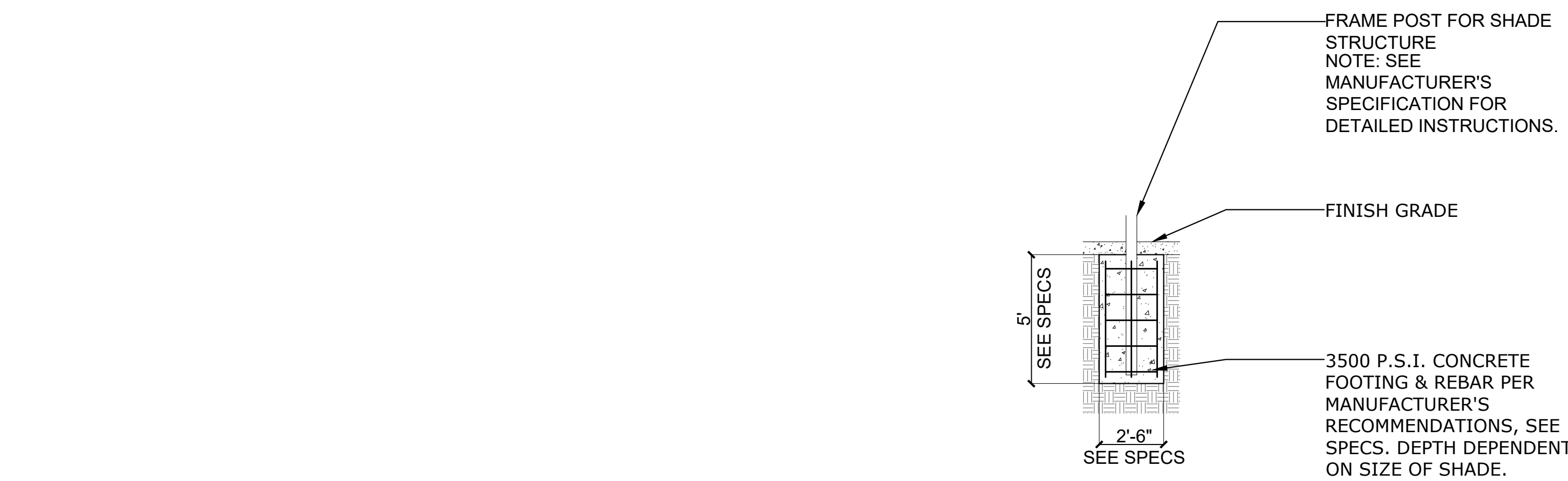
PROJECT NUMBER

**1040**

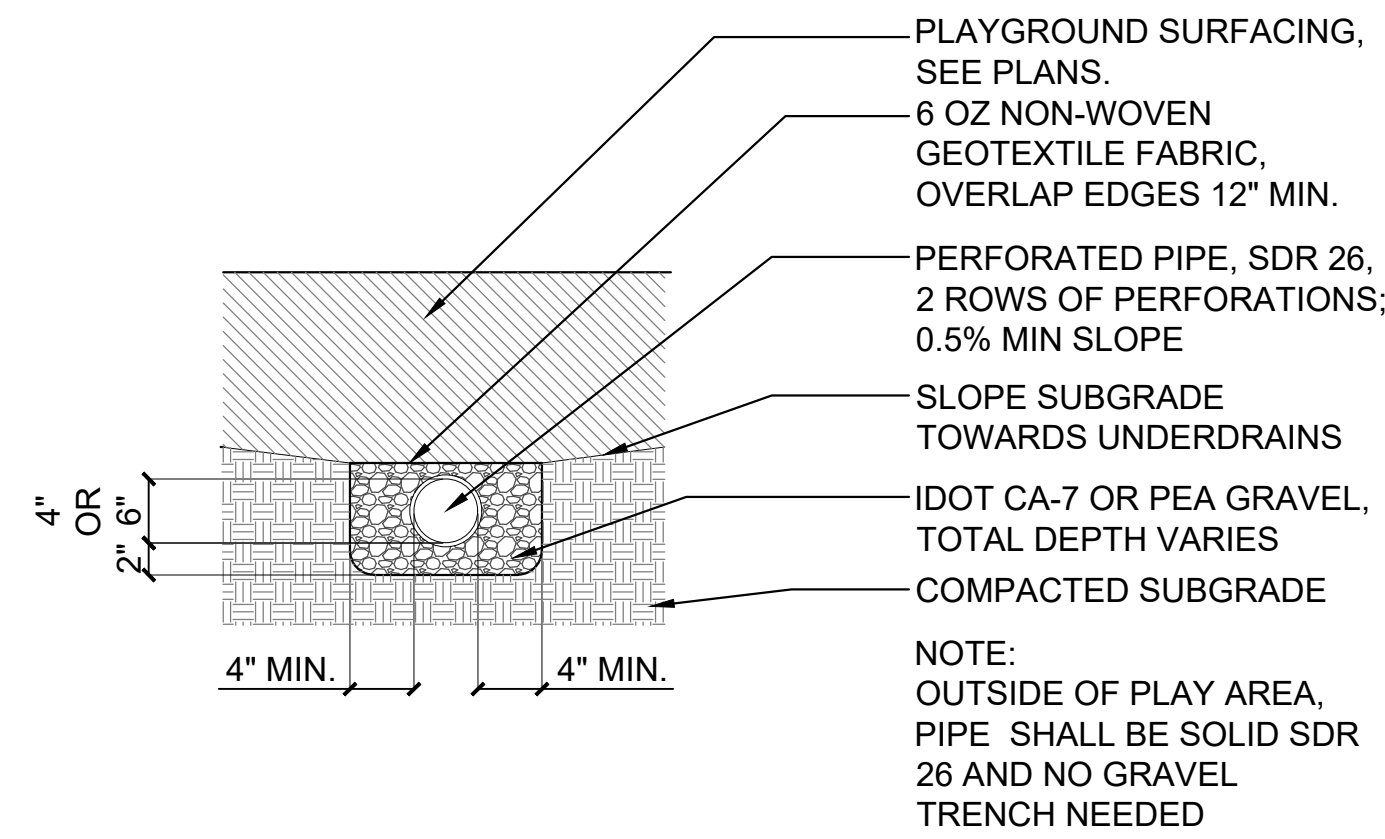
## SHEET TITLE Construction Details

SHEET NUMBER

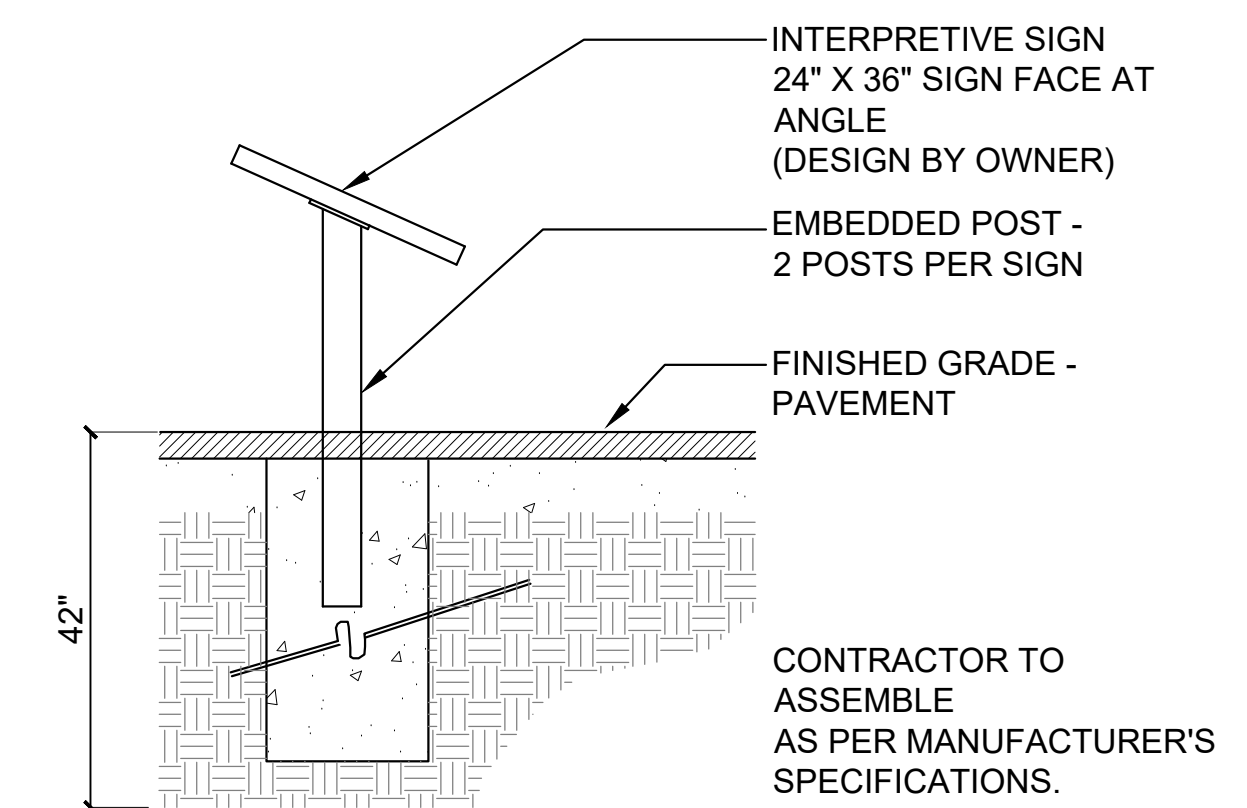
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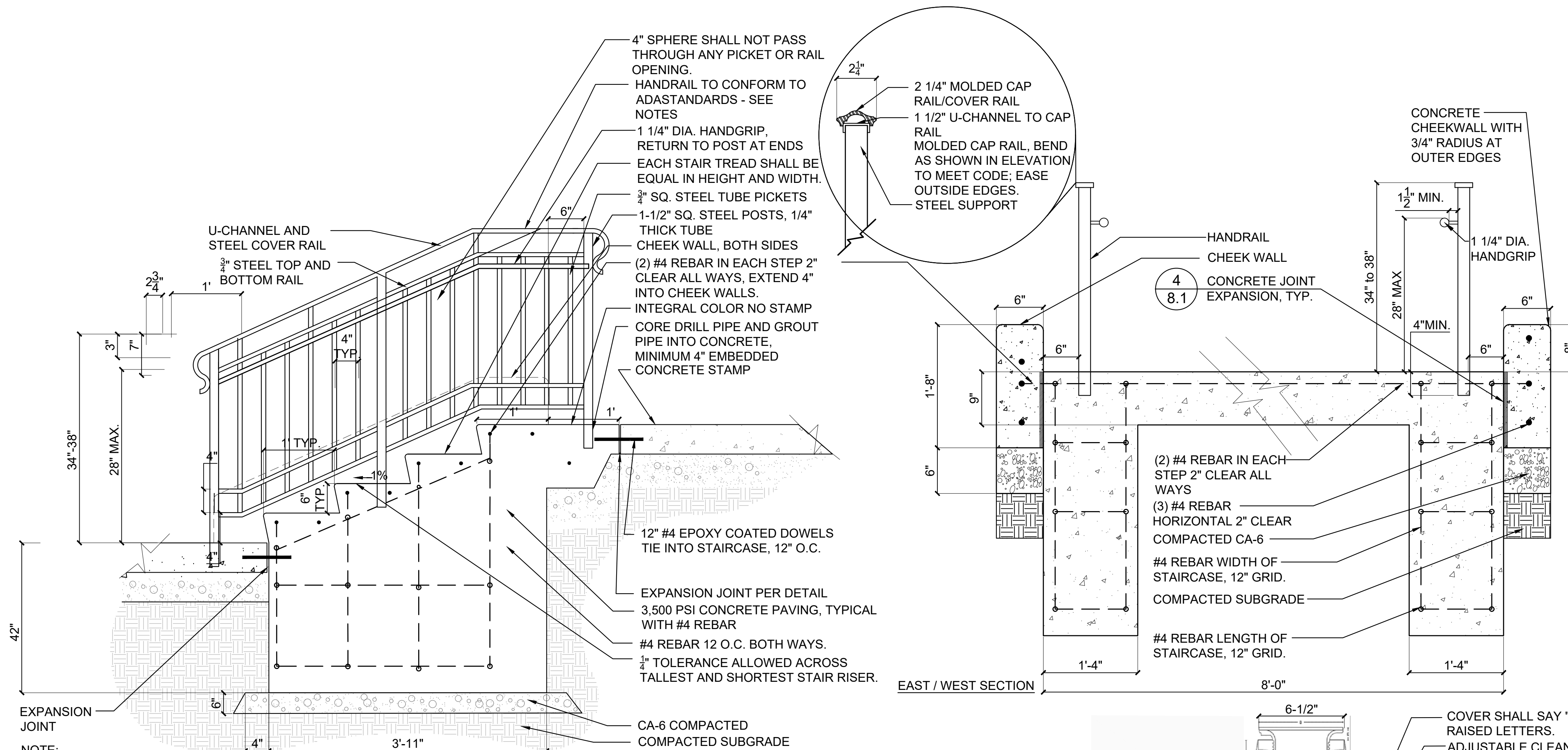
**2** Shade Structure Footing-Single  
SCALE: 1/4"=1'-0"  
d-shadepostfooting\_48



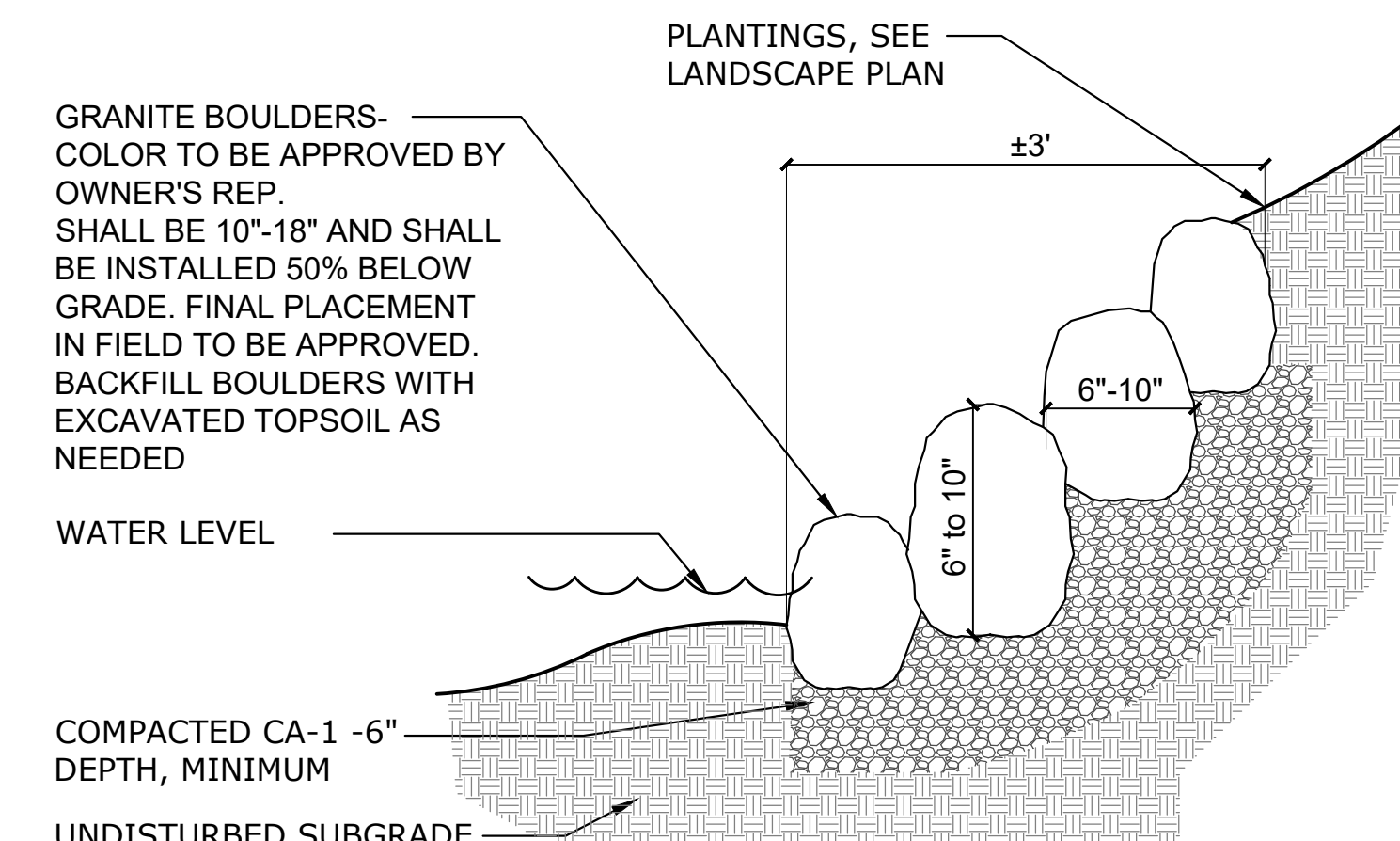
**3** Playground Underdrainage  
SCALE: 1"=1'-0"  
d-playground underdrainage\_12



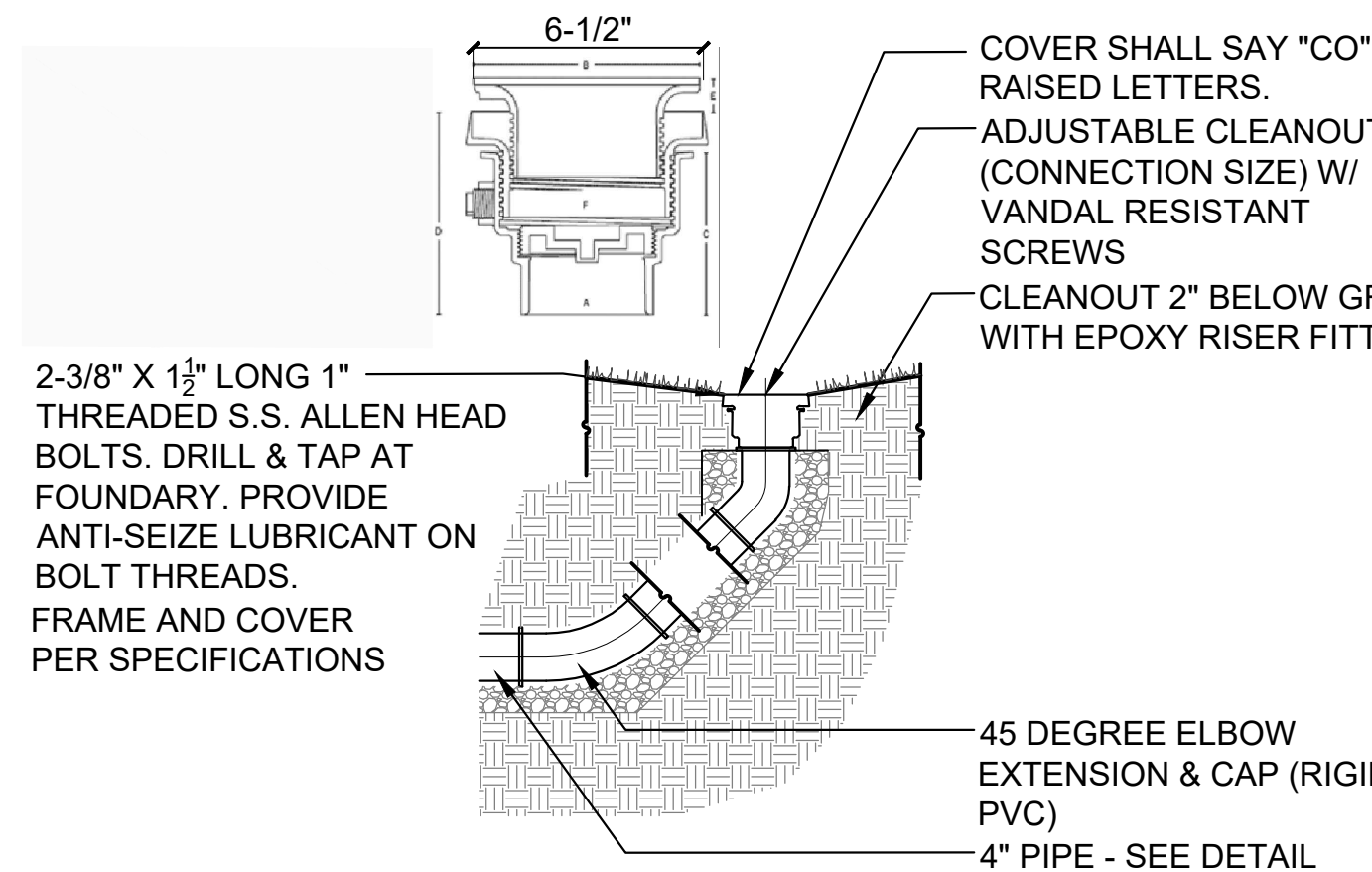
**5** Interpretive Sign  
SCALE: N.T.S.  
d-sign\_interpsign\_12.dwg



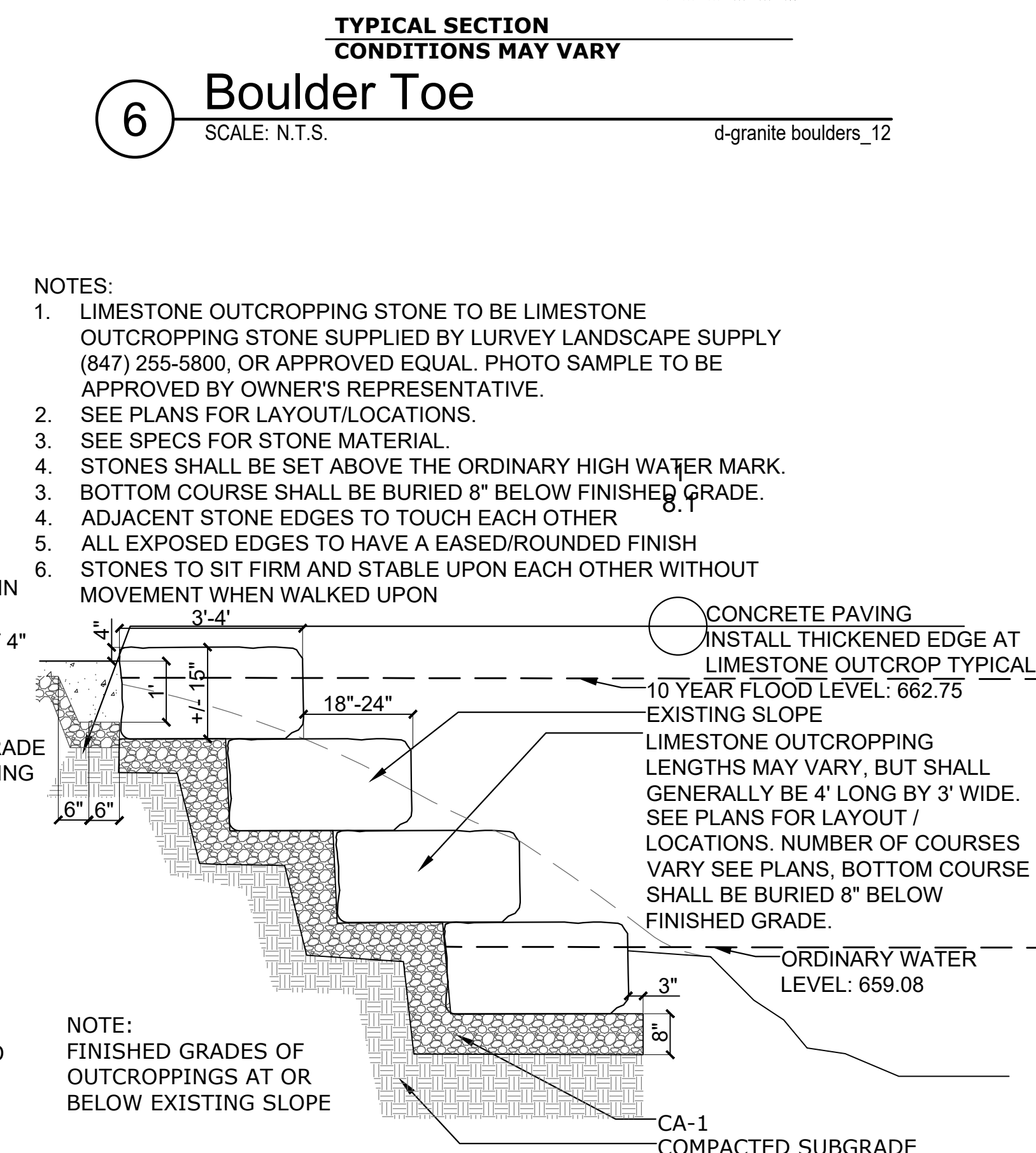
**1** Stairs with Handrail  
SCALE: N.T.S.  
d-cc-strcase-hndrail



**6** Boulder Toe  
SCALE: N.T.S.  
d-granite boulders\_12



**4** Drain Cleanout  
SCALE: N.T.S.  
d-drain cleanout\_16



**7** Limestone Outcrop  
SCALE: 1/2"=1'-0"  
d-plant\_3\_limestone outcrop\_16.dwg



1450 Forest Gate Rd,  
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PROJECT  
**Central Park  
Phase II  
Development**

1315 Kennington Rd,  
Oak Brook, Illinois 60523

PROJECT TEAM

**uplandDesign Ltd**  
Landscape Architecture & Park Planning  
Chicago, Illinois 312-350-4088  
Plainfield, Illinois 815-254-0091  
uplandDesign.com

CIVIL ENGINEER & SURVEYOR  
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REVISIONS

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**Issued for Bid** 06JAN2023

PROJECT NUMBER

**1040**

SHEET TITLE  
**Construction  
Details**

SHEET NUMBER

**8.3**

PRELIMINARY: NOT FOR CONSTRUCTION

Shelter Systems Inc  
DISTINCTIVE STEEL SHELTERS  
WWW.ICONSHELTERS.COM  
COPYRIGHT 2021, ICON SHELTER SYSTEMS, INC.  
1455 LINCOLN AVE.  
HOLLAND MI 49423  
616.396.0919  
800.748.0985  
616.396.0944 FX

Frame

DRAWN BY:  
ACP  
DATE:  
9/12/2022  
PRELIMINARY ID:  
76894  
REVISION:  
A  
BUILDING TYPE:  
BX50TA-P4  
PROJECT NAME:

SHEET  
**3.0**

ALL STRUCTURAL COMPONENTS WILL BE:  
TUBE: ASTM A500 GRADE B  
PLATE: ASTM A36  
BOLTS: ASTM A325  
NUTS: ASTM A563  
WELDING: GMAW

NOTE:  
COLUMN SIZE: HSS 14x6x5/16

DWG:Shelters\BX\50\TA-P4-50-90-30\Drawings\Preliminary\BX50TA-P4-50-90-30-76894.dwg

### ELECTRICAL INFORMATION - BANDSHELL HEXAGON

ICON'S STANDARD ELECTRICAL IS DESIGNED TO ACCOMMODATE Ø1/2" CONDUIT WITH A Ø3" INLET HOLE ON THE BOTTOM OF EACH COLUMN. THE CONDUIT PATHWAY RUNS THROUGH THE COLUMN, RAFTER, AND RIDGE BEAM THROUGH ALL BOLTED CONNECTIONS AS SHOWN. IF YOU HAVE SPECIAL ELECTRICAL REQUIREMENTS, PLEASE OUTLINE ANY CHANGES BELOW AS DESCRIBED.

PLEASE NOTE: DESIGN LIMITATIONS ON HOLE/CUTOUT SIZES MAY APPLY. ICON WILL REACH OUT TO DISCUSS ANY SUCH LIMITATIONS AS NEEDED.

NOTE: ICON SHELTER FRAME IS NOT UL LISTED TO ACT AS A CONDUIT FOR ELECTRICAL WIRING. CONSULT LOCAL BUILDING CODES WHEN PLANNING YOUR ELECTRICAL SYSTEM. GENERAL CONTRACTOR TO COORDINATE

**OPTIONAL EXIT HOLES**  
IF REQUIRED, EXIT HOLES FOR LIGHTING, ETC. CAN BE PLACED IN THE RAFTER, PURLIN, AND/OR COMPRESSION RING WITH 14ga COVER PLATE (CHARGES APPLY). USE FRAME SHEET OF THIS PRELIMINARY TO SPECIFY REQUIRED EXIT HOLE LOCATIONS AND SIZE.

PRELIMINARY: NOT FOR CONSTRUCTION

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DISTINCTIVE STEEL SHELTERS  
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HOLLAND MI 49423  
616.396.0919  
800.748.0985  
616.396.0944 FX

Electrical

DRAWN BY:  
ACP  
DATE:  
9/12/2022  
PRELIMINARY ID:  
76894  
REVISION:  
A  
BUILDING TYPE:  
BX50TA-P4  
PROJECT NAME:

SHEET  
**5.0**

**STEPS:**  
1. CONDUIT HOLE SIZE (DETAIL A)  
2. ELECTRICAL EXIT HOLES (DETAIL B)  
3. ELECTRICAL ACCESS & COVER PLATES (DETAIL C)  
4. ELECTRICAL CONDUIT PATHWAY (DETAIL D)

IF REQUIRED, PLEASE DRAW THE NECESSARY ELECTRICAL CONDUIT PATHWAY ON THE FRAME SHEET OF THIS PRELIMINARY.

**DETAIL A**

ICON PROVIDES A MINIMUM OF (1) 3/4" HOLE AT EACH CONNECTION FOR 1/2" CONDUIT. IF APPLICABLE, PLEASE SPECIFY REQUIRED CONDUIT SIZE: (CHARGES APPLY)

- 3/4" CONDUIT (1" HOLES)
- 1" CONDUIT (1 1/4" HOLES)
- OTHER (PLEASE SPECIFY)

**DETAIL B**

**DETAIL C**

**DETAIL D**

**OPTIONAL CUTOUTS**  
USE FRAME SHEET OF THIS PRELIMINARY TO SPECIFY REQUIRED CUTOUT LOCATIONS (CHARGES APPLY). SEE REQUIRED INFO BELOW

(1) STANDARD CUTOUT SIZE SHOWN. SPECIFY IF OTHER SIZE REQUIRED.

(2) CUTOUTS WILL BE ON INSIDE FACE OF COLUMN UNLESS OTHERWISE INDICATED ON FRAME SHEET.

(3) SPECIFY HEIGHT ABOVE FINISHED GRADE FOR EACH CUTOUT AS SHOWN

(4) COVER PLATES PROVIDED UPON REQUEST (CHARGES APPLY). PLEASE SPECIFY TYPE AND QUANTITY REQUIRED:

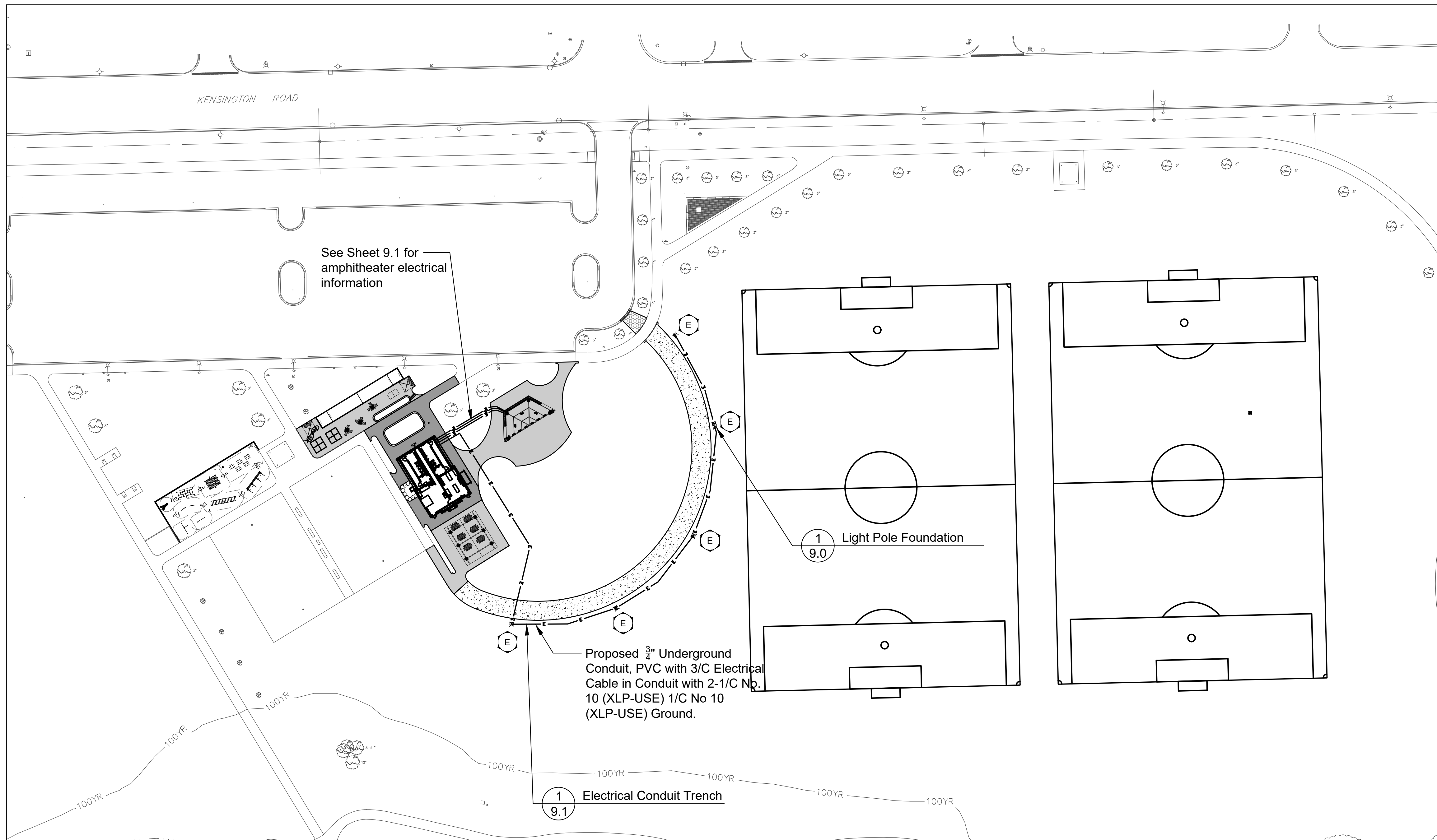
- PLATE & STRAP
- POP-RIVET COVER PLATE

HOW MANY REQUIRED?

NOTE: BUILDING DEPICTED ON THIS SHEET FOR ILLUSTRATION PURPOSES ONLY. ACTUAL LAYOUT AND FRAME MEMBER QUANTITIES VARY BY DESIGN. PLEASE REFER TO ELEVATION AND FRAME SHEETS IN THIS PRELIMINARY FOR ORDER-SPECIFIC CONFIGURATION.

DWG:Shelters\BX\50\TA-P4-50-90-30\Drawings\Preliminary\BX50TA-P4-50-90-30-76894.dwg



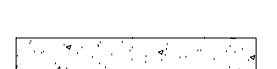
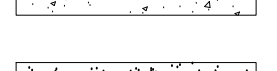
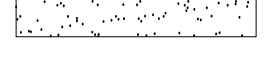
**1** Amphitheater Shelter  
SCALE: NTS

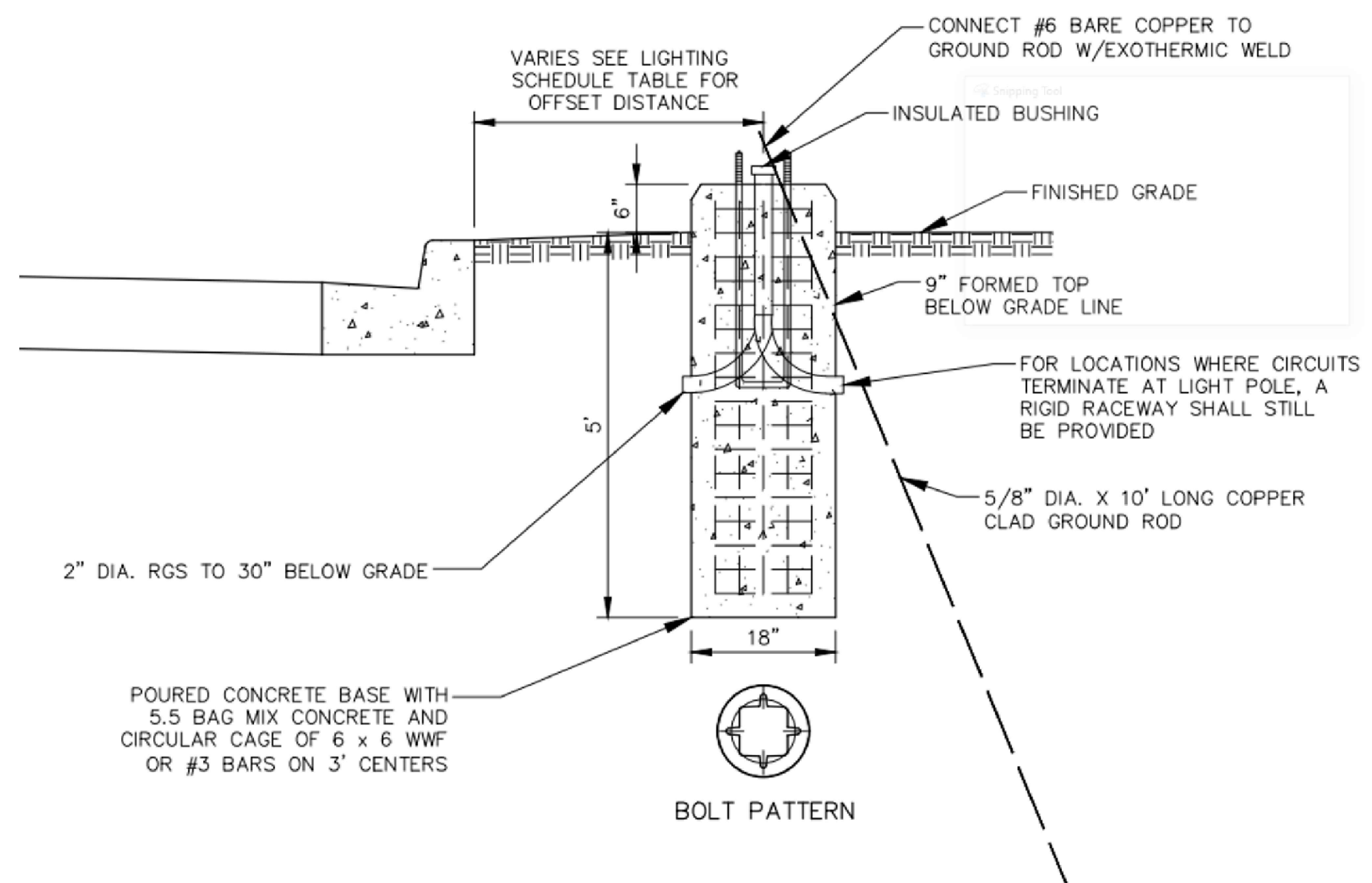
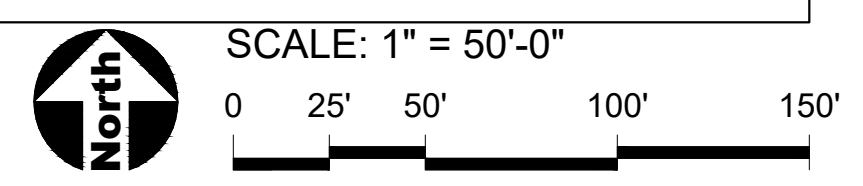


GENERAL NOTES: ELECTRICAL

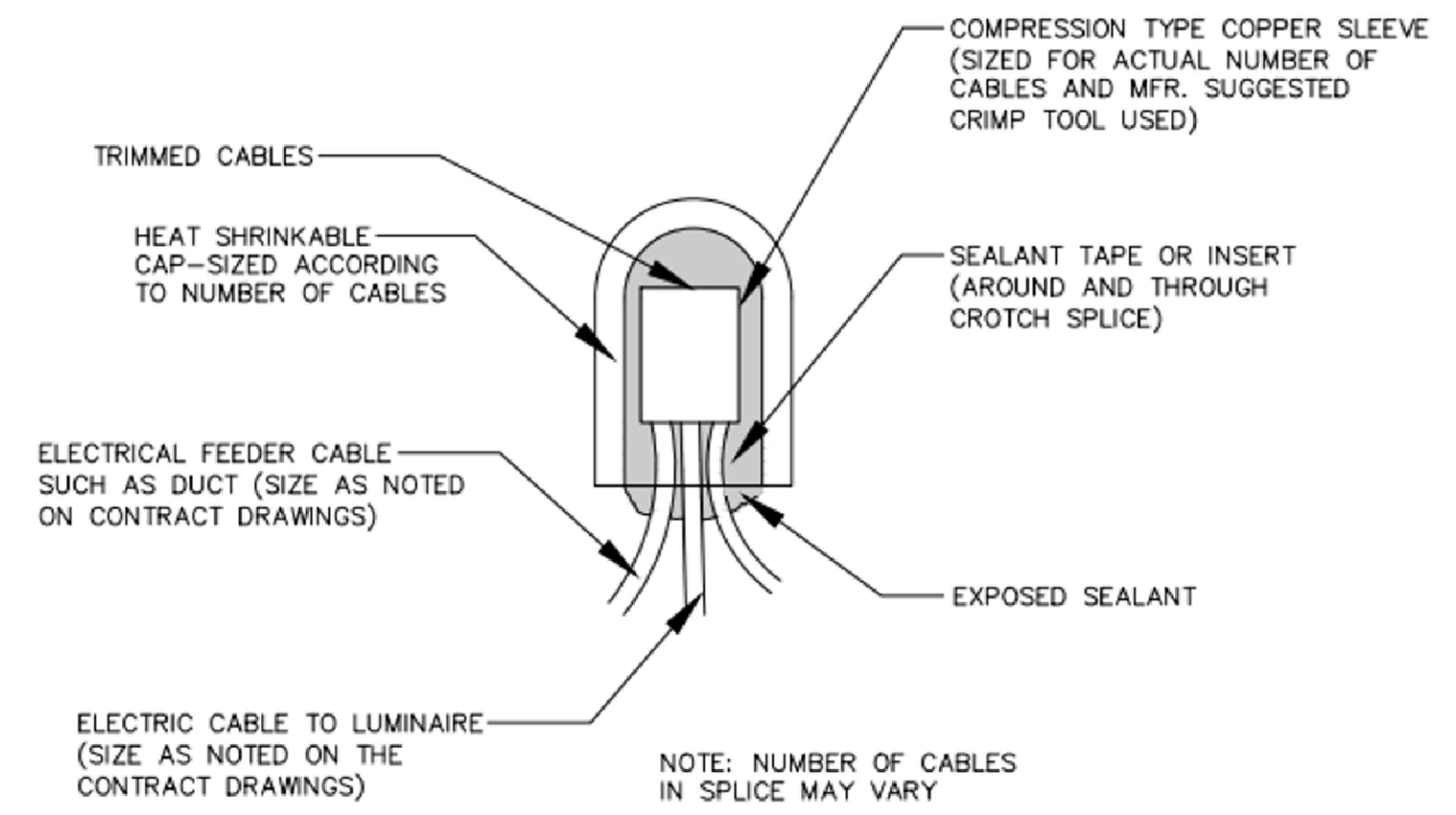
1.

LEGEND

-  Turfstone
-  Concrete Paving
-  Heavy Duty Concrete Paving
-  Poured in Place Rubber Surfacing
-  Pedestrian Light Pole



**1 Light Pole Foundation**  
SCALE: 3/4"=1'-0" d-electrical light pole foundation\_16.dwg



**2 Above Ground Splicing Electric Cable**  
SCALE: 1"=1'-0" d-electrical trench-ERA\_12



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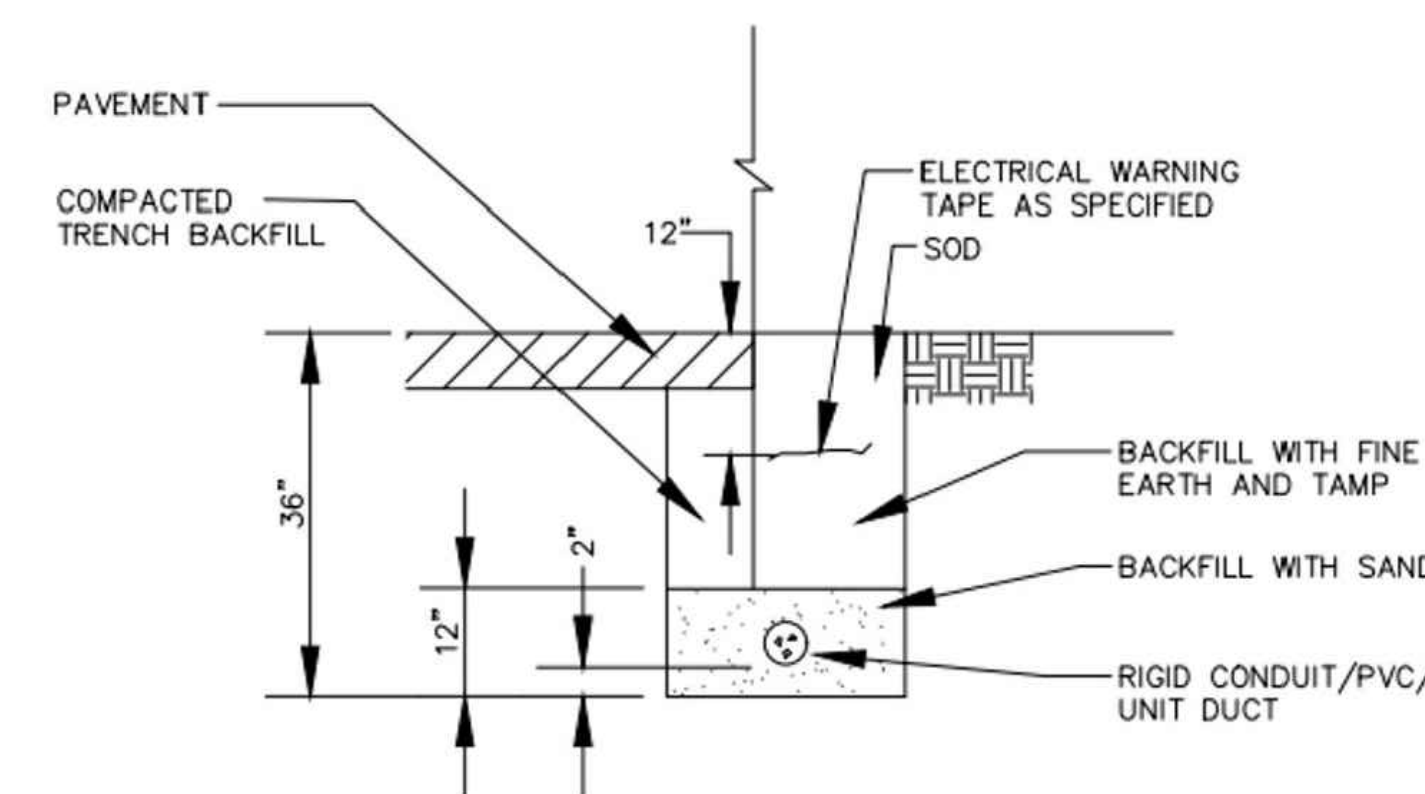
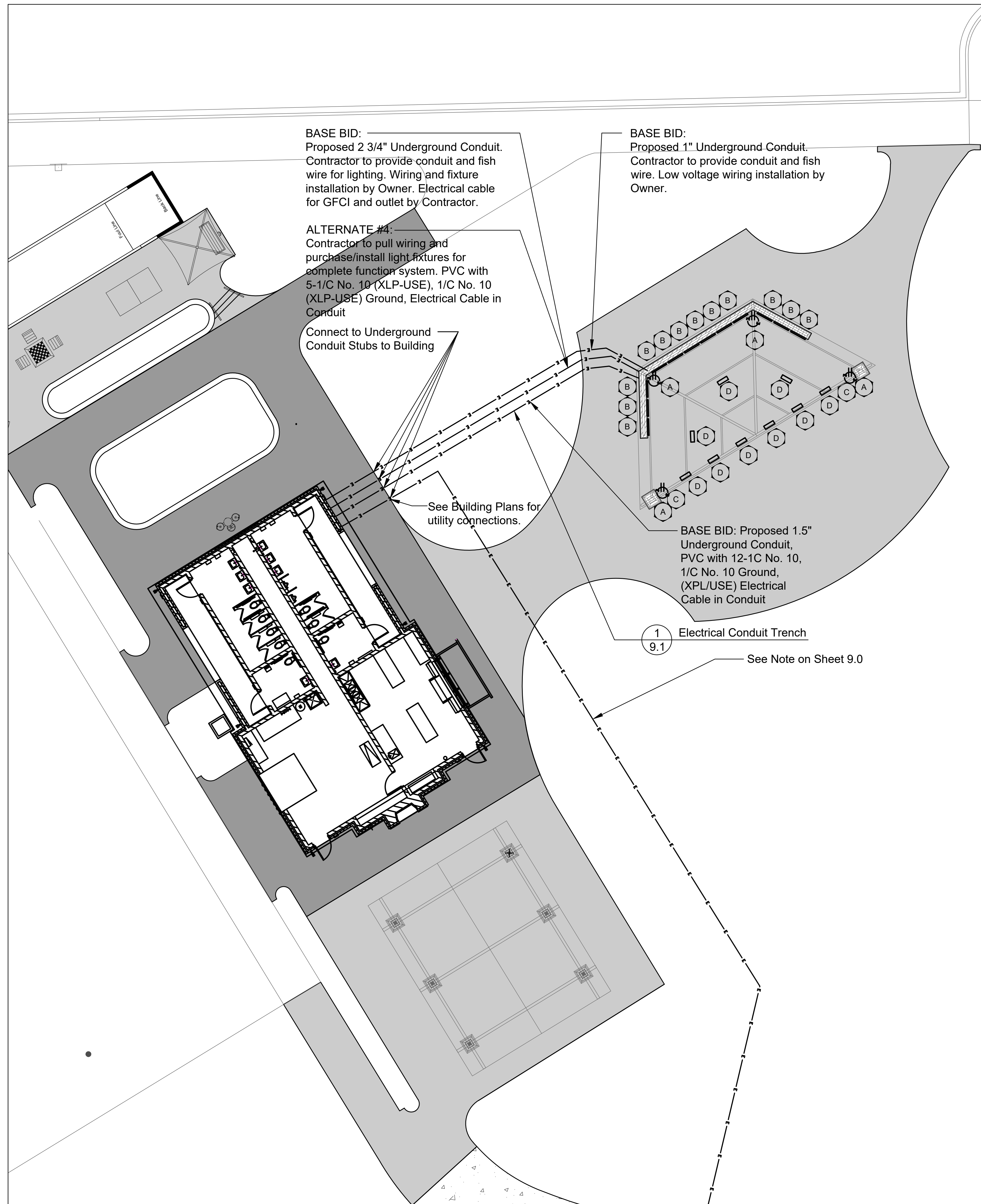
PROJECT NUMBER  
**1040**

SHEET TITLE  
**Electrical Plan  
- Overall**

SHEET NUMBER

**9.0**





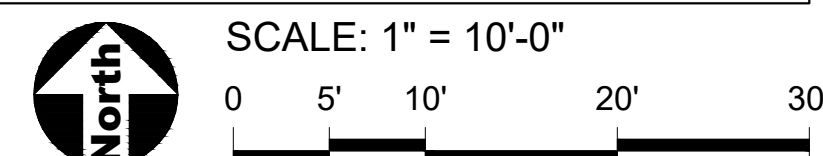
1 **Electrical Conduit Trench**  
SCALE: 1"=1'-0" d-electrical trench-ERA\_12

**ELECTRICAL AMENITIES SCHEDULE**

Key	Item	Quantity	Model	Fixture Wattage	Load	Manufacturer	Supplier
A	GFCI Quad Outlet with Lockable Cover	8			1440		
B	Illumiline ML	12	#ILUMILINEML	66W	792	Iuminarc	IuminArc (954) 577-4455
C	Illumipod SL	2	#ILUMIPODSL	58W	116	Iuminarc	IuminArc (954) 577-4455
D	Illumipanel ML	9	#ILUMIPANELML	184W	1656	Iuminarc	IuminArc (954) 577-4455
E	Original Alcott Pedestrian Light with 12' pole and concrete foundation	5	#VPR-EA30-LED - Dark Bronze #RAL-8019-T- Bronze Smooth #3500B - Bronze Smooth	65W	325	US Architectural Lighting	US Architectural Lighting (661) 233-2000
	<b>Total</b>				<b>4329</b>		

**LEGEND**

- Turfstone
- Concrete Paving
- Heavy Duty Concrete Paving
- Poured in Place Rubber Surfacing



**GENERAL NOTES: ELECTRICAL**

- See Sheet 9.0 for Electrical Notes.



1450 Forest Gate Rd,  
Oak Brook, Illinois 60523  
Phone: 630-990-4233

**PROJECT**  
**Central Park**  
**Phase II**  
**Development**

1315 Kennington Rd,  
Oak Brook, Illinois 60523

**PROJECT TEAM**

**uplandDesign Ltd**  
Landscape Architecture & Park Planning  
Chicago, Illinois 312-350-4088  
Plainfield, Illinois 815-254-0091  
uplandDesign.com

**CIVIL ENGINEER & SURVEYOR**  
Engineering Resource Associates  
3s701 West Avenue, Suite 150  
Warrenville, Illinois 60555  
IL License 184-001186

**REVISIONS**

MB/EM	ISSUE FOR BID	06JAN2022

ORIGINAL ISSUE DATE  
**Issued for Bid** 06JAN2023

**PROJECT NUMBER**

**1040**

**SHEET TITLE**  
**Electrical Plan**  
**- Shelter /**  
**Amphitheater**

**SHEET NUMBER**

**9.1**

# CODE INFORMATION

2015 INTERNATIONAL BUILDING CODE w/ AMENDMENTS  
 2015 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS  
 2014 NATIONAL ELECTRIC CODE (NEC) w/ AMENDMENTS  
 2015 INTERNATIONAL PLUMBING CODE (INCLUDING AFFENDIX CHAPTERS C AND F)  
 2014 ILLINOIS STATE PLUMBING CODE  
 2015 INTERNATIONAL FIRE CODE  
 2015 INTERNATIONAL FUEL GAS CODE BY REFERENCE  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE w/ ILLINOIS STATE AMENDMENTS  
 2000 LIFE SAFETY CODE, NFPA 101  
 ILLINOIS ACCESSIBILITY CODE - CURRENT EDITION

# PROJECT DATA

JURISDICTION: OAK BROOK, ILLINOIS, DUPAGE COUNTY  
 BUILDING HEIGHT: 22'-2"  
 BUILDING AREA: 1000 SQ. FT.  
 AREA OF CONSTRUCTION: 1000 SQ. FT.  
 TYPE OF CONSTRUCTION: V-B  
 FIRE SUPPRESSION: N/A

# New Pavilion for: OAK BROOK PARK DISTRICT 1315 Kensington Road Oak Brook, Illinois

# INDEX OF DRAWINGS

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ISSUE DATE:	01/06/2023
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G12 CODE COMPLIANCE, ABBREVIATIONS & SYMBOLS	●
CIVIL - UNDER SEPARATE COVER	GENERAL
00 TITLE SHEET	●
10 EXISTING CONDITIONS & REMOVALS PLAN	●
20 STORMWATER POLLUTION PREVENTION PLAN	●
21 STANDARD NOTES: SUPP	●
30 LAYOUT PLAN - OVERALL	●
31 LAYOUT PLAN- CHALLENGE COURSE / GAME AREA	●
32 LAYOUT PLAN - SHELTER / AMPHITHEATER	●
40 DIMENSION PLAN - OVERALL	●
41 DIMENSION PLAN - CHALLENGE COURSE / GAME AREA	●
42 DIMENSION PLAN - SHELTER / AMPHITHEATER	●
50 GRADING & DRAINAGE PLAN - OVERALL	●
51 GRADING & DRAINAGE PLAN - CHALLENGE COURSE / GAME AREA	●
52 GRADING & DRAINAGE PLAN - SHELTER / AMPHITHEATER	●
60 LANDSCAPE & RESTORATION PLAN - OVERALL	●
61 LANDSCAPE & RESTORATION PLAN - GAME AREA / AMPHITHEATER / FISHING OUTCROPPING	●
62 LANDSCAPE & RESTORATION PLAN - SHELTER	●
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11 IRRIGATION: OVERALL TWO-WIRE SCHEMATIC	●
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81 CONSTRUCTION DETAILS	●
82 CONSTRUCTION DETAILS	●
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A22 ROOF PLAN	●
A31 EXTERIOR ELEVATIONS	●
A41 BUILDING SECTIONS & DETAILS	●
A42 AMPHITHEATER WALL PLAN, ELEVATIONS & DETAIL	●
A71 REFLECTED CEILING PLAN	●
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S00 GENERAL STRUCTURAL NOTES	●
S11 FOUNDATION PLANS	●
S12 ROOF FRAMING PLANS	●
S21 FOUNDATION SECTIONS & DETAILS	●
S31 ROOF FRAMING SECTIONS & DETAILS	●
ELECTRICAL	GENERAL
E11 ELECTRICAL PLAN	●



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 Naperville, Illinois 60563  
 630.357.2023  
 cvgarchitects.com

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**ISSUE AND/OR REVISIONS:**

NO.	DATE	DESCRIPTION
01/06/2023	01/06/2023	ISSUE FOR BID

**PROJECT:**

NEW PAVILION FOR:  
**OAK BROOK PARK DISTRICT**  
 1315 KENSINGTON ROAD  
 OAK BROOK, ILLINOIS

# GENERAL NOTES

- A. CODES, REFERENCES & MISCELLANEOUS NOTES**
- ALL CONSTRUCTION AND MATERIALS USED SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF ALL APPLICABLE CODES AS LISTED ON THIS SHEET AND ALL OTHER APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS HAVING JURISDICTION.
  - JURISDICTIONAL APPROVAL OF ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DOCUMENTS IS PROVIDED BY ARCHITECT. G.C. TO OBTAIN AND PAY FOR FINAL PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
  - REVIEW DOCUMENTS, VERIFY DIMENSIONS / FIELD CONDITIONS, AND CONFIRM WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK. IN QUESTION.
  - ALL WORK TO BE PERFORMED BY SKILLED CRAFTSMEN CAPABLE OF PROVIDING THE DESIGN INTENT. FINAL SAY OF INSTALLED QUALITY IS AT THE SOLE DISCRETION OF THE DESIGN PROFESSIONAL.
  - SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
  - COORDINATE WORK WITH OWNER, INCLUDING SCHEDULING TIME, LOCATIONS FOR DELIVERIES AND BUILDING ACCESS.
- B. FIRE PROTECTION NOTES**
- OWNER WILL PROVIDE WORK NOTED 'BY OTHERS' OR 'NIC' UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
  - PROVIDE FOR COORDINATION OF TELECOMMUNICATIONS, DATA, SECURITY SYSTEM, AND MUSIC INSTALLATIONS.
  - MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
  - MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.
- C. CONSTRUCTION NOTES**
- REFER TO DRAWING G12 FOR GRAPHIC SYMBOLS, ABBREVIATIONS AND ACCESSIBILITY (ADA) INFORMATION.
  - REFER TO PROJECT MANUAL (WHEN APPLICABLE) AND DOOR SCHEDULE FOR DOOR AND FINISH HARDWARE INFORMATION.
  - PARTITIONS ARE DIMENSIONED TO FACE OF FINISH UNLESS NOTED OTHERWISE.
  - DO NOT SCALE DRAWINGS. ALL NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. NOTIFY ARCHITECT IMMEDIATELY WHERE CONFLICTS ARISE.
  - PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
  - ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID MOLECULAR BREAKDOWN.

# CONTACT INFORMATION

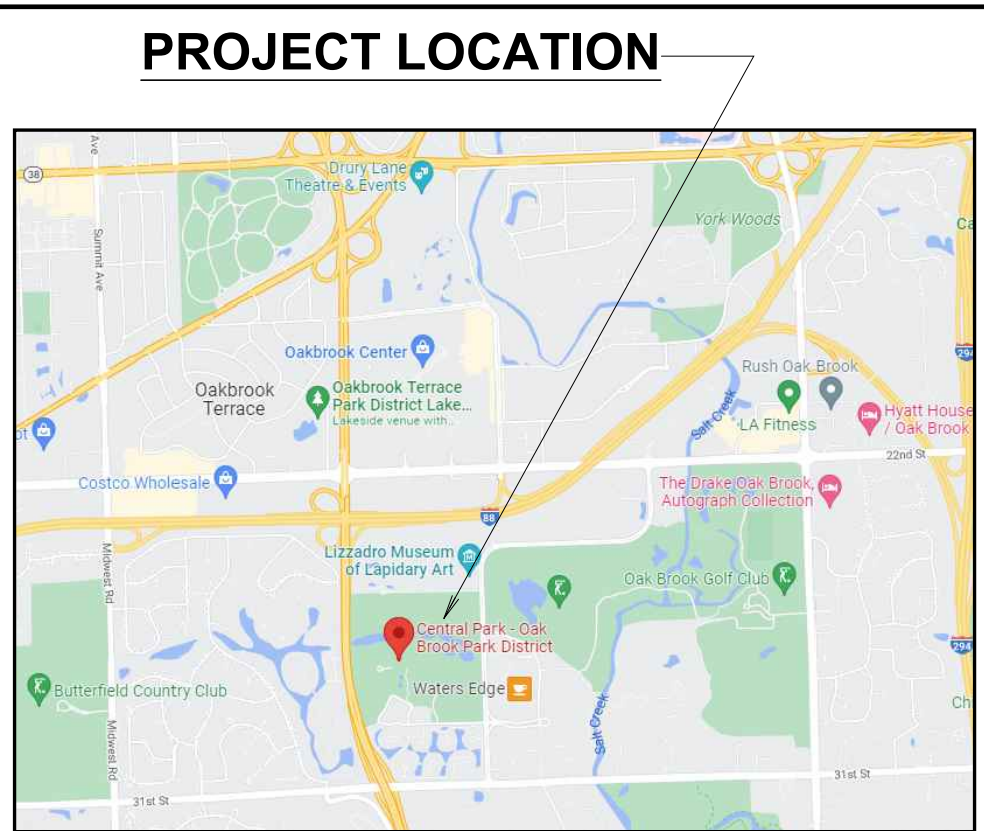
**ARCHITECT**  
 CHARLES VINCENT GEORGE ARCHITECTS, INC.  
 1245 E DIEHL ROAD, SUITE 101  
 NAPERVILLE, IL 60563  
 PH: 630-357-2023  
 FX: N/A  
 CONTACT: JEFF LIETZ  
 E-MAIL: JLIEZT@CVGARCHITECTS.COM  
 DESIGN FIRM NO: 184-000544

**OWNER**  
 OAK BROOK PARK DISTRICT  
 1450 FOREST GATE ROAD  
 OAK BROOK, IL 60523  
 PH: 630-645-9540  
 FX: N/A  
 CONTACT: BOB JOHANSON  
 E-MAIL: BJOHANSON@OAKBROOKPARKS.ORG  
 DESIGN FIRM NO: N/A

**M/E/P ENGINEER**  
 U7 GROUP  
 2675 PRATUM AVENUE  
 HOFFMAN ESTATES, IL 60132  
 PH: 224-293-6333  
 FX: N/A  
 CONTACT: COREY STALLINGS  
 E-MAIL: CSTALLINGS@U7GROUP.COM  
 DESIGN FIRM NO:

**STRUCTURAL ENGINEER**  
 MCCLUSKEY ENGINEERING CORPORATION  
 1801 HIGH GROVE LANE  
 NAPERVILLE, IL 60540  
 PH: 630-111-5399  
 FX: N/A  
 CONTACT: SCOTT STRNAD  
 E-MAIL: SSTRNAD@MCCLUSKEYENG.COM  
 DESIGN FIRM NO:

# VICINITY MAP



# LOCATION MAP



# DESIGN PROFESSIONAL CERTIFICATION STATEMENT

"I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH ALL APPLICABLE CODES INCLUDING THE ENVIRONMENTAL BARRIERS ACT (410 ILCS) AND THE ILLINOIS ACCESSIBILITY CODE (11 ILL. ADM. CODE 400)."

TITLE:  
 COVER SHEET & PROJECT INFORMATION

DATE: 08/04/2022 PROJECT # 2022-053

PRINCIPAL: BFG SHEET: G1.1

PROJECT MGR: JBL DRAWN BY: PS  
 DATE: 11/2022/DRAWINGS/  
 G1.1 COVER SHEET & PROJECT INFORMATION





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ISSUE AND/OR REVISIONS:

NO.	DATE	DESCRIPTION
	01/06/2023	ISSUE FOR BID

PROJECT:

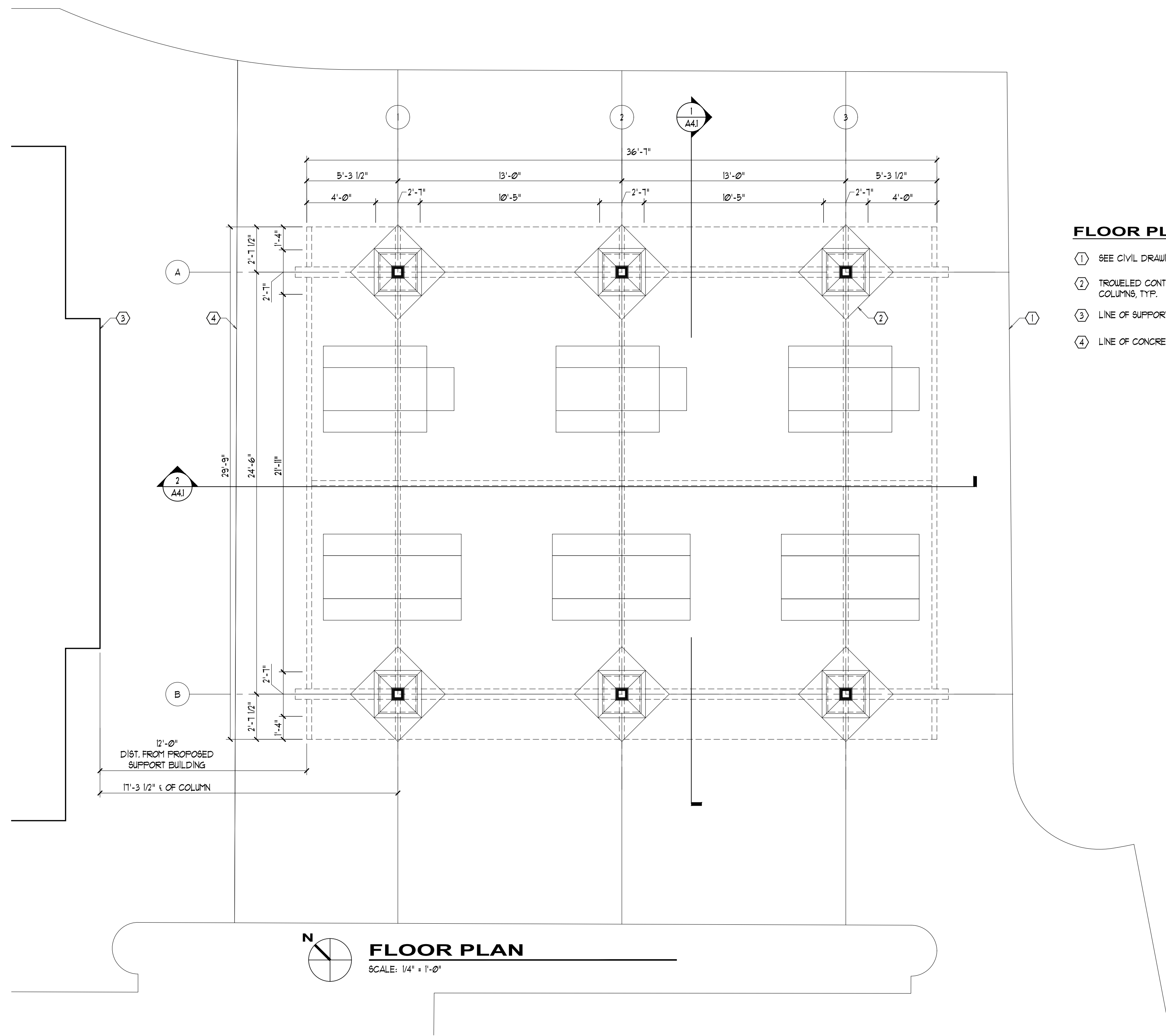
NEW PAVILION FOR:  
**OAK BROOK PARK DISTRICT**  
1315 KENSINGTON ROAD  
OAK BROOK, ILLINOIS

TITLE:  
FLOOR PLAN

DATE: 08/04/2022 PROJECT # 2022-053

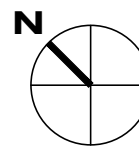
PRINCIPAL: BFG SHEET:

PROJECT MGR: JBL DRAWN BY: PS A2.1  
DRAWING FILE PATH: M:\2022\DRAWINGS\A2.1 FLOOR PLAN



**FLOOR PLAN KEYED NOTES**

- ① SEE CIVIL DRAWINGS FOR SLAB EXTENTS
- ② TROUELED CONTROL JOINTS CENTERED ON COLUMNS, TYP.
- ③ LINE OF SUPPORT BUILDING PER DCEO PROJECT
- ④ LINE OF CONCRETE FOR DCEO / OSLAD PROJECTS



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

12'-0"  
DIST. FROM PROPOSED  
SUPPORT BUILDING

17'-3 1/2" c/c OF COLUMN

2022-08-04 10:58 AM C:\PROJECTS\2022\053\DRAWINGS\A2.1 FLOOR PLAN.dwg



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NO.	DATE	DESCRIPTION
	01/06/2023	ISSUE FOR BID

PROJECT:

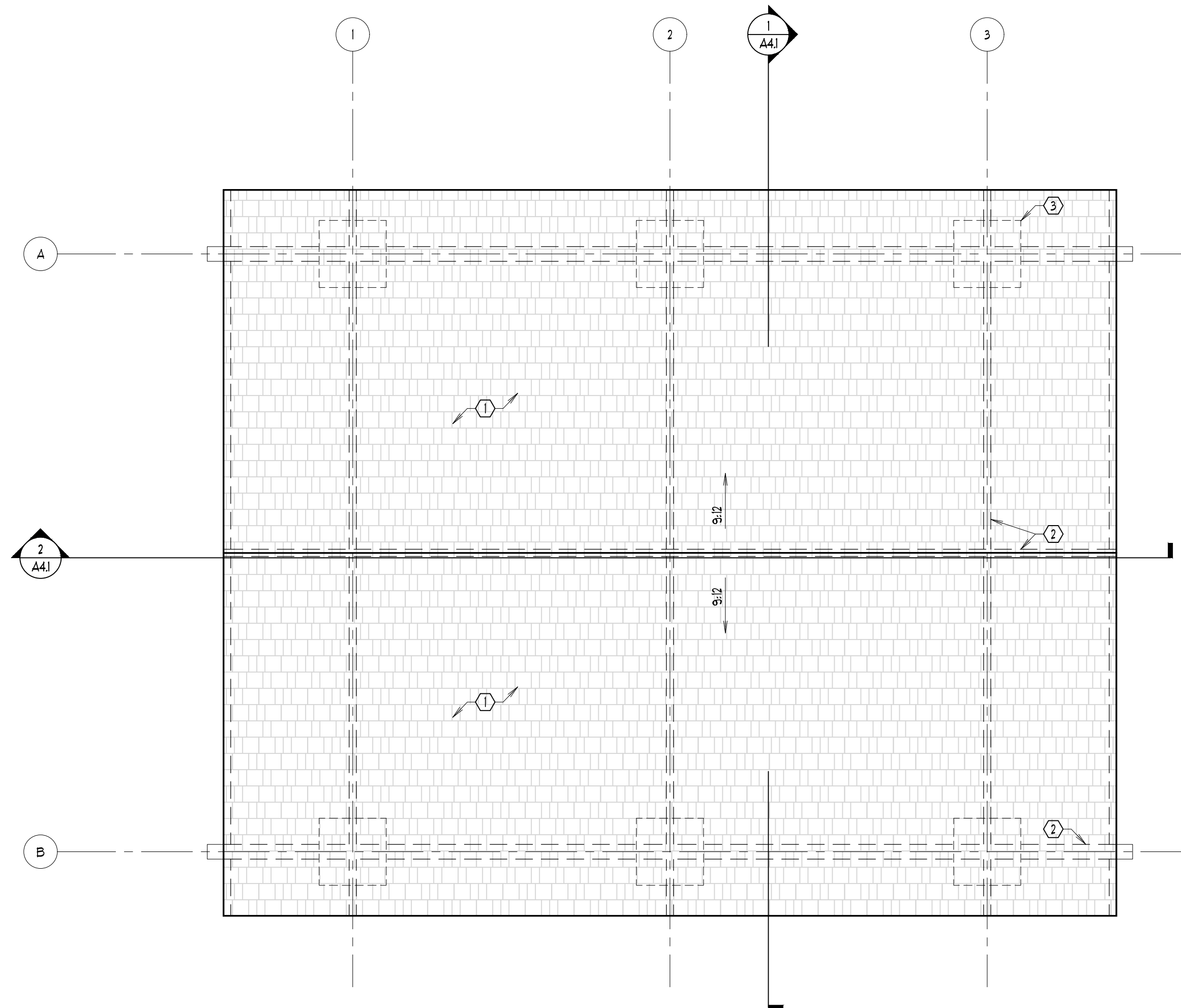
NEW PAVILION FOR:  
**OAK BROOK PARK DISTRICT**  
1315 KENSINGTON ROAD  
OAK BROOK, ILLINOIS

TITLE:  
ROOF PLAN

DATE: 08/04/2022 PROJECT # 2022-053

PRINCIPAL: BFG SHEET: A2.2

PROJECT MGR: JBL DRAWN BY: PS  
DRAWING FILE PATH: M:\2017\DRAWINGS\A2.2 ROOF PLAN



**ROOF PLAN KEYED NOTES**

- ① ASPHALT SHINGLE ROOF ON (2) LAYERS 1/8" BLDG FELT w/ 35 YR FULL SYSTEM WARRANTY. SEE EXTERIOR MATERIAL LEGEND (A31) FOR SHINGLE SPEC.
- ② LINE OF STRUCTURE BELOW SHOWN FOR REFERENCE, TYP.
- ③ LINE OF COLUMN BASE BELOW SHOWN FOR REFERENCE, TYP.

**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

1315 KENSINGTON ROAD DISTRICT PAVILION ROOF PLAN 08/04/2022



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**ISSUE AND/OR REVISIONS:**

NO.	DATE	DESCRIPTION
	01/06/2023	ISSUE FOR BID

**PROJECT:**

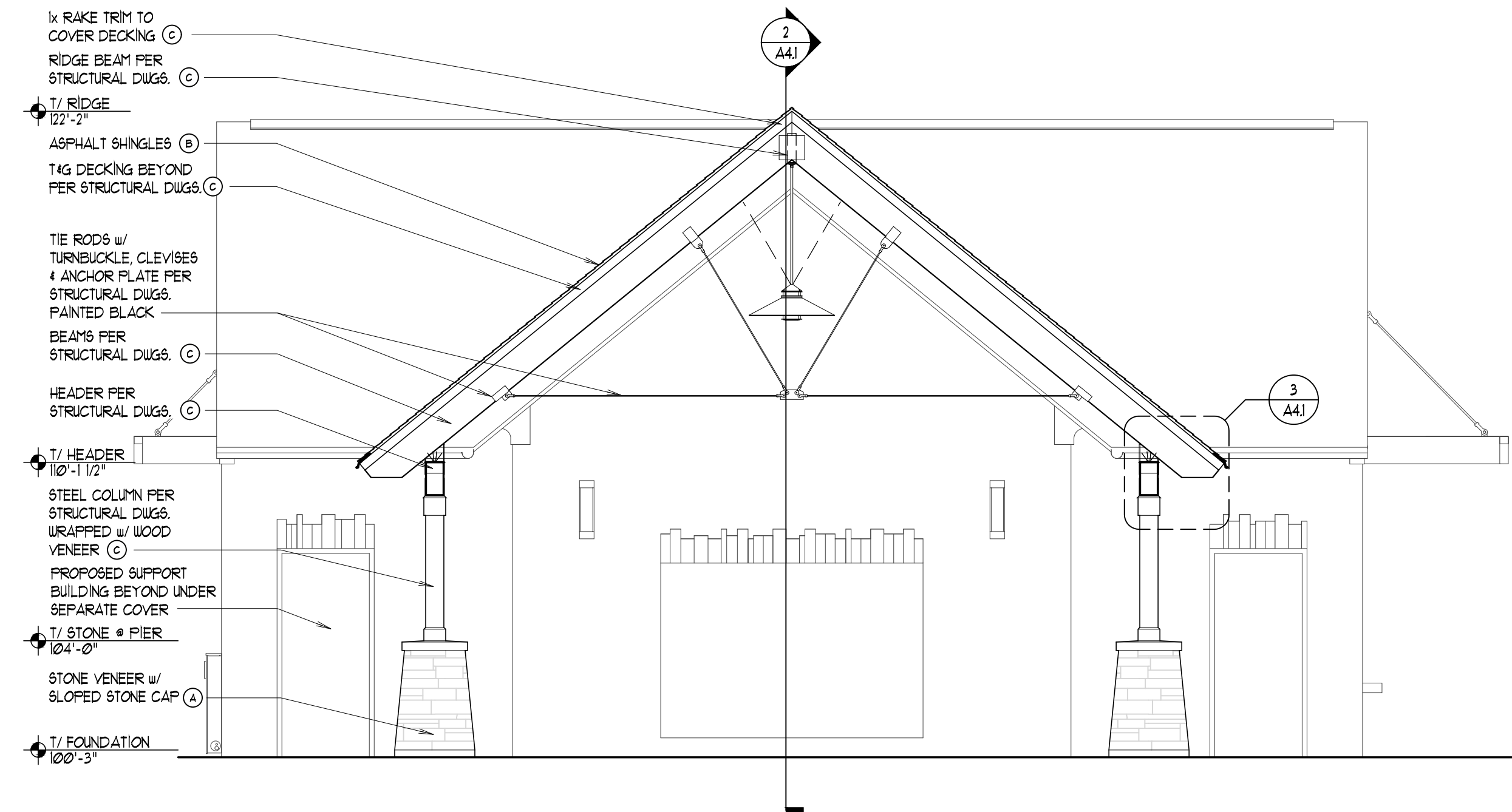
NEW PAVILION FOR:  
**OAK BROOK PARK DISTRICT**  
1315 KENSINGTON ROAD  
OAK BROOK, ILLINOIS

TITLE:  
EXTERIOR ELEVATIONS

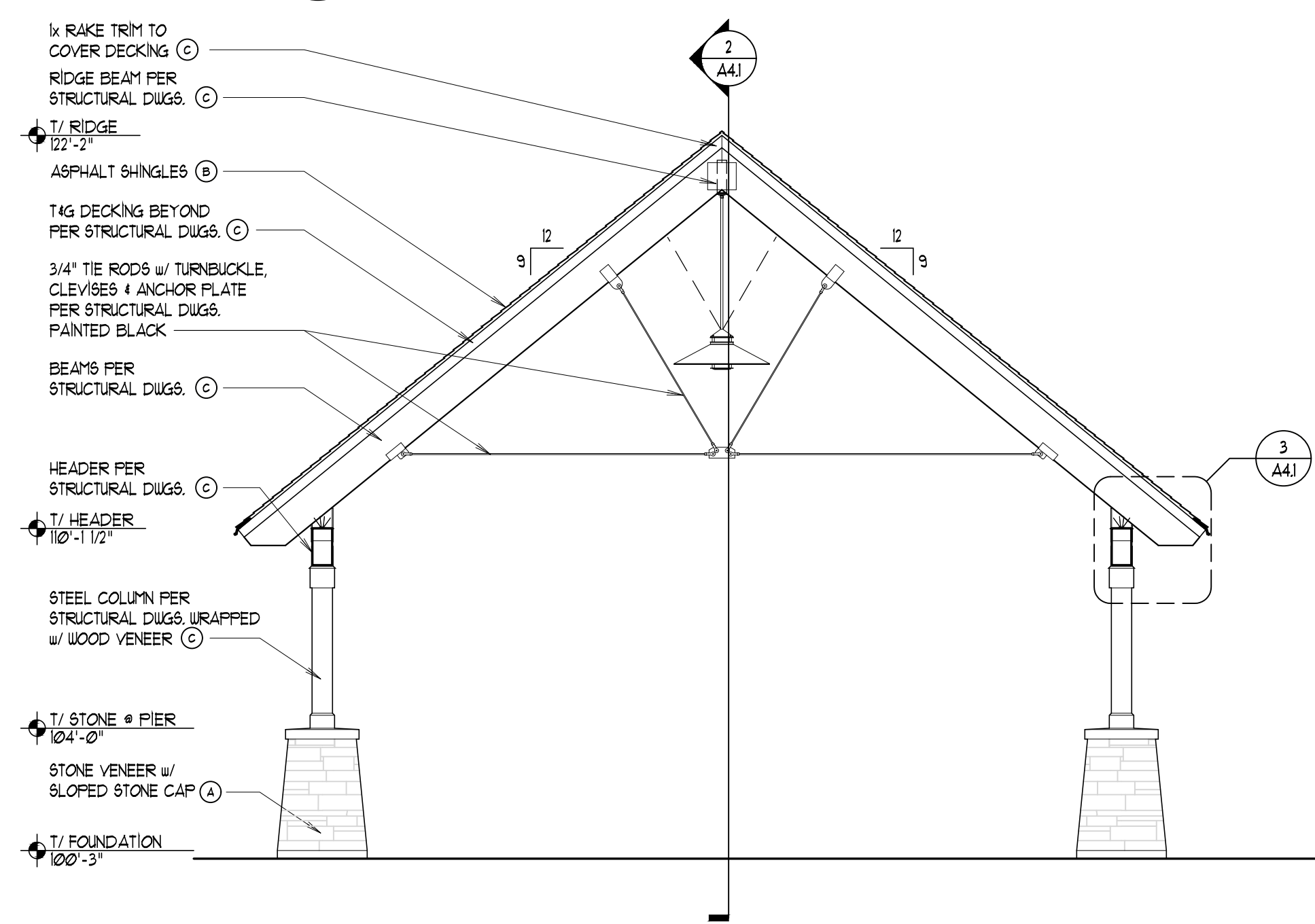
DATE: 08/04/2022 PROJECT #: 2022-053

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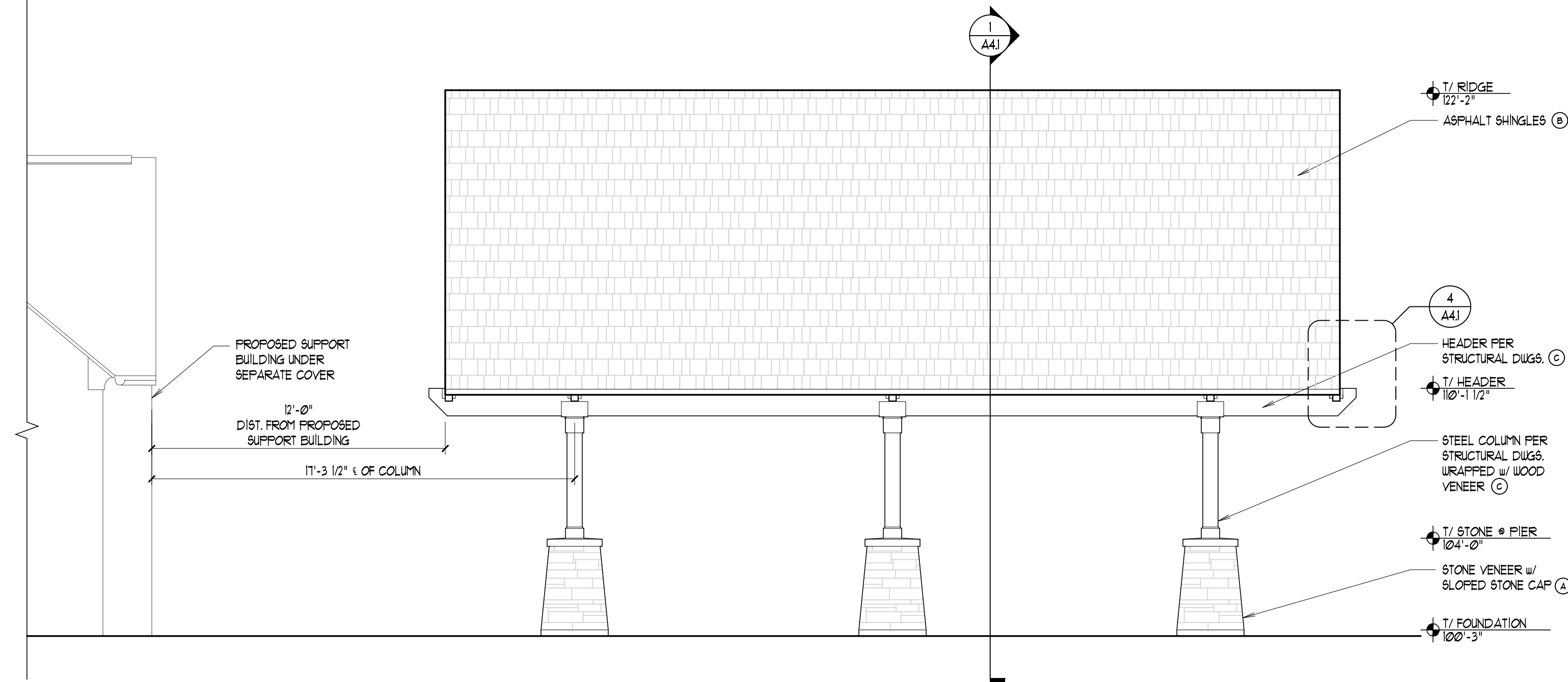
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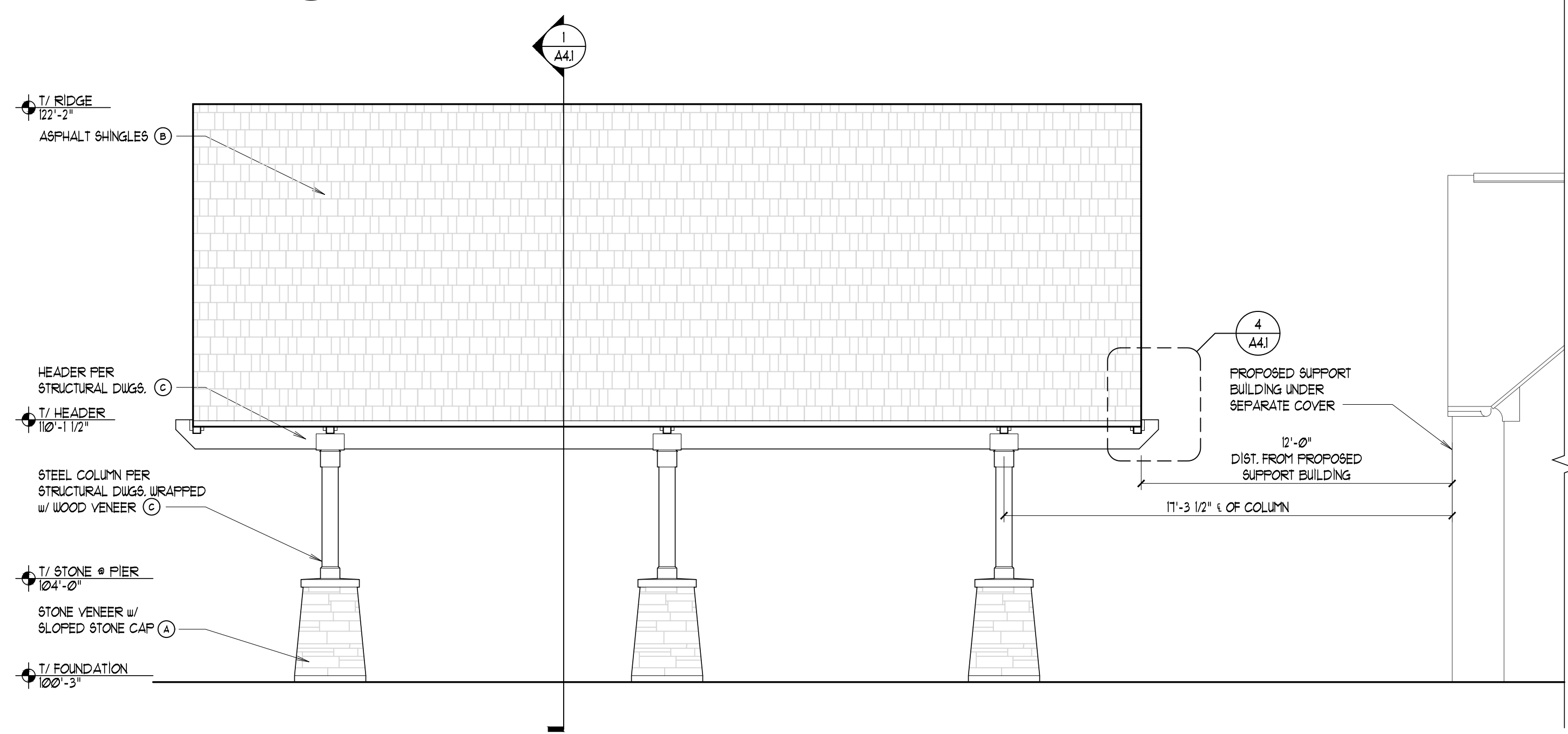
**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND			
SYMBOL	(A)	(B)	(C)
MATERIAL	STONE VENEER	ASPHALT SHINGLES	STAINED WOOD
MANUFACTURER	FOND DU LAC NATURAL STONE	GAF - TIMBERLINE HDZ	MINIAX - WOOD FINISH PER SPECS
COLOR	FOND DU LAC LEDGESTONE 4" DEPTH	WEATHERED WOOD	WEATHERED OAK 210
CONTACT/REMARKS	BRICKS INCORPORATED BRENT SCHMITT 630-891-6926		RIDGE BOARD, TRUSSES, BEAMS, COLUMN WRAPS

2022-08-04 10:58 AM C:\PROJECTS\2022\OAK BROOK PARK DISTRICT\DRAWINGS\EXTERIOR ELEVATIONS\OAK\_BROOK\_PARK\_DISTRICT\_EXTERIOR\_ELEVATIONS\_2022-08-04.dwg



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ISSUE AND/OR REVISIONS:

NO.	DATE	DESCRIPTION
	01/06/2023	ISSUE FOR BID

PROJECT:

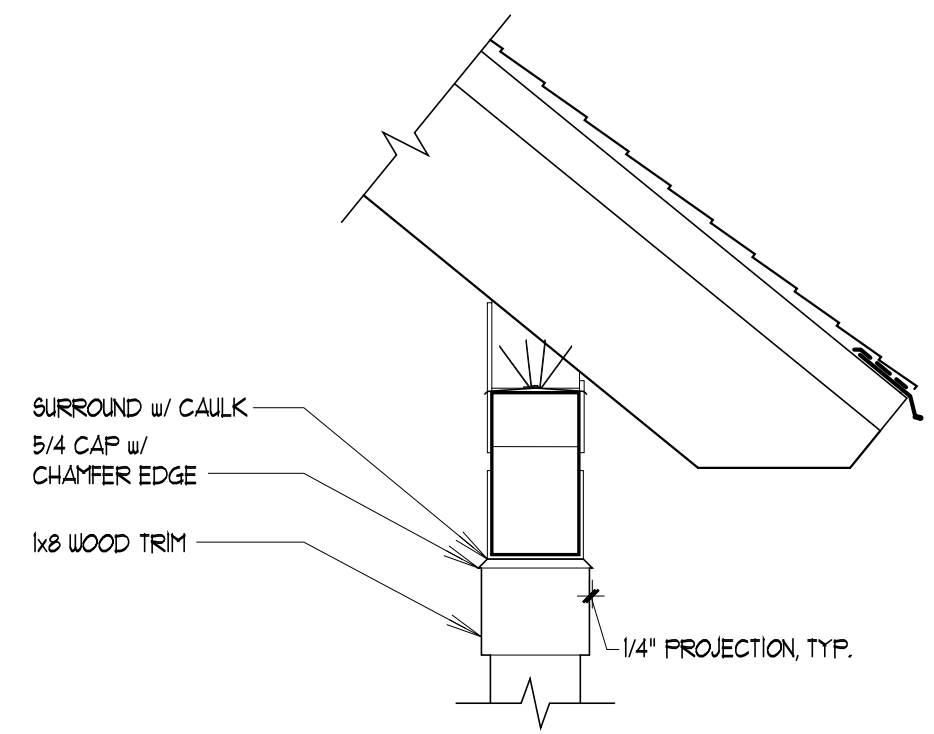
NEW PAVILION FOR:  
**OAK BROOK PARK DISTRICT**  
1315 KENSINGTON ROAD  
OAK BROOK, ILLINOIS

TITLE:  
BUILDING SECTIONS &  
DETAILS

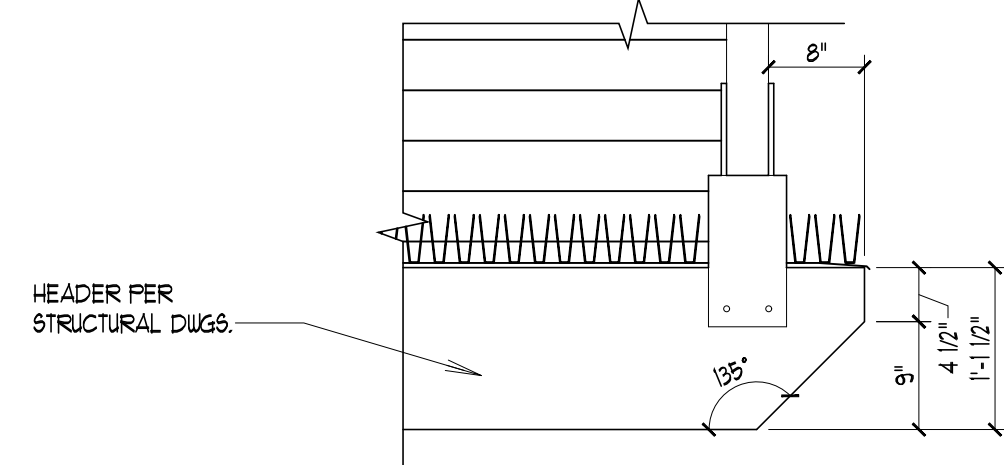
DATE: 08/04/2022 PROJECT # 2022-053

PRINCIPAL: BFG DRAWN BY: PS SHEET: A4.1

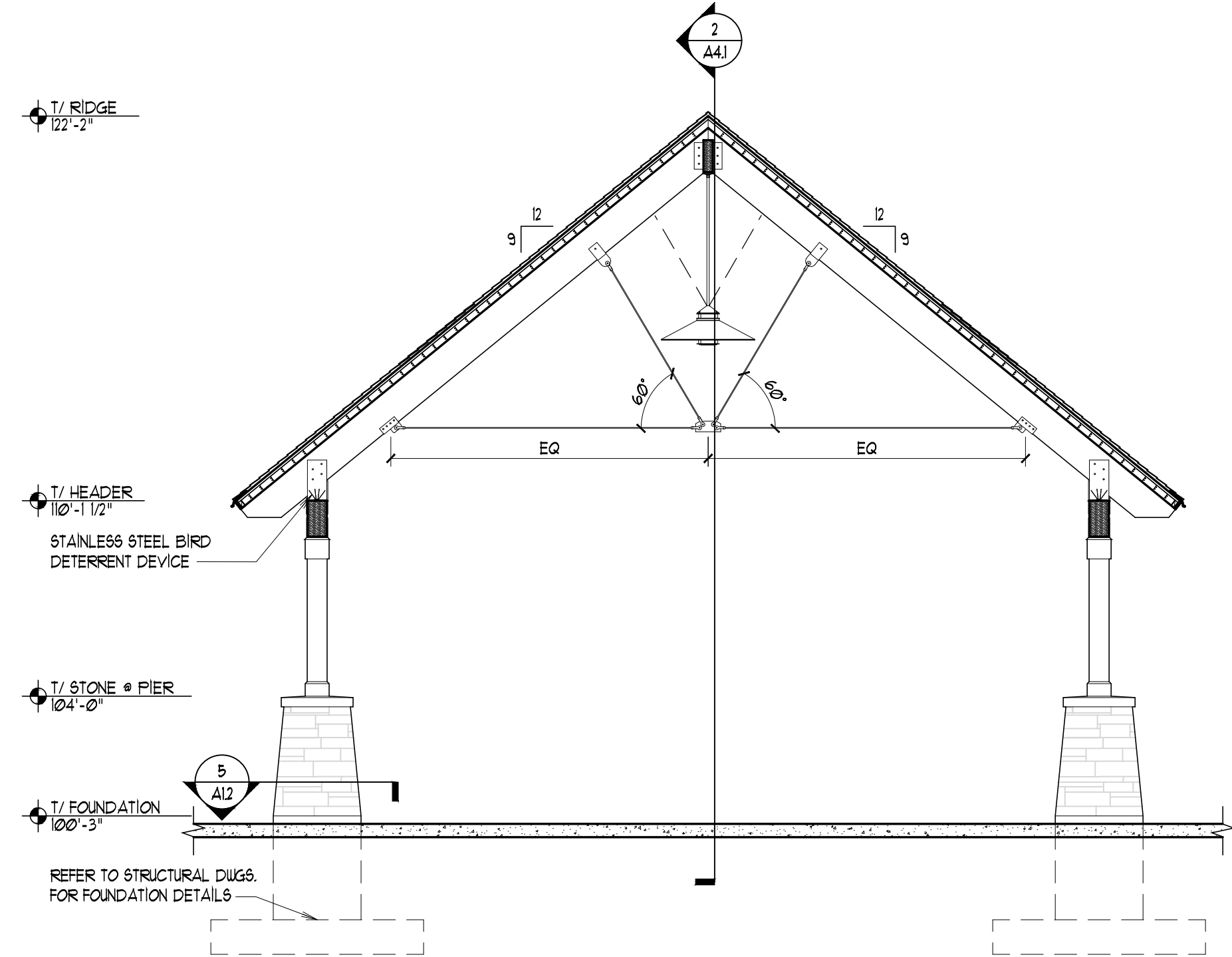
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DRAWING FILE NAME: 8/2022/DRAWINGS/  
A4.1 BUILDING SECTIONS &  
DETAILS



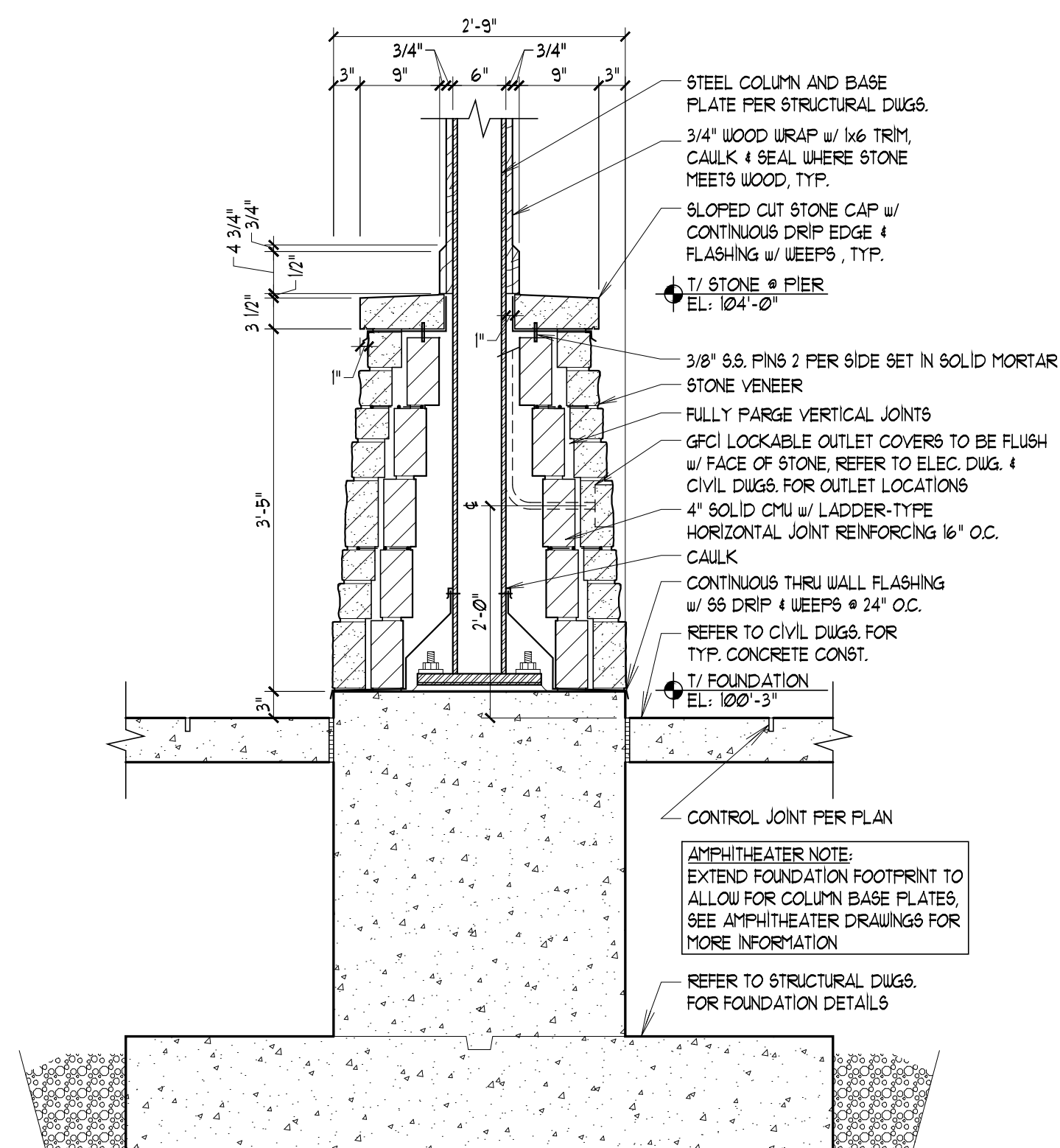
**3 COLUMN TRIM DETAIL**  
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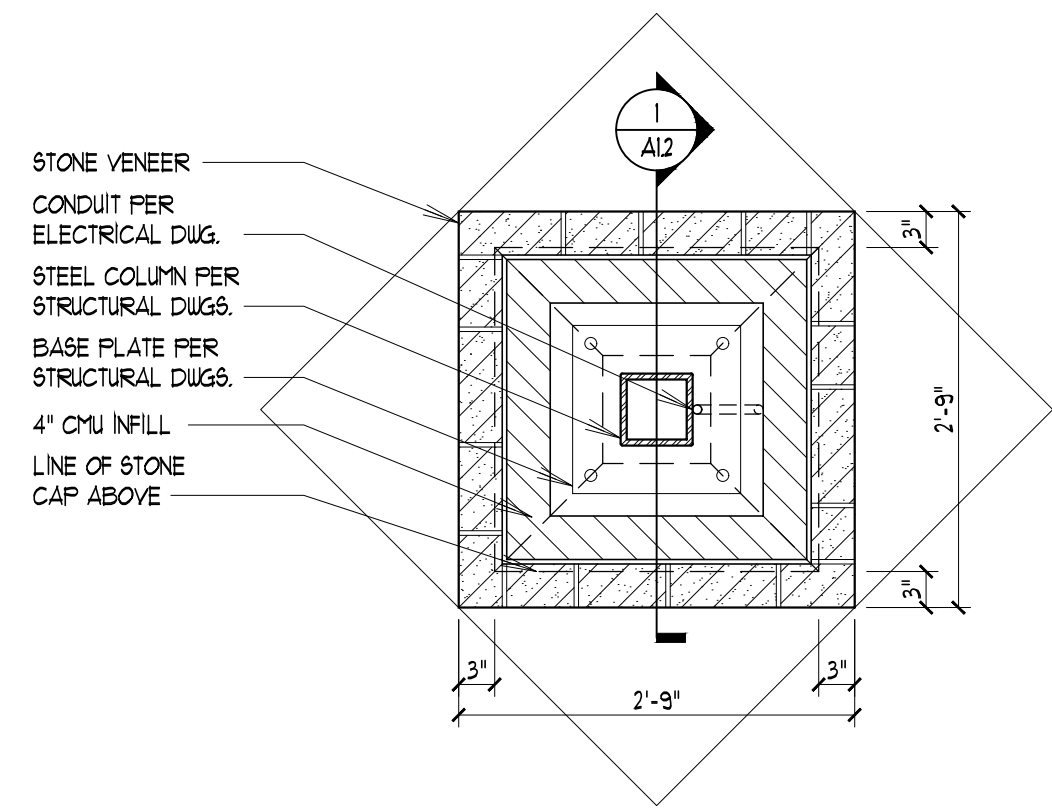
**4 HEADER DETAIL**  
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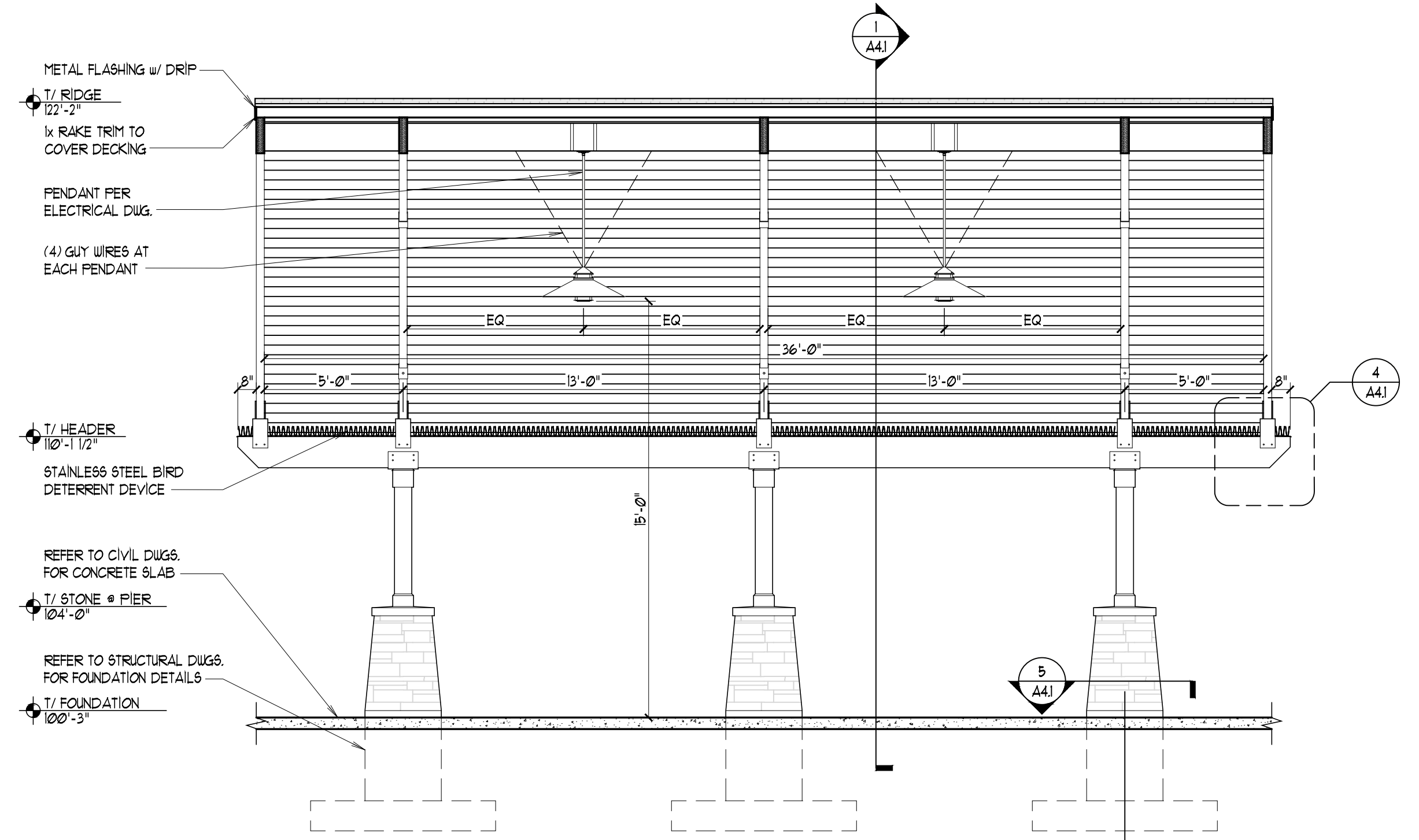
**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**6 PIER SECTION DETAIL**  
SCALE: 3/4" = 1'-0"



**5 PIER PLAN DETAIL**  
SCALE: 3/4" = 1'-0"



**2 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



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ISSUE AND/OR REVISIONS:

NO.	DATE	DESCRIPTION
	01/06/2023	ISSUE FOR BID

PROJECT:

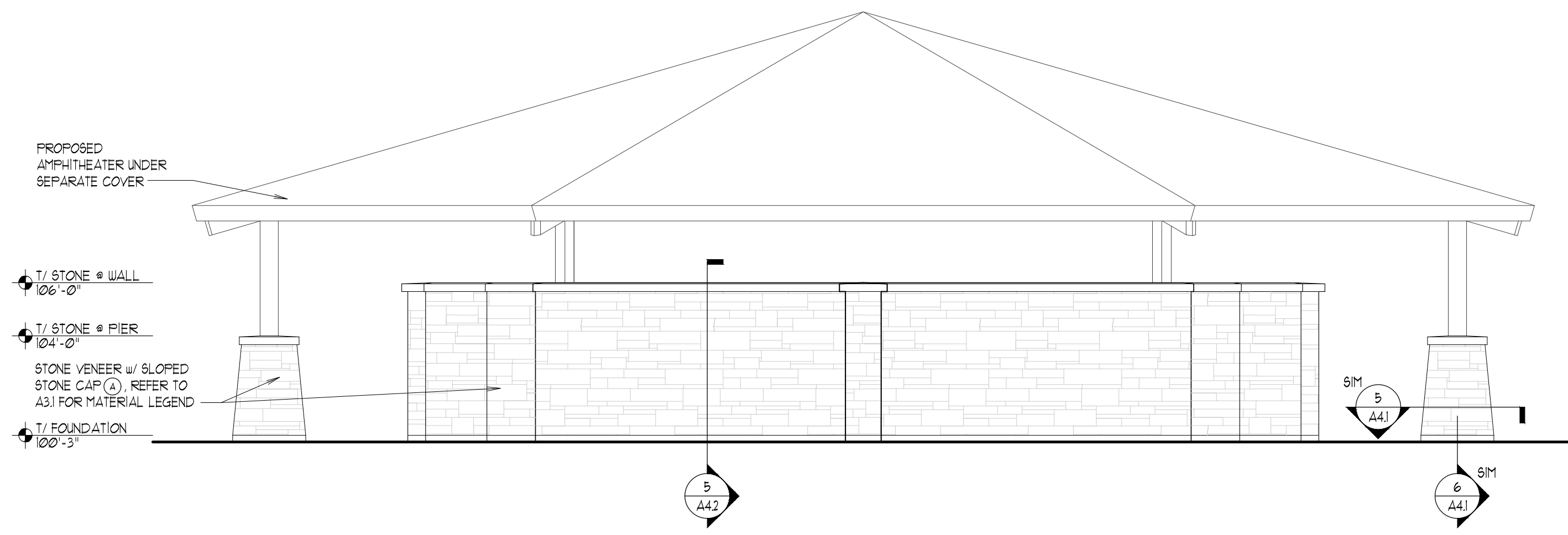
NEW PAVILION FOR:  
**OAK BROOK PARK DISTRICT**  
 1315 KENSINGTON ROAD  
 OAK BROOK, ILLINOIS

TITLE: AMPHITHEATER WALL PLAN, ELEVATIONS & DETAIL

DATE: 08/04/2022 PROJECT #: 2022-053

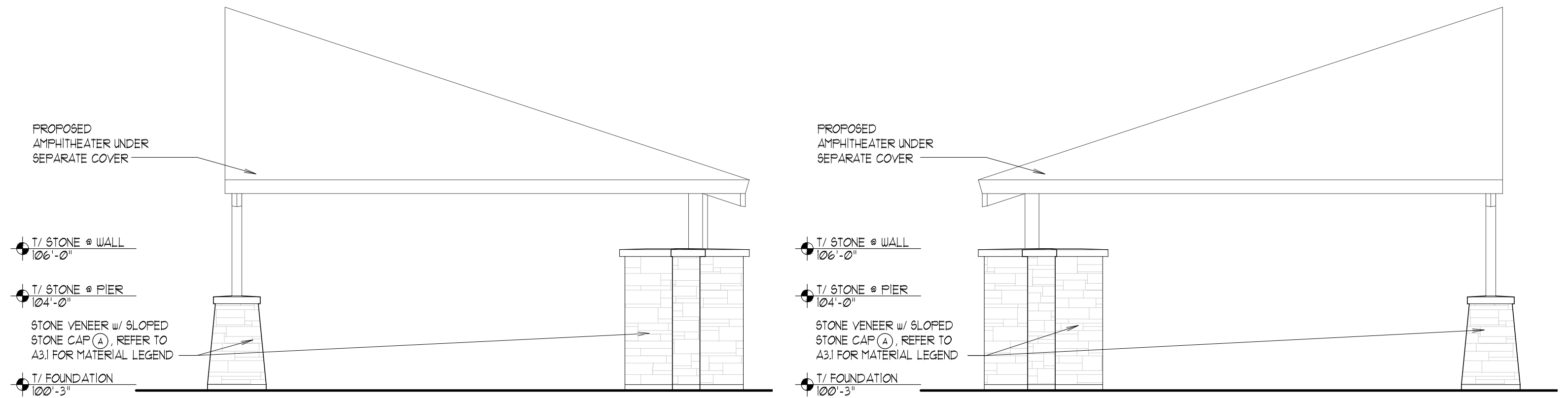
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PROJECT MGR: JBL DRAWN BY: PS  
DRAWN BY DATE: M/2022/DRAWINGS/  
A4.2 AMPHITHEATER WALL PLAN & ELEVATIONS



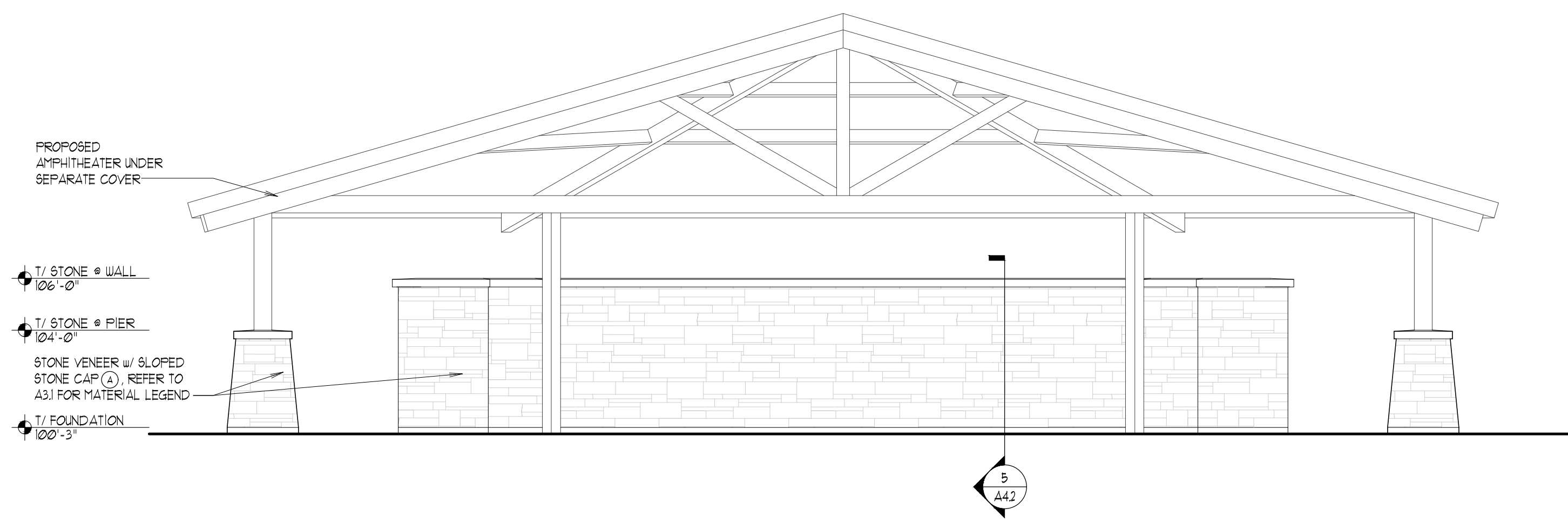
1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE:  
WALL & COLUMN BASE FOR AMPHITHEATER BY OTHERS, TYP.

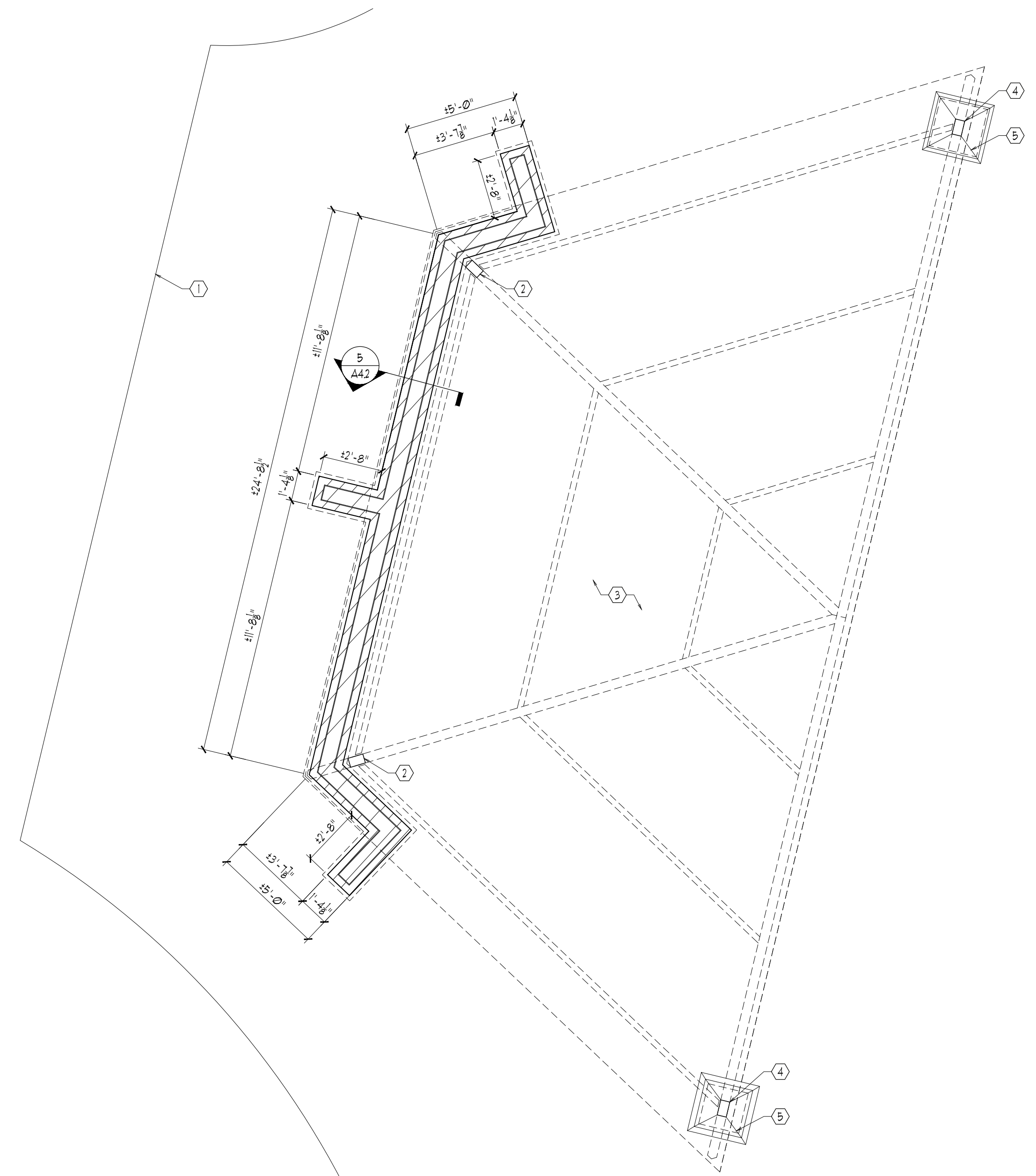


2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

3 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



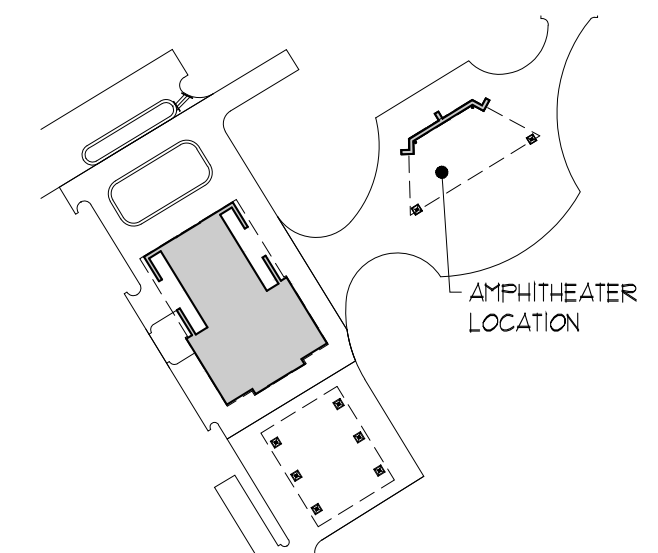
4 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



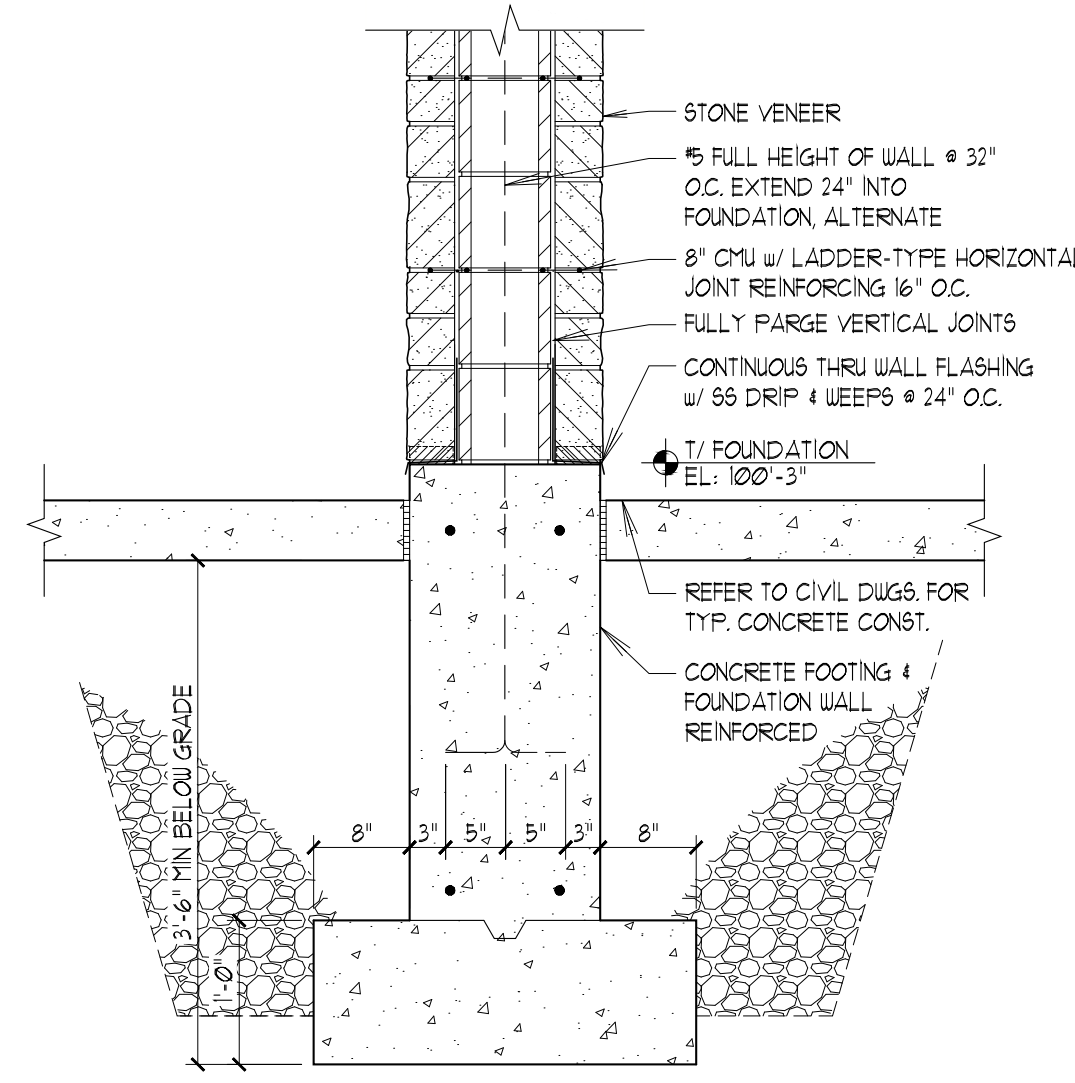
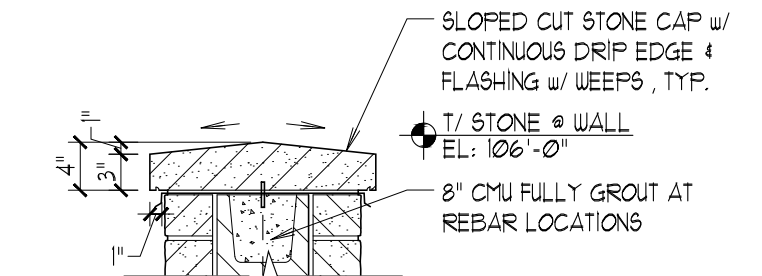
FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYED NOTES

- ① SEE CIVIL DRAWINGS FOR SLAB EXTENTS
- ② MAINTAIN 12" CLEARANCE FROM AMPHITHEATER STRUCTURE
- ③ CONSULT W/ CIVIL ENGINEERING FOR ELECTRICAL CONNECTION & CONDUIT FEED, REFER TO CIVIL DRAWINGS FOR ELECTRICAL PLAN
- ④ COLUMN PER AMPHITHEATER PROVIDER - NO WOOD SURROUND
- ⑤ EXTEND CUT STONE CAP TO GAP AT COLUMNS, 1" SEAL W/ CAULK



KEY PLAN  
SCALE: NTS



5 STONE WALL SECTION DETAIL  
SCALE: 3/4" = 1'-0"





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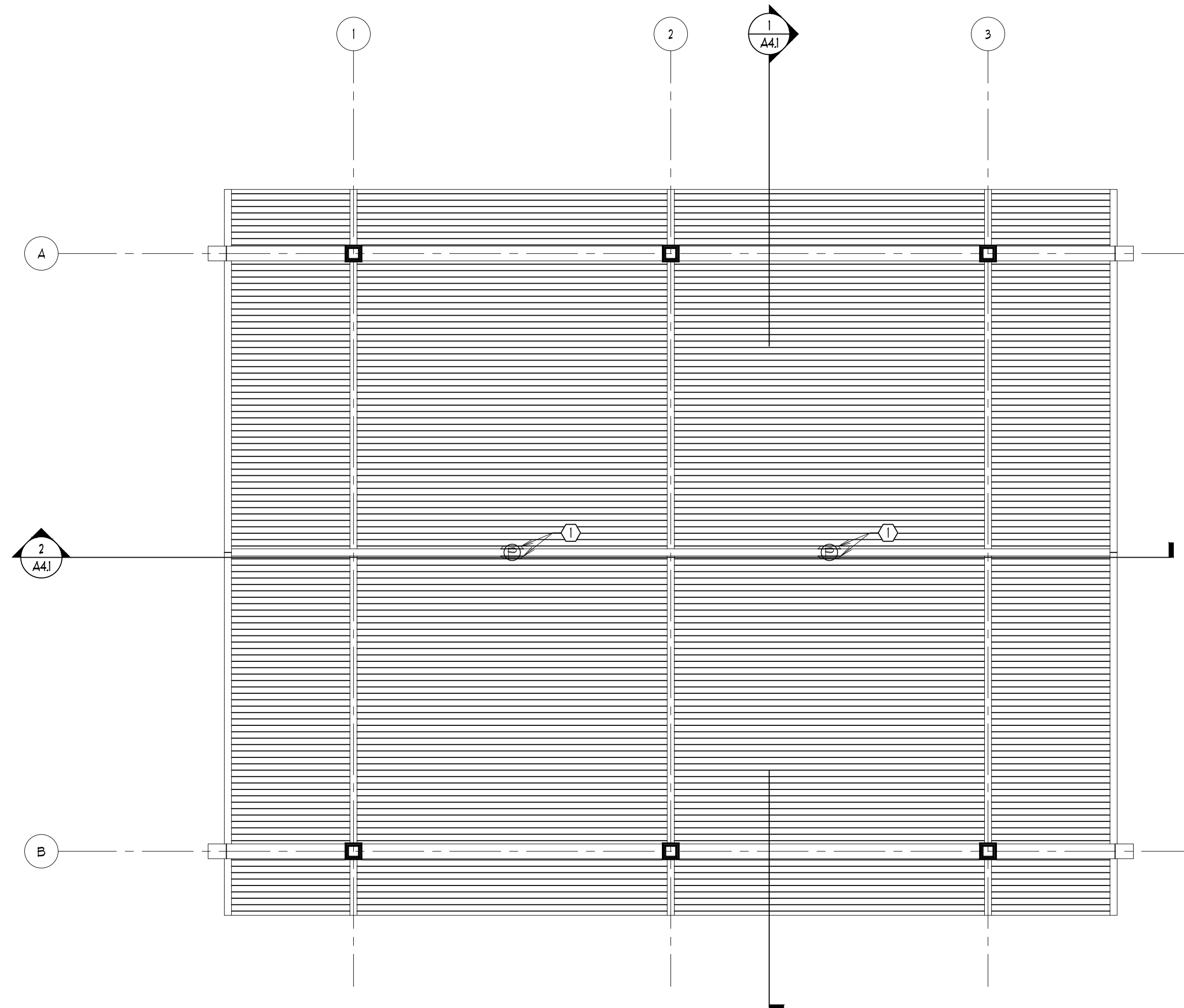
NEW PAVILION FOR:  
**OAK BROOK PARK DISTRICT**  
1315 KENSINGTON ROAD  
OAK BROOK, ILLINOIS

TITLE:  
REFLECTED CEILING PLAN

DATE: 08/04/2022 PROJECT # 2022-053

PRINCIPAL: BFG SHEET: A7.1

PROJECT MGR: JBL DRAWN BY: PS  
DRAWING FILE PATH: M:/2022/DRAWINGS/A7.1 REFLECTED CEILING PLAN



**GENERAL NOTES:**

1 REFER TO ELECTRICAL DUGS FOR LIGHTING SCHEDULE, SWITCHING & CIRCUITING.

**ELECTRICAL PLAN KEYED NOTES**

① MITER 2x12 AT LIGHTING MOUNTING PLATE

**REFLECTED CEILING PLAN LEGEND**

SYMBOL	DESCRIPTION
⊕	PENDANT LIGHT FIXTURE

**REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

2022-08-04 10:00 AM C:\PROJECTS\OAK BROOK PARK DISTRICT\DRAWINGS\REFLECTED CEILING PLAN\REFLECTED CEILING PLAN.dwg





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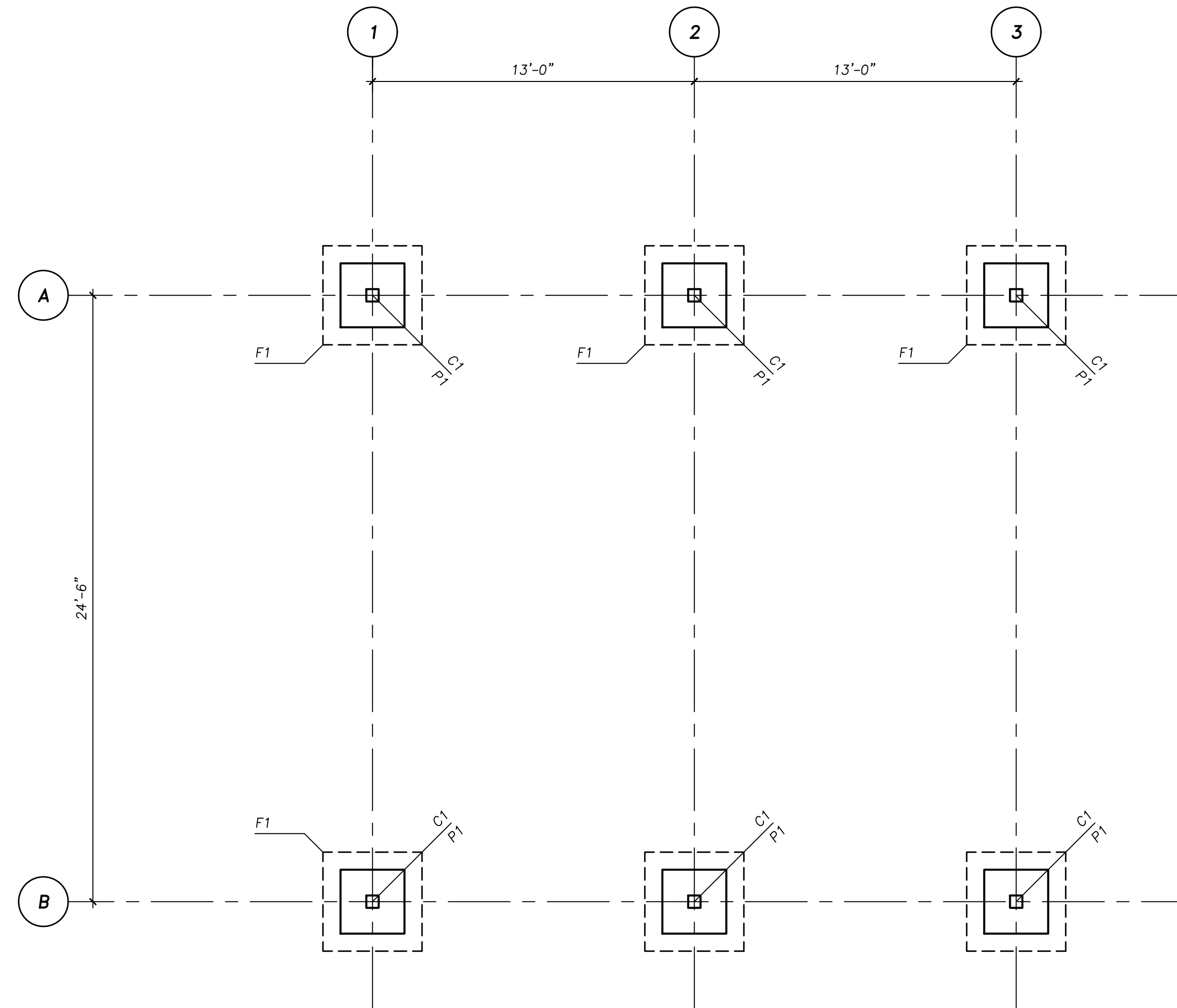
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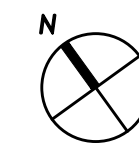


**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**NOTES:**

1. FINISHED FLOOR ELEVATION = +0'-0". (USGS DATUM = SEE CIVIL DRAWINGS)
2. TOP OF EXTERIOR SPREAD FOOTING ELEVATION = -3'-0".
3. F1 - DENOTES 6'-0" x 6'-0" x 1'-3" CONCRETE FOOTING W/(6) #5 EACH WAY (T & B). SEE DETAIL 1/S2.1 FOR ADD'L INFO.
4. P1 - DENOTES CONCRETE PIER. SEE DETAIL 2/S2.1.
5. C1 - DENOTES HSS6 x 6 x 1/2 COLUMN. SEE DETAIL 3/S2.1.
6. SEE THE FOLLOWING SHEETS FOR ADDITIONAL INFORMATION:  
SHEET S0.0 GENERAL STRUCTURAL NOTES



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TITLE:  
FOUNDATION PLAN

DATE:	11/11/22	PROJECT #	2022-053
PRINCIPAL:	SDM	DRAWN BY:	SMS CML
DRAWING FILE PATH:			S1.1



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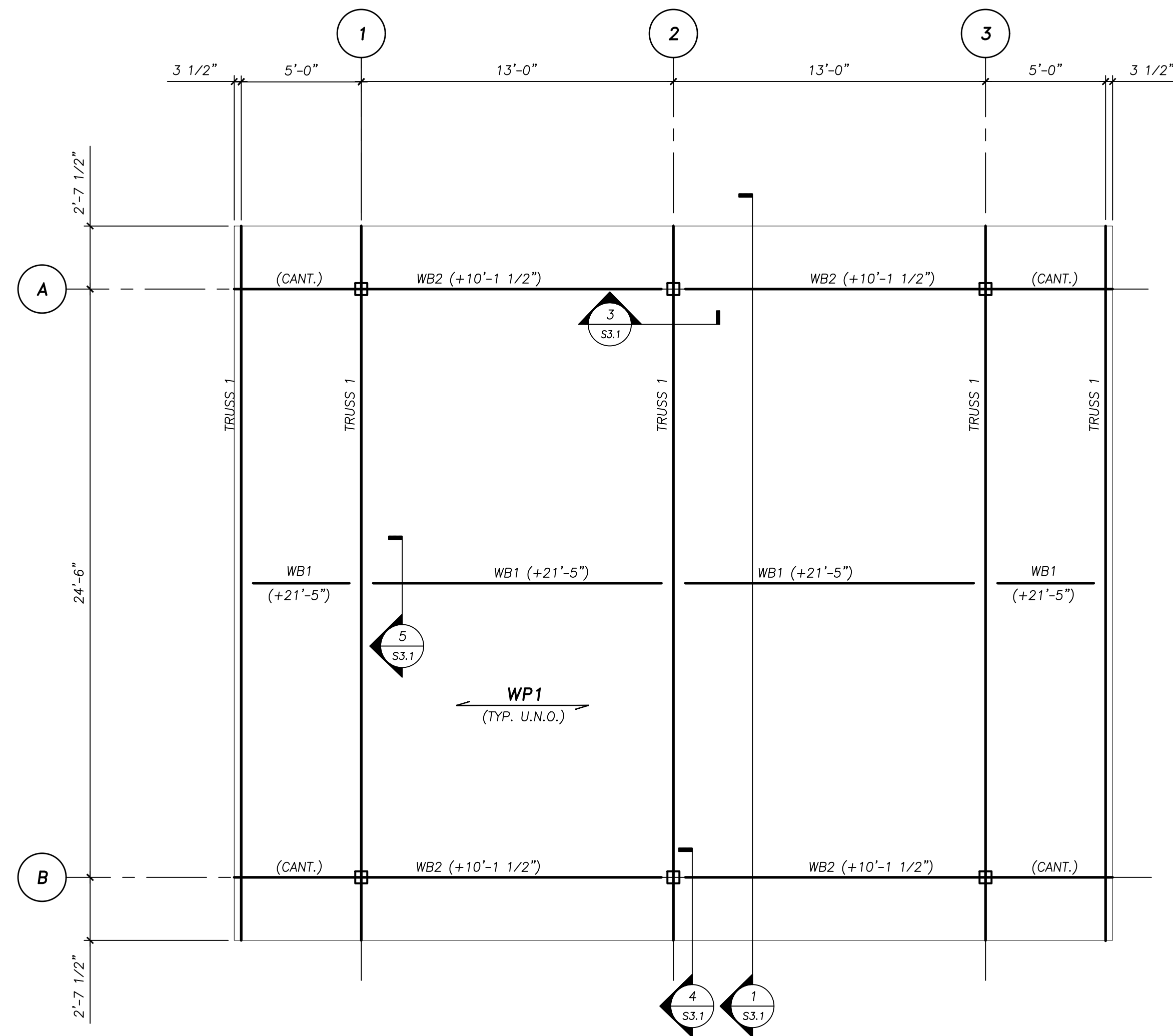
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**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"

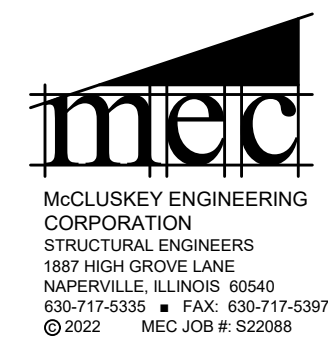


**LEGEND - ROOF FRAMING**

**WP1** INDICATES DIRECTION OF SPAN OF 4x WOOD PLANK. FASTEN TO EACH TRUSS W/ 1/4" LAG SCREW (2 PER PLANK).

**NOTES:**

- REFER TO SHEET S1.0 FOR COLUMN MARKS.
- T/WOOD BEAM ELEVATION NOTED THUS (X'-X").
- WB1 - DENOTES 3 1/2" x 12" GLU-LAM RIDGE BOARD. SEE DETAIL 3/S3.1 FOR CONNECTION DETAIL TO TRUSS.
- WB2 - DENOTES 7 1/4" x 13 1/2" GLU-LAM BEAM. SEE DETAIL 4/S3.1 FOR CONNECTION DETAIL TO HSS COLUMN.
- TRUSS 1 - DENOTES GLU-LAM AND STEEL TRUSS. SEE ELEVATION 1/S3.1 FOR ADD'L INFO.
- SEE THE FOLLOWING SHEETS FOR ADDITIONAL INFORMATION:  
SHEET S0.0 GENERAL STRUCTURAL NOTES



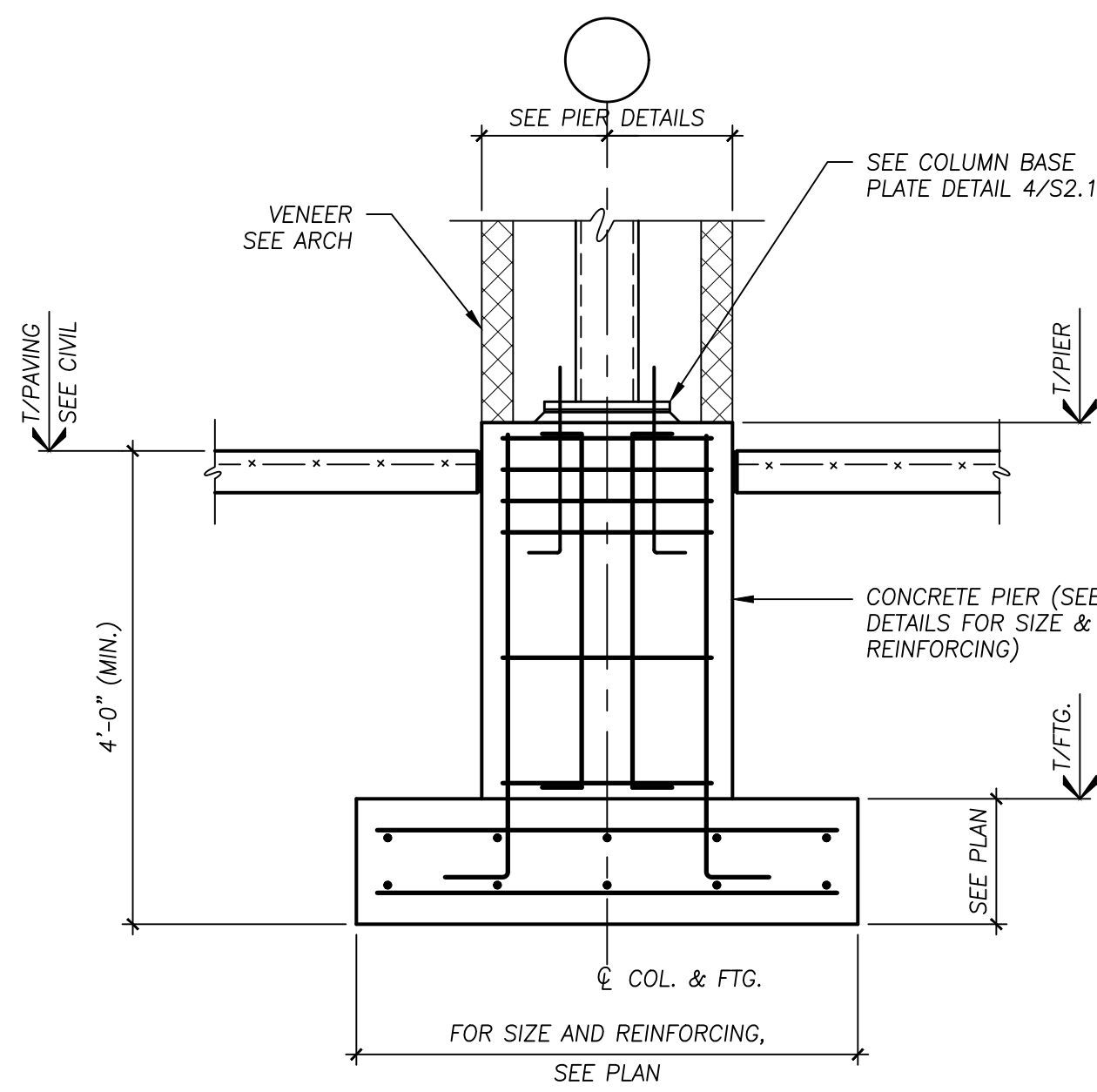
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TITLE:  
**ROOF FRAMING PLAN**

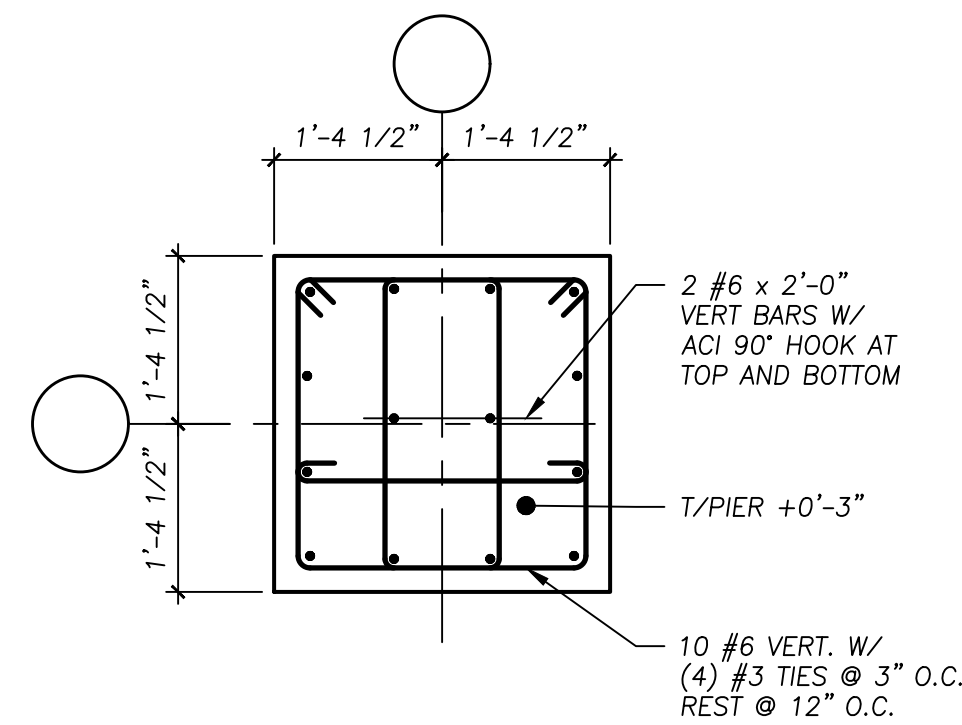
DATE: 11/11/22 PROJECT # 2022-053

PRINCIPAL: SDM SHEET: S1.2

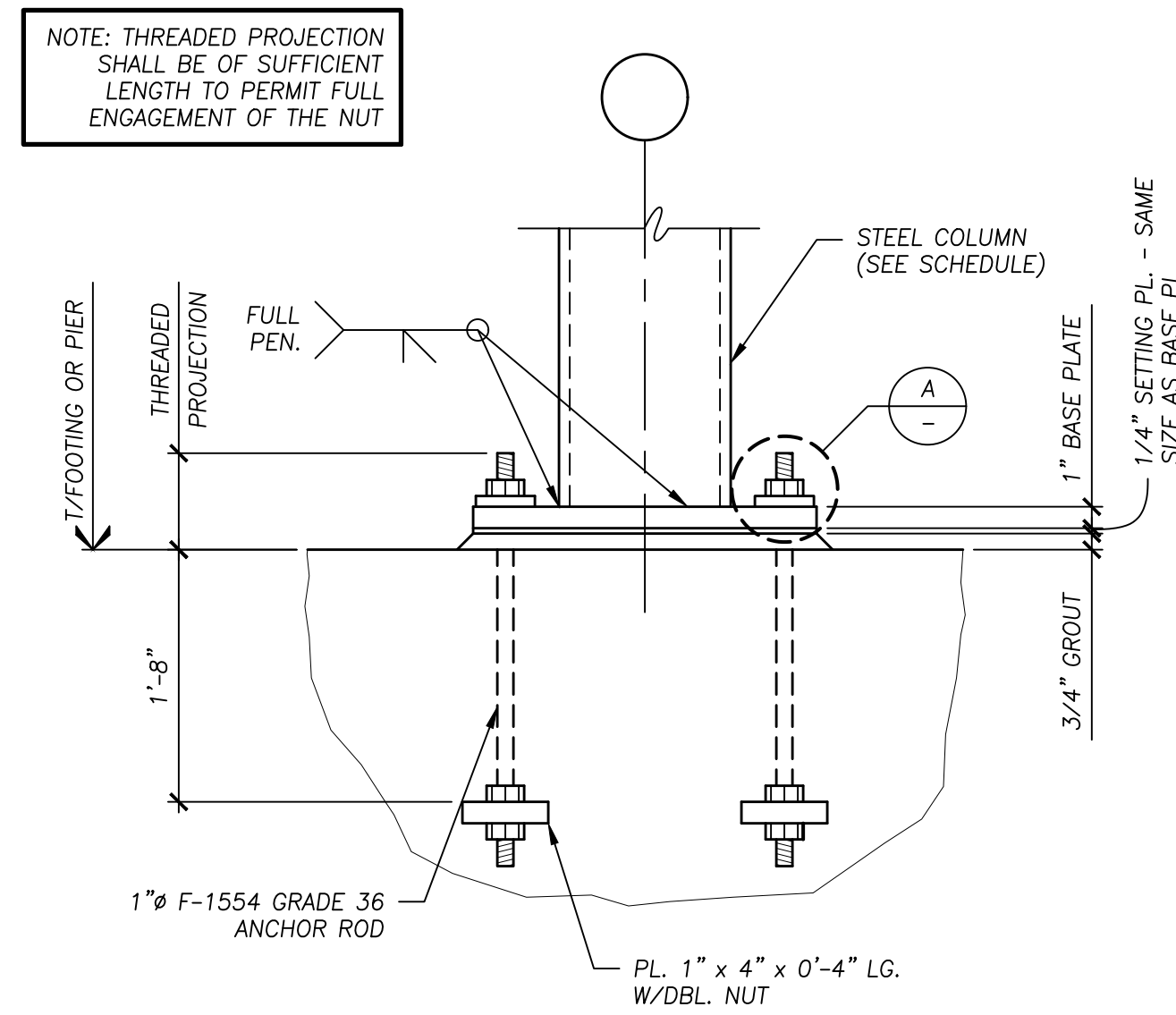
PROJECT MGR: SMS DRAWN BY: CML



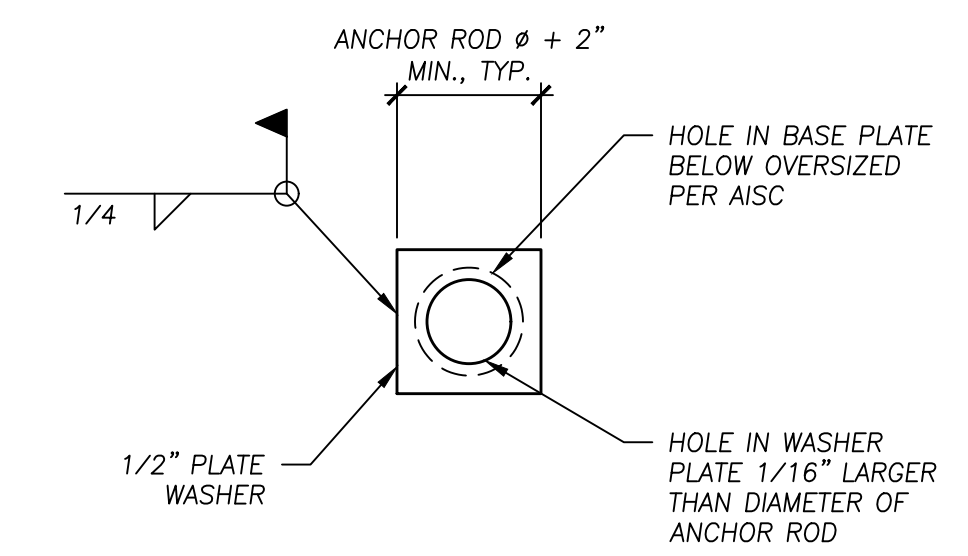
1 SECTION  
3/4" = 1'-0"



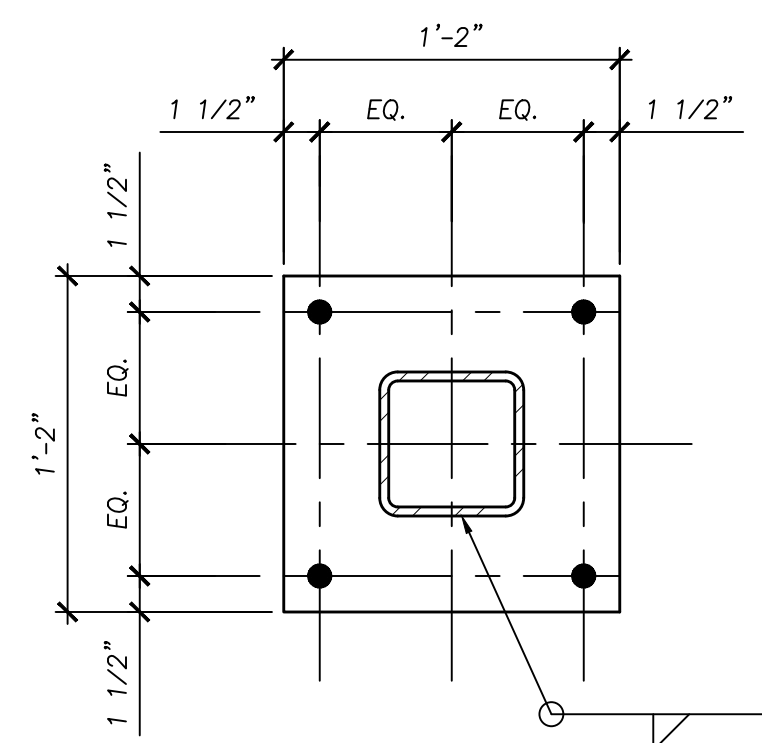
2 CONCRETE PIER DETAIL  
3/4" = 1'-0"



3 TYPICAL ANCHOR ROD DETAIL  
1 1/2" = 1'-0"



DETAIL 'A'



4 COLUMN BASE PLATE DETAIL  
1 1/2" = 1'-0"



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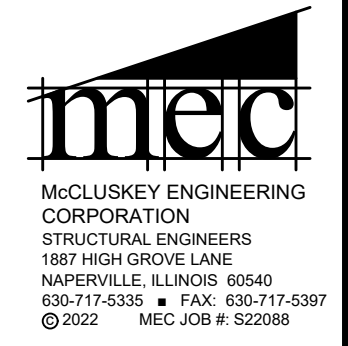
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PROJECT:

NEW PAVILION FOR:  
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TITLE:  
FOUNDATION SECTIONS & DETAILS

DATE: 11/11/22	PROJECT # 2022-053
PRINCIPAL: SDM	SHEET: S2.1
PROJECT MGR: SMS	DRAWN BY: CML



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**TITLE:**  
ROOF FRAMING  
SECTIONS  
& DETAILS

**DATE:** 11/11/22 **PROJECT #** 2022-053

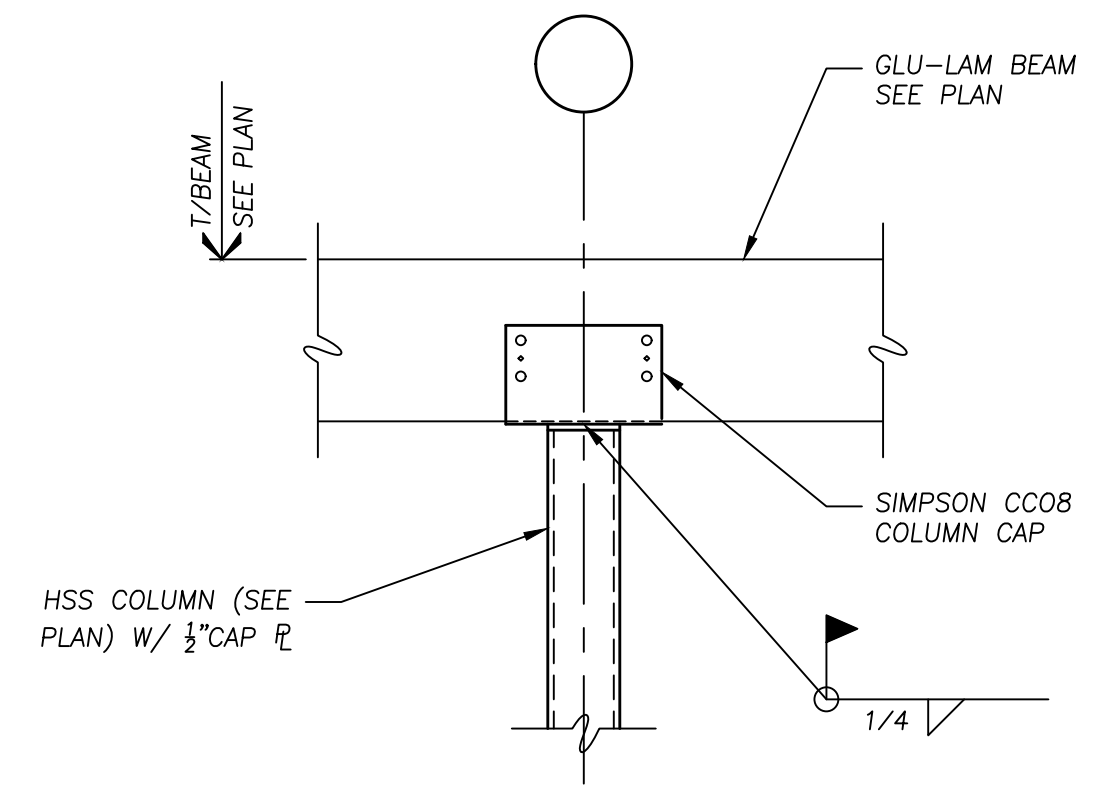
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**PROJECT MGR:** SMS **DRAWN BY:** CML **S3.1**

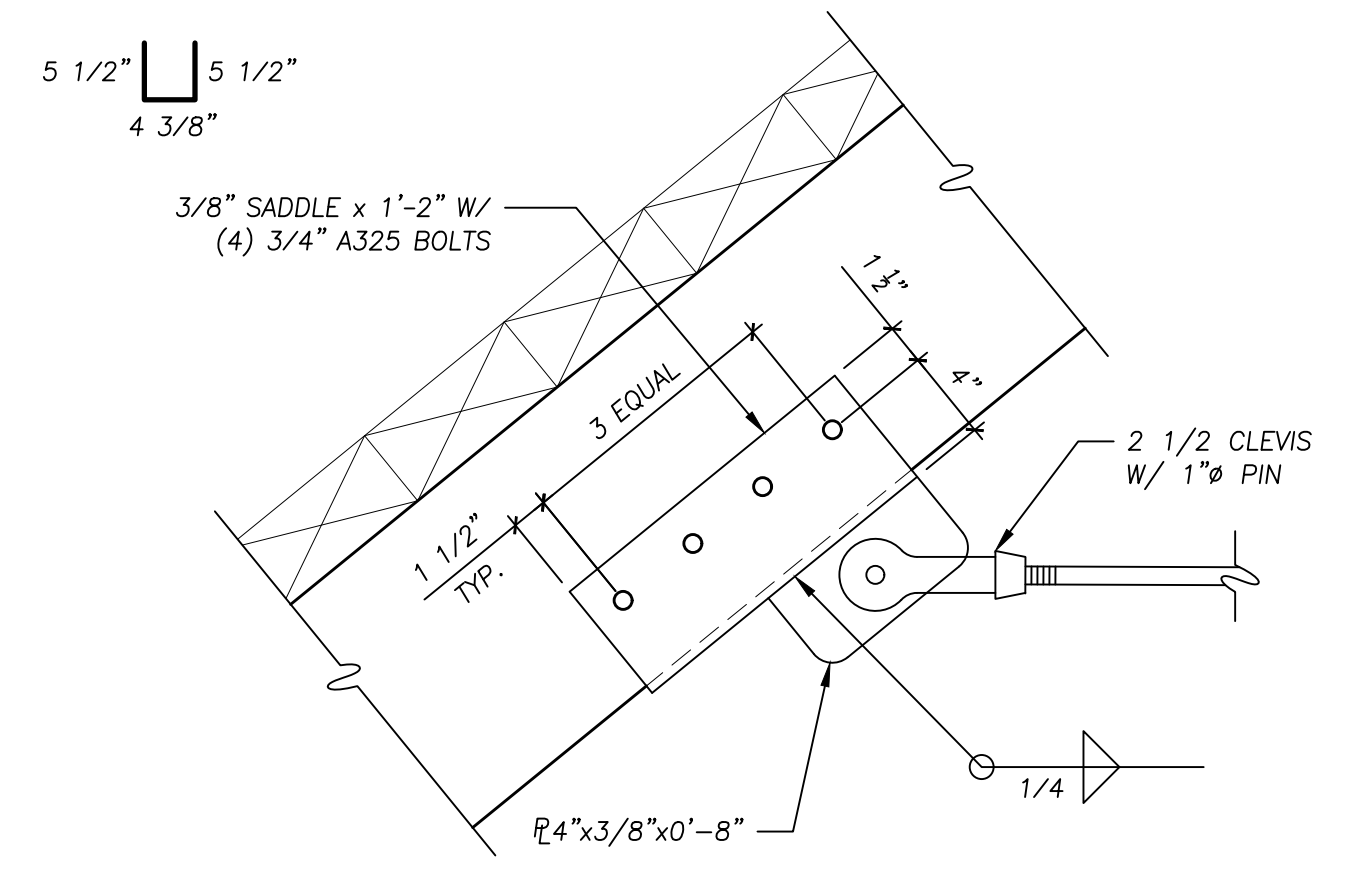
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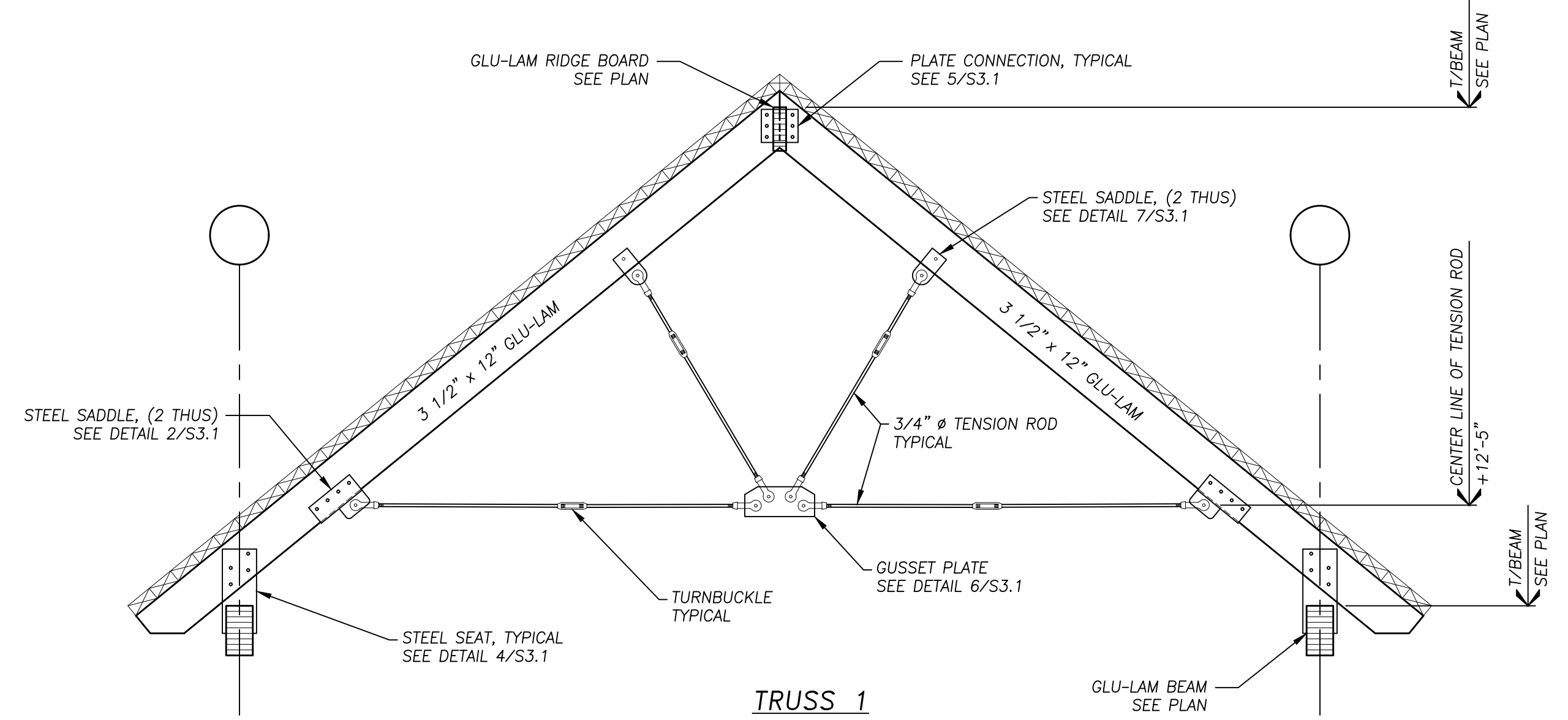
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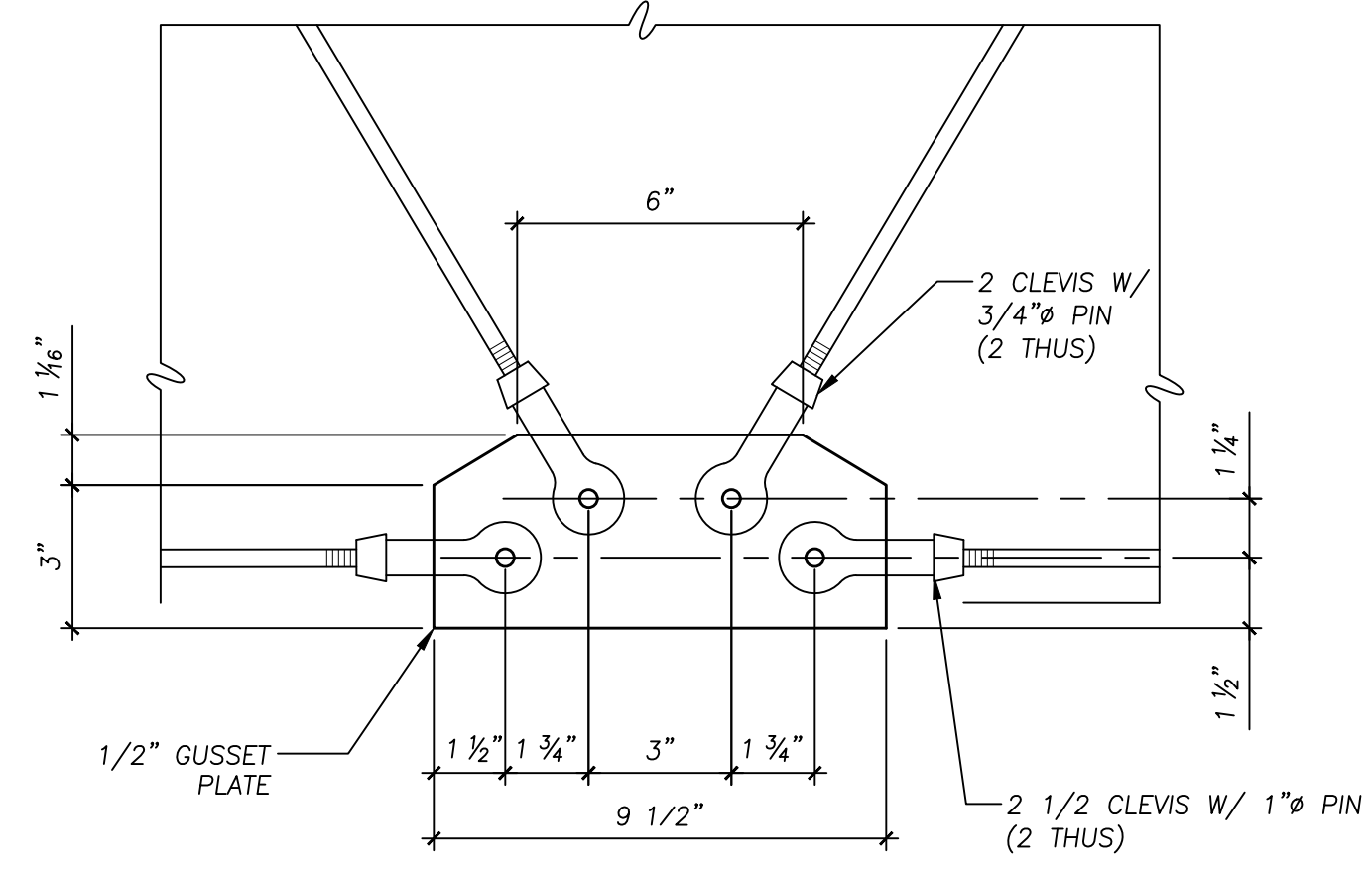
**3** **DETAIL**  
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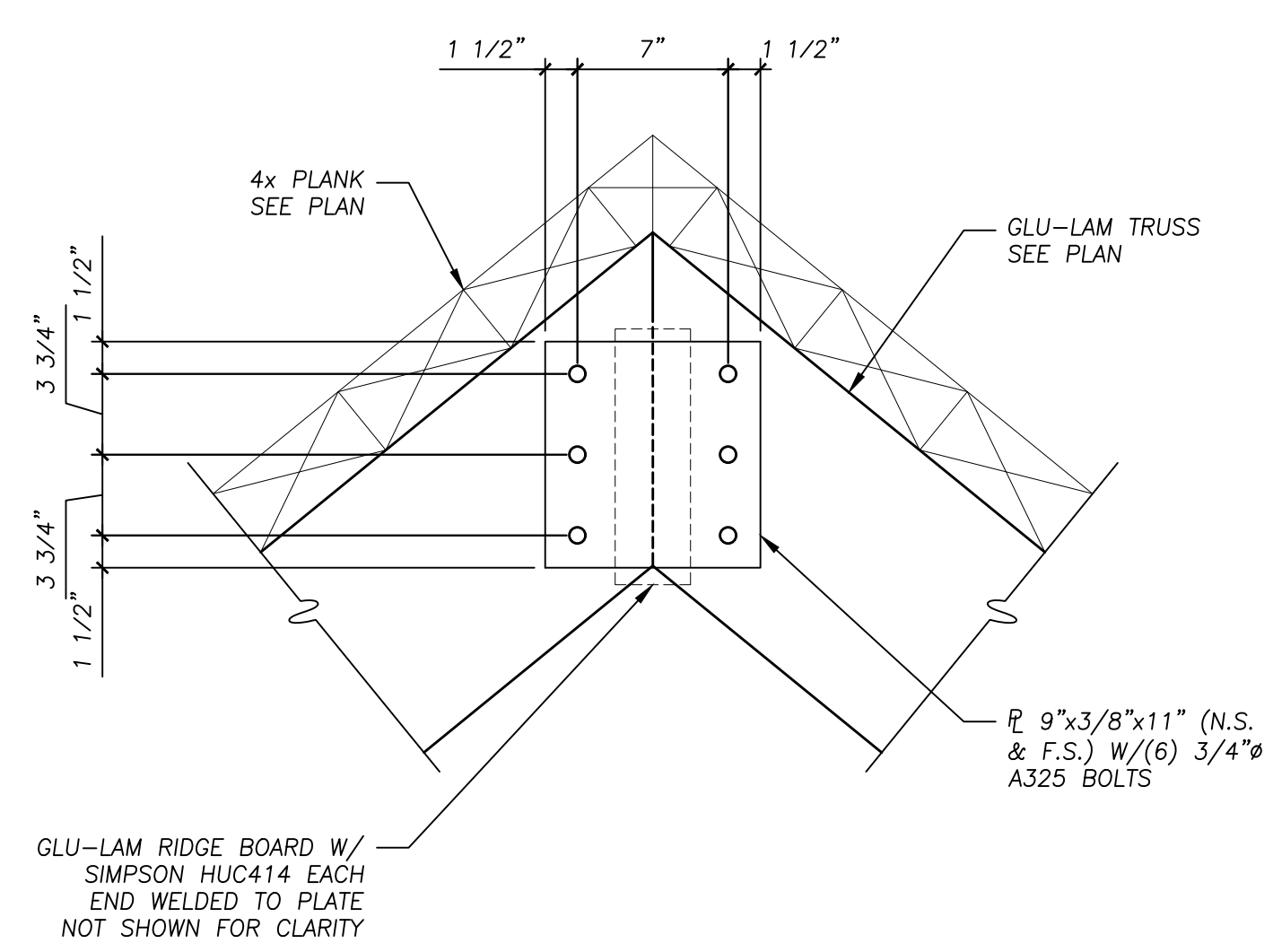
**2** **DETAIL**  
1 1/2" = 1'-0"



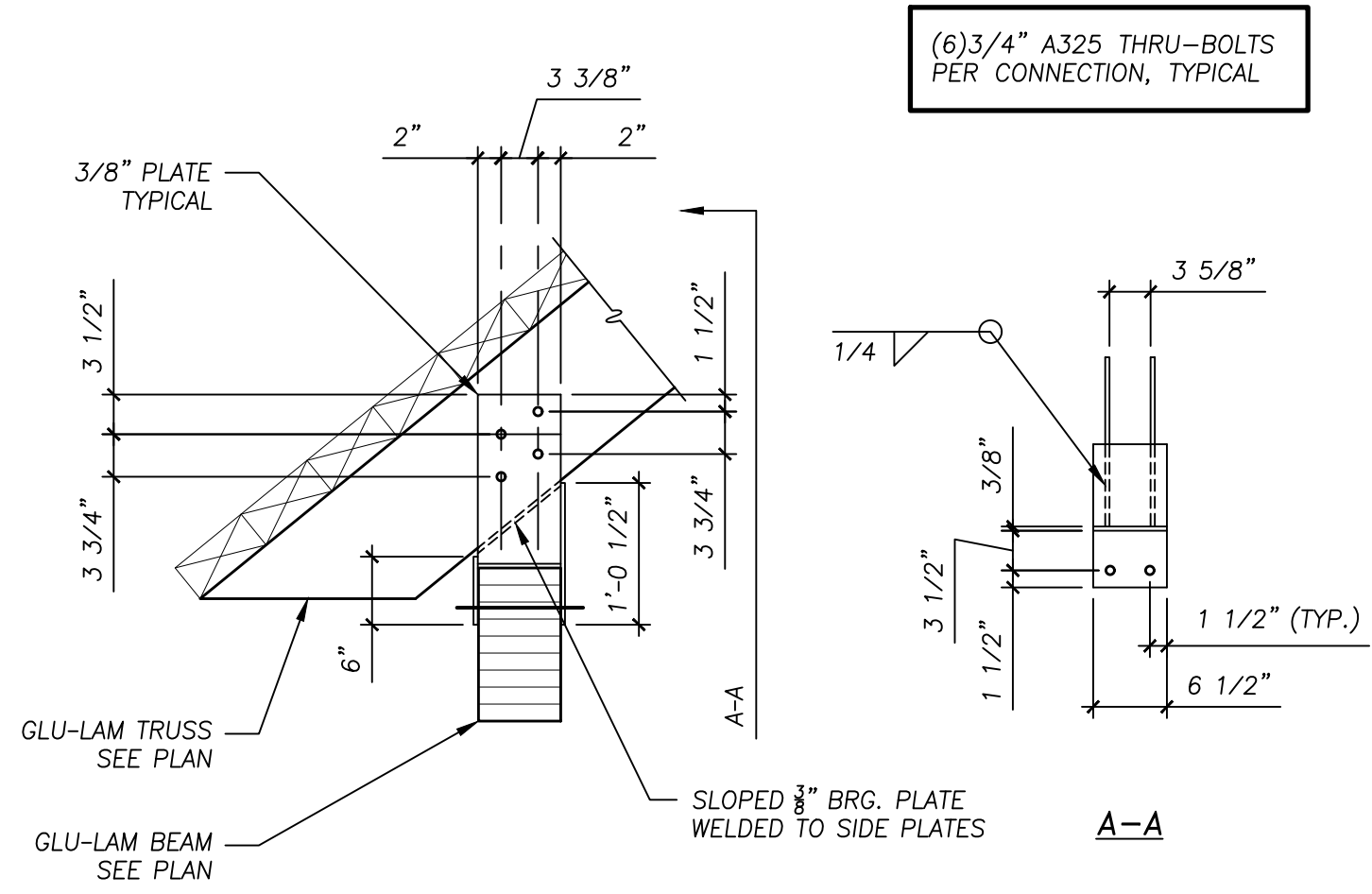
**1** **ELEVATION**  
3/8" = 1'-0"



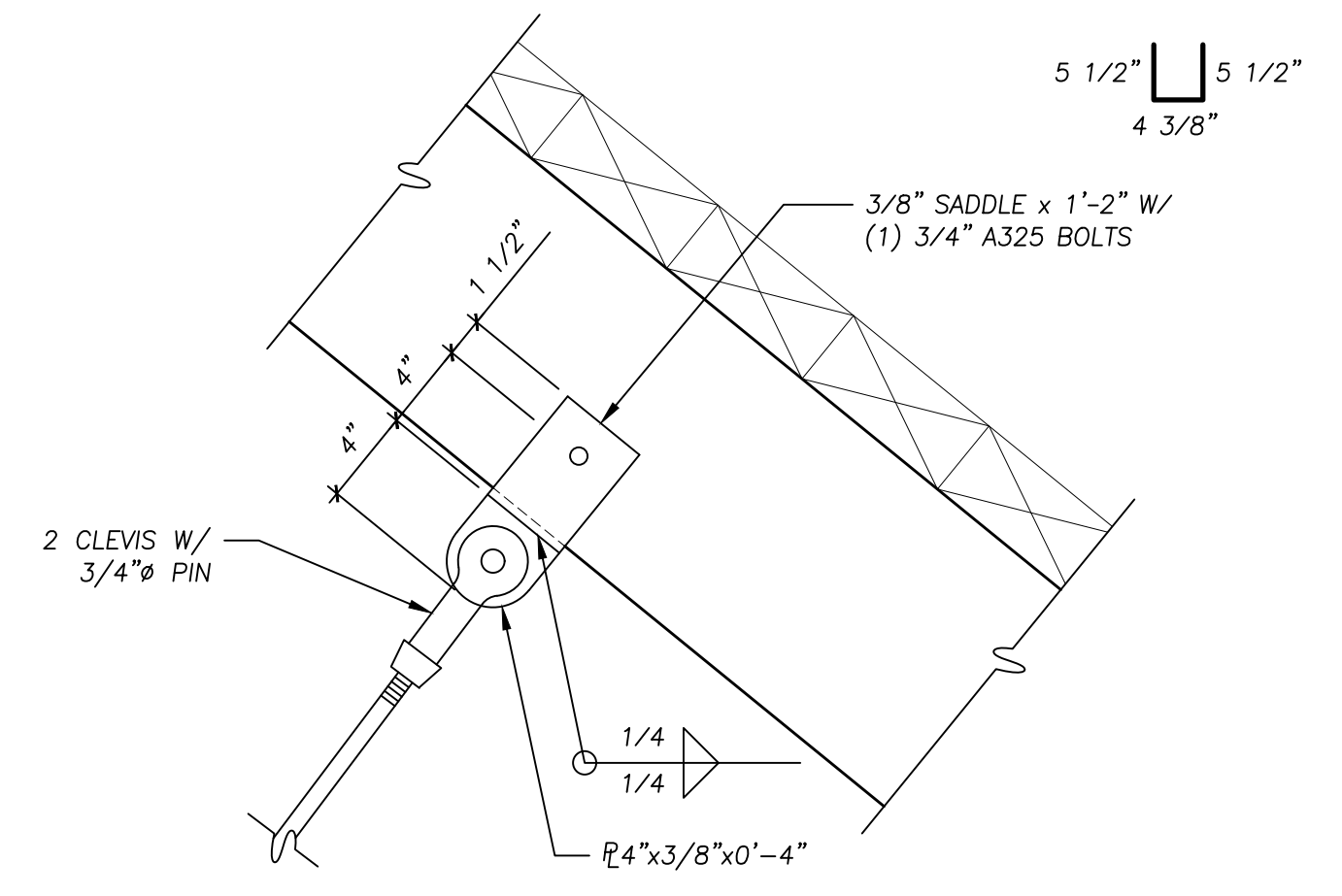
**6** **DETAIL**  
NO SCALE



**5** **DETAIL**  
1 1/2" = 1'-0"



**4** **DETAIL**  
3/4" = 1'-0"



**7** **DETAIL**  
1 1/2" = 1'-0"



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NEW PAVILION FOR:  
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TITLE:  
ELECTRICAL PLAN

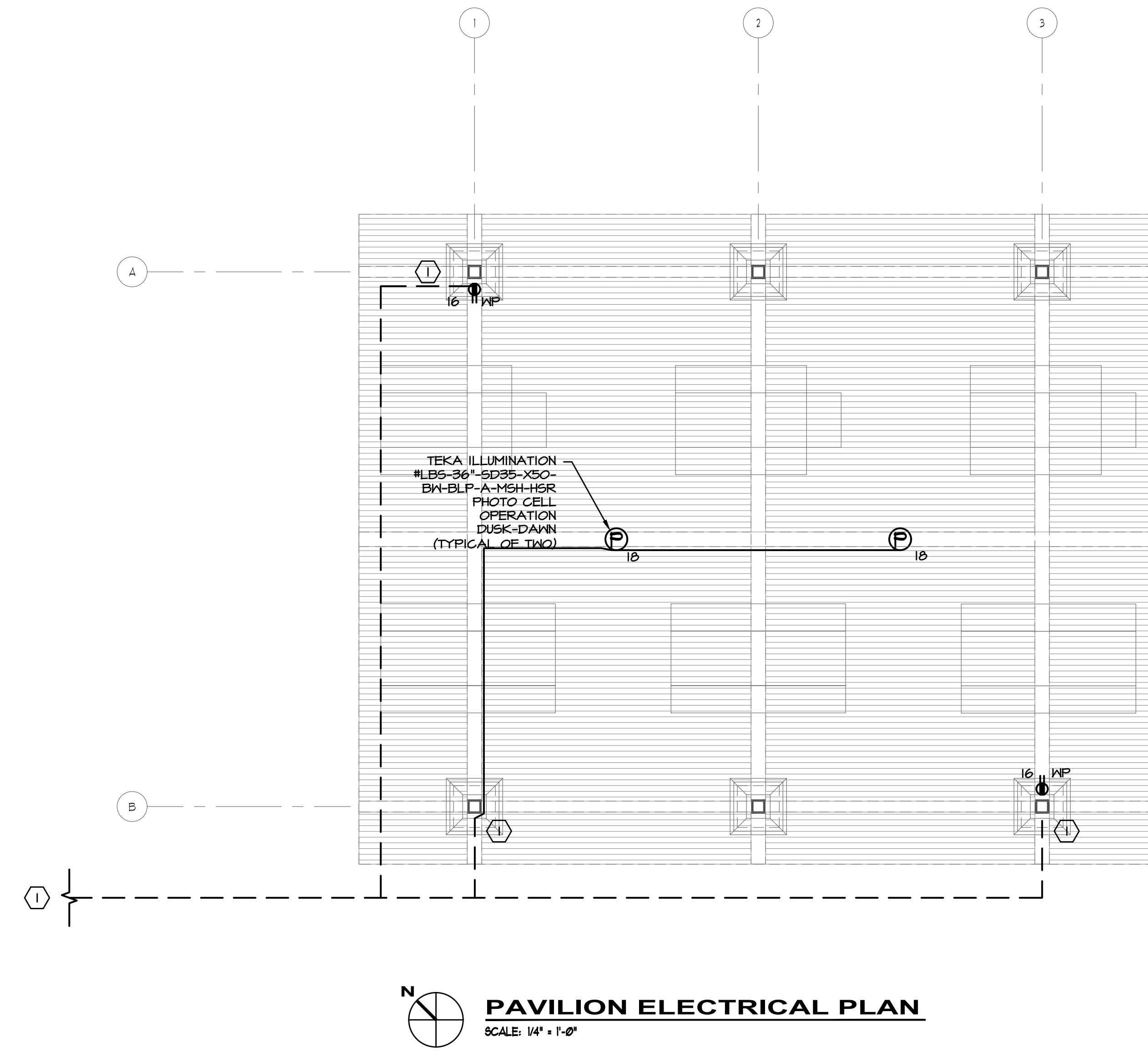
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PROJECT MGR:	CS	DRAWN BY:	BR,CS
DRAWING FILE PATH:	01.1 COVER SHEET_22053		

**GENERAL NOTES**

- 1. CIRCUITS SHALL ORIGINATE FROM PANEL 'C' LOCATED IN CONCESSION BUILDING. MINIMUM WIRE SIZE SHALL BE #10 AWG.

**KEYED NOTES**

- 1. INTERCEPT CONDUIT AND EXTEND TO NEAREST COLUMN. ELECTRICAL CONTRACTOR AND GENERAL CONTRACTOR TO COORDINATE SLEEVE THROUGH CONCRETE PIER AND UP THROUGH MASONRY.



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