

GENERAL NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY IBC 2021 EDITION AND SHALL CONFORM TO ALL OTHER APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE ILLINOIS ACCESSIBILITY CODE (2018) AND THE AMERICANS WITH DISABILITIES ACT.

A. GENERAL NOTES

- 1. ALL CONTRACTORS ARE REQUIRED TO VISIT THE SITE AND BE KNOWLEDGEABLE REGARDING EXISTING CONDITIONS AND THEIR EFFECT ON THE PROPOSED WORK. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE PROJECT.
2. NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO THE INTERRUPTION OF ANY UTILITY.
3. PROTECT AND KEEP IN SERVICE ACTIVE UNDERGROUND UTILITIES, PIPES, OR CONDUITS, WHETHER INDICATED ON THE DRAWINGS OR NOT, UNLESS SPECIFICALLY CALLED FOR TO BE REMOVED, RELOCATED, OR DISCONNECTED AND ABANDONED.
4. CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH THAT OF OTHER TRADES.
5. NO WORK WILL BE PERMITTED TO BE INSTALLED WITHOUT RECEIPT AND SUBSEQUENT REVIEW OF FULL AND COMPLETE SUBMITTALS BY THE ARCHITECT/ENGINEER.
6. DO NOT SCALE DRAWINGS, DIMENSIONS INDICATED TAKE PRECEDENCE OVER SCALE.
7. VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD. WHERE DISCREPANCIES ARE FOUND BETWEEN DIMENSIONS OR ELEVATIONS SHOWN AND ACTUAL FIELD CONDITIONS, NOTIFY ARCHITECT/ENGINEER.
8. WHERE CONFLICTS MAY EXIST BETWEEN THE REQUIREMENTS OF PORTIONS OF THE CONTRACT DOCUMENTS, THE GREATER QUANTITY, HIGHER QUALITY OR MORE STRINGENT REQUIREMENT SHALL GOVERN. THEREFORE, BY EXECUTING A CONTRACT FOR CONSTRUCTION, THE CONTRACTOR AGREES THAT, IF IT RAISED NO QUESTIONS REGARDING SUCH CONFLICTS DURING THE BIDDING PROCESS, AND IN THE ABSENCE OF A CLARIFYING ADDENDUM ISSUED DURING THE BIDDING PROCESS, IT HAS VOLUNTEERED TO COMPLY WITH THE MORE EXPENSIVE REQUIREMENT AS PART OF ITS BID AND IS NOT ENTITLED TO ANY ADDITIONAL COMPENSATION TO RESOLVE THE CONFLICT.
9. THE CONTRACT DOCUMENTS REQUIRE THE CONTRACTOR TO FURNISH AND INSTALL COMPLETE PRODUCTS, SYSTEMS AND SERVICES. BY EXECUTING A CONTRACT FOR CONSTRUCTION, THE CONTRACTOR AGREES THAT THE DRAWINGS SET FORTH THE DESIGN INTENT AND, THEREFORE, MAY NOT EXPRESSLY DEPICT EVERY LENGTH, SEGMENT, PIECE, PART, COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE. THE CONTRACTOR FURTHER AGREES THAT, AS PART OF ITS BID, IT MUST FURNISH AND INSTALL EVERY LENGTH, SEGMENT, PIECE, PART, COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE AND, CONSEQUENTLY, THE CONTRACTOR IS NOT ENTITLED TO ANY ADDITIONAL COMPENSATION FOR ANY LENGTH, SEGMENT, PIECE, PART COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE BECAUSE IT IS NOT EXPRESSLY DEPICTED HEREIN.
10. THE WORK SHALL NOT CAUSE THE STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING. STRUCTURAL ELEMENTS THAT ARE UNCOVERED DURING THE COURSE OF THE ALTERATION AND THAT ARE FOUND TO BE UNSOUND OR DANGEROUS SHALL BE MADE TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE 2021 IBC.
11. PLEASE SPECIFY, DETAIL AND NOTE THAT ALL ABANDONED AND/OR UNUSED COMPONENTS CREATED OR EXPOSED DURING CONSTRUCTION, INCLUDING - BUT NOT LIMITED TO - HVAC, CABLES, PIPING, WRING, AND ASSOCIATED SUPPORTS AND/OR ATTACHMENTS SHALL BE REMOVED.
12. PLEASE SPECIFY, DETAIL AND NOTE THAT ALL DAMAGED, DETERIORATED, AND COMPROMISED OR MISSING THERMAL INSULATION - CREATED OR EXPOSED DURING CONSTRUCTION - SHALL BE RESTORED TO FULLY CAPACITY PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF OAK BROOK.

B. MISCELLANEOUS AND DEMOLITION NOTES

- 1. COORDINATE PENETRATIONS AND/OR SLEEVES REQUIRED IN WALLS, FLOORS, CEILINGS OR ROOFS FOR MECHANICAL AND ELECTRICAL WORK REQUIRED BY ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
2. SEAL WITH UL APPROVED MATERIALS PENETRATIONS OF DUCTWORK, CONDUIT AND PIPES THROUGH FIRE-RATED ASSEMBLIES. TO MAINTAIN THE RATING INTEGRITY OF THOSE ASSEMBLIES, PROVIDE FIRE DAMPERS AS INDICATED ON THE DRAWINGS.
3. SEAL WITH ACOUSTICAL SEALANT PENETRATIONS OF DUCTWORK, CONDUIT AND PIPES THROUGH NON-RATED FLOORS, FULL-HEIGHT WALLS/PARTITIONS, ACOUSTICALLY INSULATED WALLS/PARTITIONS, AND SOUND-RATED WALLS/PARTITIONS, TO MAINTAIN THE ACOUSTICAL INTEGRITY OF THOSE ASSEMBLIES.
4. APPLY APPROPRIATE & COMPATIBLE SEALANT MATERIALS AS REQUIRED TO SEPARATE DISSIMILAR METALS, FILL GAPS IN EXISTING ASSEMBLIES OR WHERE NEW AND EXISTING ASSEMBLIES MEET OR WHERE OTHERWISE REQUIRED BY THE SPECIFICATIONS.
5. BRING ANY UNFORESEEN OR CONFLICTING CONDITIONS TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. REPAIR, PATCH, OR REPLACE FINISH MATERIALS OR VISIBLE ASSEMBLIES THAT ARE SOILED, CUT OR DAMAGED IN ANY FASHION DURING THE COURSE OF THE WORK. PERFORM PATCHING SUCH THAT EDGES BLEND INTO CONTIGUOUS SURFACES SMOOTHLY, MATCHING TEXTURE AND COLOR OF ADJACENT SURFACES.

STANDARD ABBREVIATIONS

Table with 4 columns of abbreviations and their corresponding full names. Includes terms like ANCHOR BOLT, ABRASIVE, ACQUISITION, etc.

THE MATERIALS, ABBREVIATIONS, AND DRAFTING SYMBOLS LEGEND ARE EACH AN ALL INCLUSIVE MASTER LIST USED BY THIS FIRM. THE INCLUSION OF THESE LEGENDS INTO THESE DOCUMENTS DOES NOT IMPLY THAT ALL THE SYMBOLS OR MATERIALS INCLUDED IN THESE LEGENDS ARE INCORPORATED INTO THIS PROJECT. ABBREVIATIONS MAY APPEAR WITH PERIODS OR OTHER PUNCTUATION SEPARATING CHARACTERS ON THE DRAWINGS; THE MEANING REMAINS THE SAME.

Drafting symbols and materials legend table. Includes detail numbers, drawing numbers, column and reference line numbers, location elevations, room numbers, door and window types, and material patterns for concrete, brick, stone, steel, wood, and insulation.

DRAFTING SYMBOLS AND MATERIALS LEGEND



PROJECT

OAK BROOK TENNIS CENTER FRONT DESK RENOVATION 1300 FOREST GATE ROAD OAK BROOK, ILLINOIS 60523

OWNER

OAK BROOK PARK DISTRICT 1450 FOREST GATE ROAD OAK BROOK, ILLINOIS 60523

ARCHITECT/ENGINEER

KLUBER ARCHITECTS + ENGINEERS 41 W BENTON STREET AURORA, ILLINOIS 60506 TEL (630) 406-1213 FAX (630) 406-9472 www.kluberinc.com

BIDDING DOCUMENTS

REQUIRED CODE COMPLIANCE INFORMATION

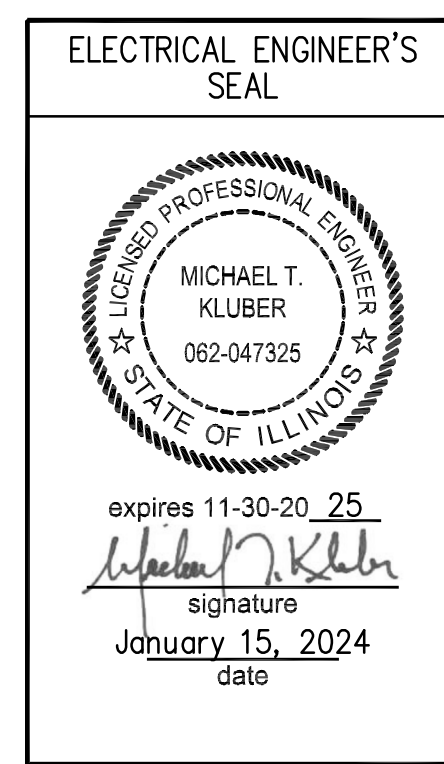
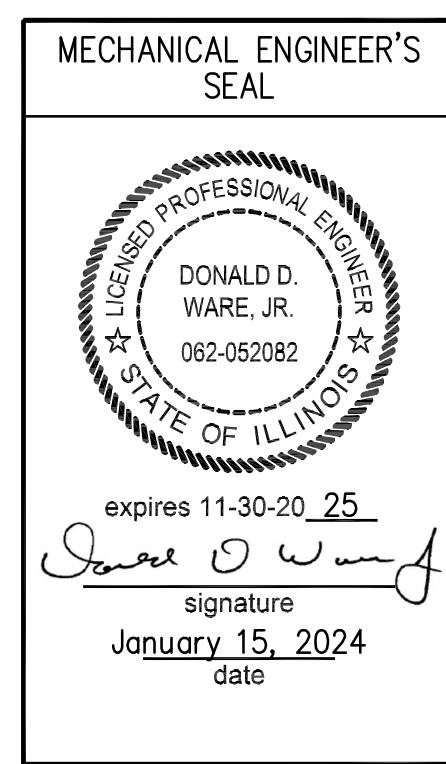
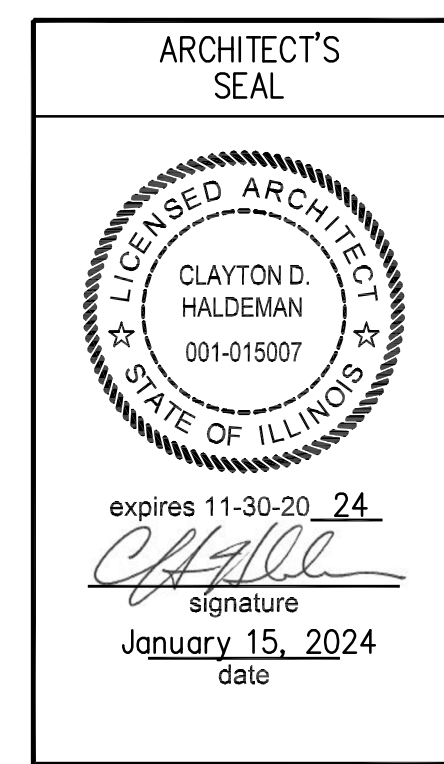
REQUIRED PLAN COVER SHEET INFORMATION FOR REVIEW UNDER 2021 INTERNATIONAL CODES, STATE OF ILLINOIS ACCESSIBILITY CODE, AND THE STATE OF ILLINOIS PLUMBING CODE CODE REVIEW DATA

GENERAL STATEMENT OF OVERALL PROJECT SCOPE AND INTENT:

PROJECT CONSISTS OF INTERIOR ALTERATIONS AND REMODELING TO AN EXISTING TWO-STORY RECREATIONAL BUILDING. BUILDING COMPONENTS AND SYSTEMS MODIFIED OR REPLACED AS PART OF THE WORK OF THIS PROJECT HAVE BEEN BROUGHT UP TO MEET THE REQUIREMENTS OF THE APPLICABLE CURRENT CODES. THE AREAS ALTERED FOR OFFICE USE ARE CLASSIFIED AS GROUP A, B AND M.

- A. USE AND OCCUPANCY GROUP(S) CLASSIFICATION: A, B, AND M.
B. TYPE OF CONSTRUCTION: II-B
C. SQUARE FOOTAGE OF BUILDING: NOT APPLICABLE; RENOVATED AREAS SQUARE FOOTAGE IS 638. ALLOWABLE SQUARE FOOTAGE: NOT APPLICABLE; NO CHANGE OF USE. FULLY SPRINKLERED; ALARMED.
D. OCCUPANT LOAD BASED ON INTERNATIONAL BUILDING CODE: NOT APPLICABLE; NO CHANGE OF OCCUPANCY USE.
E. OCCUPANT LOAD BASED ON ILLINOIS PLUMBING CODE: 57
F. DESIGNED LIVE LOADS: NOT APPLICABLE; THIS IS AN EXISTING BUILDING, TO WHICH NO MODIFICATIONS ARE BEING MADE TO STRUCTURAL COMPONENTS.
G. THE DESIGN PROFESSIONALS IN RESPONSIBLE CHARGE ARE IDENTIFIED IN THE SEALS AND CERTIFICATES AREA, BELOW.

SEALS & CERTIFICATIONS



I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH IBC 2021 EDITION, THE ENVIRONMENTAL BARRIERS ACT AND THE ILLINOIS ACCESSIBILITY CODE.

KLUBER, INC. ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE #184-001284

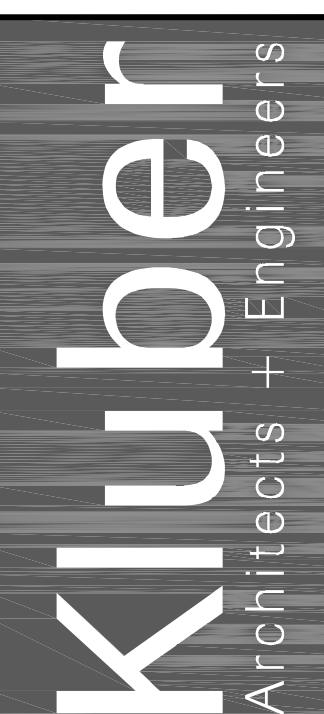
G100, A300, A800

G100, MFP300

G100, E300

INDEX OF DRAWINGS

- G100 COVER SHEET, GENERAL NOTES, SYMBOLS, & DRAWING INDEX
A300 ARCHITECTURAL DEMOLITION, FLOOR AND REFLECTED CEILING PLANS
A800 PLAN DETAILS, INTERIOR ELEVATION, DOOR, FRAME, AND HARDWARE SCHEDULES
MFP300 MECHANICAL, FIRE PROTECTION AND PLUMBING PLANS
E300 ELECTRICAL PLANS & DETAILS



Kluber, Inc. Aurora, Illinois 60506 Tel: (630) 406-1213 Bloomington, Illinois 61704 Tel: (309) 403-0460 www.kluberinc.com

OAK BROOK TENNIS CENTER FRONT DESK RENOVATION

OAK BROOK PARK DISTRICT 1450 FOREST GATE ROAD OAK BROOK, ILLINOIS 60523

ISSUED 1. 01/15/24 BID DOCUMENTS

JOB NO. 23-310-1501 DRAWN NCO CHECKED CDJ APPROVED CDH

SHEET TITLE

COVER SHEET, GENERAL NOTES, SYMBOLS AND DRAWING INDEX

SHEET NUMBER G100

CEILING SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	GYPSUM BOARD		MECHANICAL DIFFUSER: SUPPLY
	ACOUSTICAL CEILING TILE: 2' X 2'		MECHANICAL DIFFUSER: RETURN
	DOWN LIGHT FIXTURES A: SPOT B: DOWN C: WALL WASHER D: SCONCE		MECHANICAL DIFFUSER: EXHAUST
	SPRINKLER HEADS A: UPRIGHT B: PENDANT C: SEMI-RECESSED D: WALL		MECHANICAL DIFFUSER: LINEAR SUPPLY
	LIGHT FIXTURE: 1' X 4'		LIGHT FIXTURES: 2' X 2'

KEYNOTES

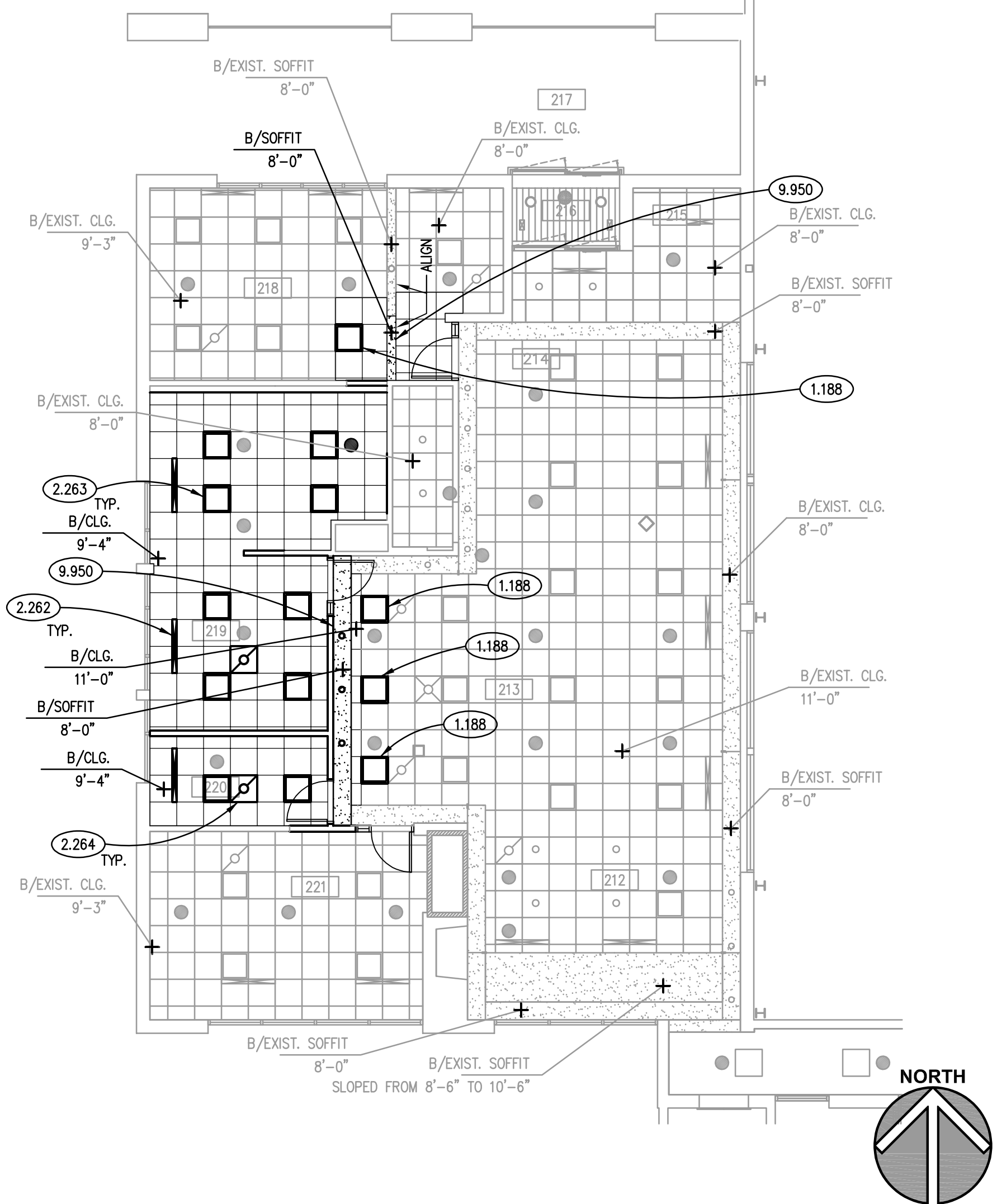
KEYNOTES ARE TYPICALLY NOT DUPLICATED WITHIN A GIVEN DETAIL. AN UNKEYNOTED ITEM IN A DETAIL IS THE SAME AS A KEYNOTED ITEM HAVING THE SAME APPEARANCE WITHIN THE SAME DETAIL.

- 1.111 OWNER-PROVIDED ITEM (N.I.C.): OFFICE EQUIPMENT; TV MONITOR.
- 1.188 OWNER-FURNISHED ITEM TO BE INSTALLED BY CONTRACTORS: 2' X 2' LAY-IN FIXTURE FROM ATTIC STOCK.
- 1.189 OWNER-FURNISHED ITEM TO BE INSTALLED BY CONTRACTORS: CARPET TILE FROM ATTIC STOCK.
- 2.051 EXISTING STRUCTURAL STEEL COLUMN.
- 2.100 EXISTING ARCHITECTURAL SPECIALTY: AS INDICATED.
- 2.111 EXISTING EQUIPMENT; REFRIGERATOR; TEMPORARILY REMOVE AND RELOCATE.
- 2.112 EXISTING EQUIPMENT; MICROWAVE; TEMPORARILY REMOVE AND RELOCATE.
- 2.113 EXISTING EQUIPMENT; COPIER; TEMPORARILY REMOVE AND RELOCATE.
- 2.131 EXISTING INTERIOR FLOOR FINISH: CARPET.
- 2.132 EXISTING INTERIOR FLOOR FINISH: QUARRY TILE.
- 2.133 EXISTING INTERIOR FLOOR FINISH: RESILIENT SHEET/TILE FLOORING.
- 2.260 EXISTING ELECTRICAL SYSTEM COMPONENT: AS INDICATED.
- 2.261 EXISTING ELECTRICAL LIGHT FIXTURE; REMOVE DURING CONSTRUCTION AND REINSTALL AFTER NEW CEILING CONSTRUCTION IS COMPLETE.
- 2.262 EXISTING MECHANICAL DIFFUSER: LINEAR SUPPLY; REMOVE DURING CONSTRUCTION AND REINSTALL AFTER NEW CEILING CONSTRUCTION IS COMPLETE.
- 2.263 EXISTING REINSTALLED ELECTRICAL LIGHT FIXTURE.
- 2.264 EXISTING MECHANICAL DIFFUSER: RETURN; REMOVE DURING CONSTRUCTION AND REINSTALL AFTER NEW CEILING CONSTRUCTION IS COMPLETE.
- 2.452 REMOVE EXISTING INTERIOR WALL CONSTRUCTION: DRYWALL PARTITION.
- 2.456 REMOVE EXISTING INTERIOR WINDOW: GLAZED ALUMINUM STOREFRONT.
- 2.457 REMOVE EXISTING INTERIOR SLIDING DOOR: GLAZED ALUMINUM STOREFRONT; FLOOR TRACK.
- 2.458 REMOVE EXISTING INTERIOR DOOR AND FRAME.
- 2.467 REMOVE EXISTING INTERIOR CONSTRUCTION: CASEWORK.
- 2.469 REMOVE EXISTING INTERIOR WALL FINISH: GYPSUM BOARD.
- 2.470 TEMPORARILY REMOVE AND RE-INSTALL EXISTING INTERIOR WALL FINISH: SLATWALL; REMOVE EXISTING COVE BASE.
- 2.471 REMOVE EXISTING INTERIOR WALL FINISH: SLATWALL; REMOVE EXISTING COVE BASE.
- 2.473 REMOVE EXISTING INTERIOR FLOOR FINISH: AS INDICATED.
- 2.474 REMOVE EXISTING INTERIOR FLOOR FINISH: CERAMIC TILE; REMOVE EXISTING VINYL BASE.
- 2.475 REMOVE EXISTING INTERIOR FLOOR FINISH: CARPET/CARPET TILE.
- 2.476 REMOVE EXISTING INTERIOR FLOOR FINISH: RESILIENT SHEET/TILE FLOORING.
- 2.478 REMOVE EXISTING QUARRY TILE AREA REQUIRED TO MATCH NEW FURNITURE AT OUTSIDE EDGE OF PARTITION BASE.
- 2.479 REMOVE EXISTING QUARRY TILE: SAW CUT TILE AT LIMITS OF REMOVAL.
- 2.482 REMOVE EXISTING INTERIOR CEILING FINISH: DRYWALL AND SUSPENDED FURRING.
- 2.488 TEMPORARILY REMOVE EXISTING LIGHT FIXTURE DURING DEMOLITION; REINSTALL IN PLACE.
- 6.001 ROUGH CARPENTRY: PROVIDE WOOD BLOCKING IN STUD WALL FOR NEW MOUNTED TV MONITOR.
- 9.310 LUXURY VINYL TILE: REFER TO SPECIFICATIONS.
- 9.320 VINYL COVE BASE: MATCH EXISTING; REFER TO SPECIFICATIONS.
- 9.920 INTERIOR WALL: PATCH AND PAINT GYPSUM BOARD WALL.
- 9.930 INTERIOR CEILING: PAINT TO MATCH EXISTING.
- 9.950 DRYWALL SOFFIT: MATCH EXISTING.
- 9.951 REINSTALL SLAT WALL AND APPLICATION OF COVE BASE.
- 12.590 SYSTEMS FURNITURE: PROVIDE UNDER SPECIFIED CASH ALLOWANCE AS FOLLOWS: STEELCASE ANSWER SERIES RECEPTION DESK 144" X 42" X 72" CONSISTING OF STEELCASE ANSWER PANELS WITH APPROPRIATE HARDWARE AND JUNCTIONS; ELECTRICAL IN RACEWAY; POWER WHIP; (4) DUPLEX RECEPTACLES; (1) UNIVERSAL BOX/BOX FILE PEDestal; 24" DEEP; (1) 42" WIDE UNIVERSAL BOOKCASE; UNIVERSAL WORK SURFACES; CUSTOM/SPECIAL UNIVERSAL TRANSACTION WORK SURFACES; SUPPORTS, CANTILEVERS AND END PANELS AS REQUIRED; GRADE 4 FINISHES.

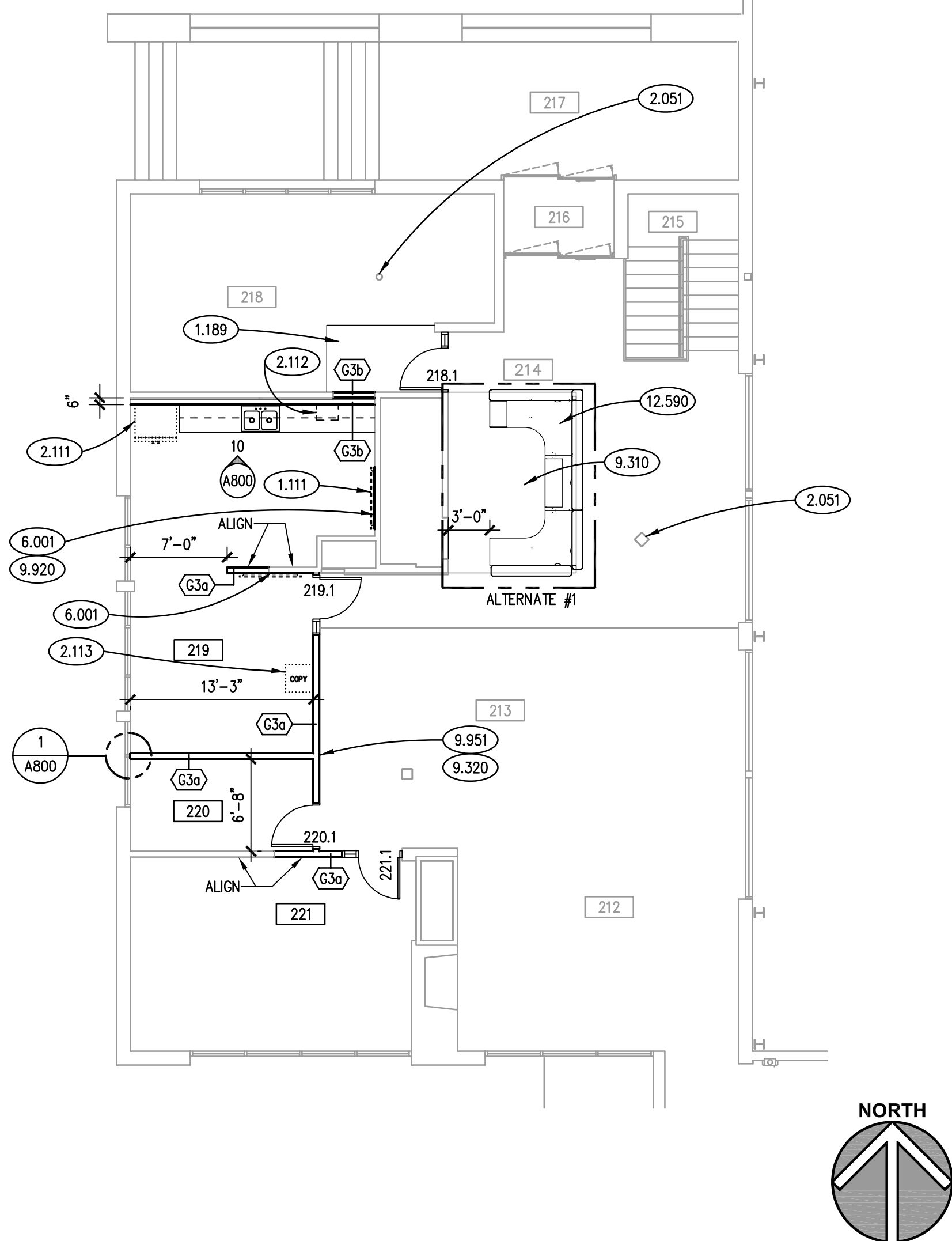
Kluber
Architects + Engineers

Kluber, Inc.
Aurora, Illinois 60506
Tel: 630.406.2133
Bloomington, Illinois 61714
Tel: 309.403.6460
www.kluberinc.com

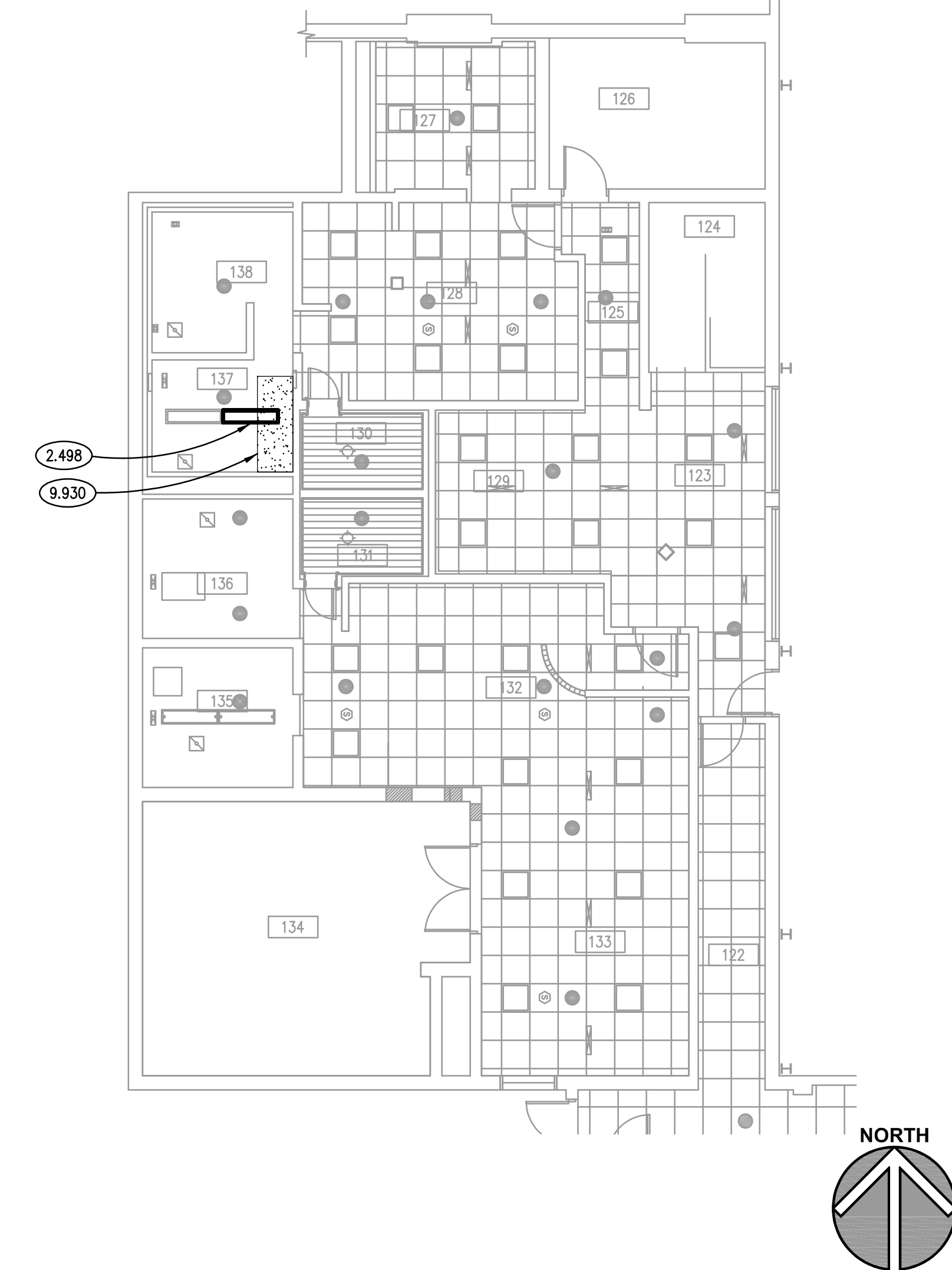
OAK BROOK TENNIS CENTER FRONT DESK RENOVATION
OAK BROOK PARK DISTRICT
1450 FOREST GATE ROAD
OAK BROOK, ILLINOIS 60523



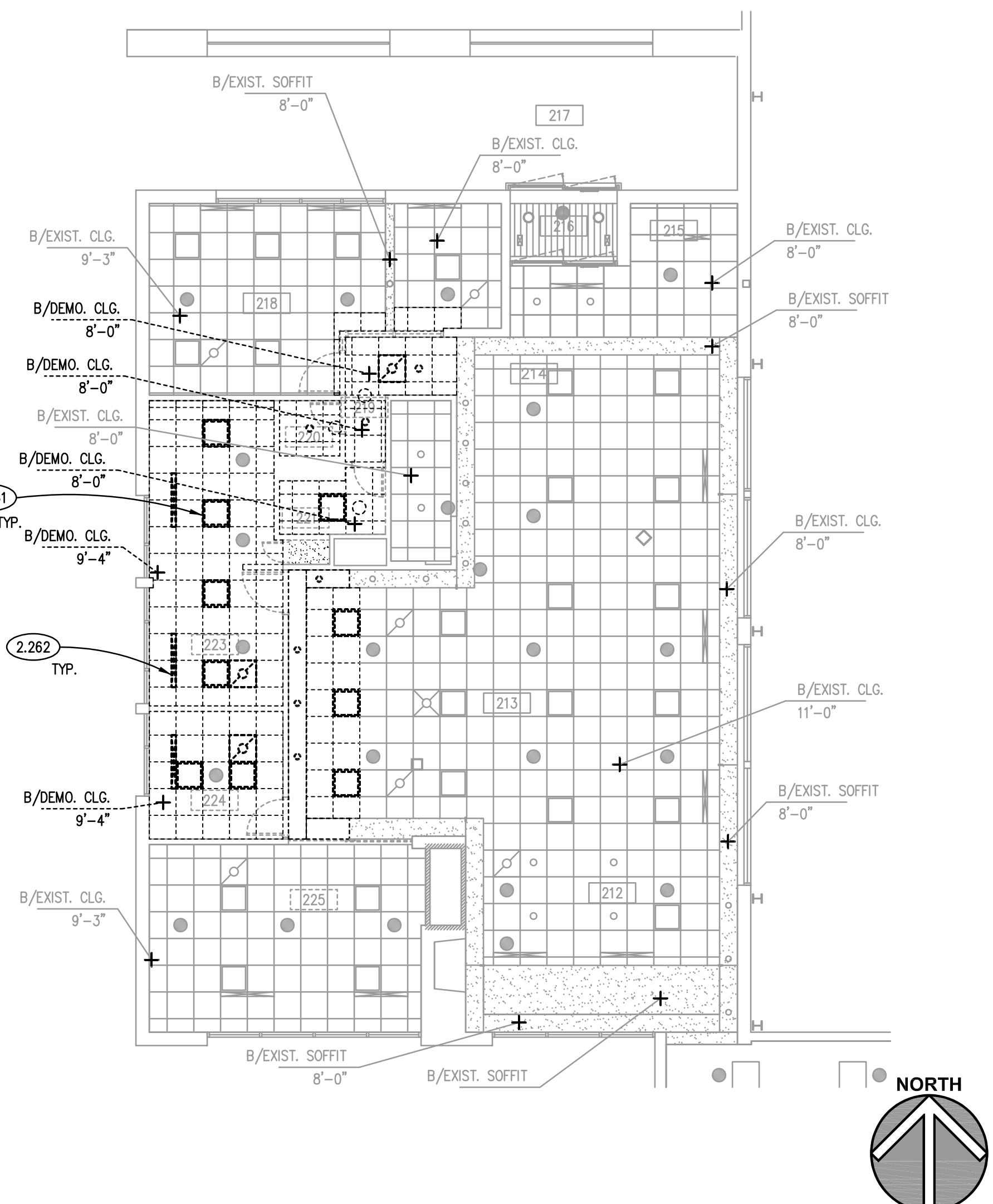
UPPER LEVEL REFLECTED CEILING PLAN 6
SCALE: 1/8" = 1'-0"



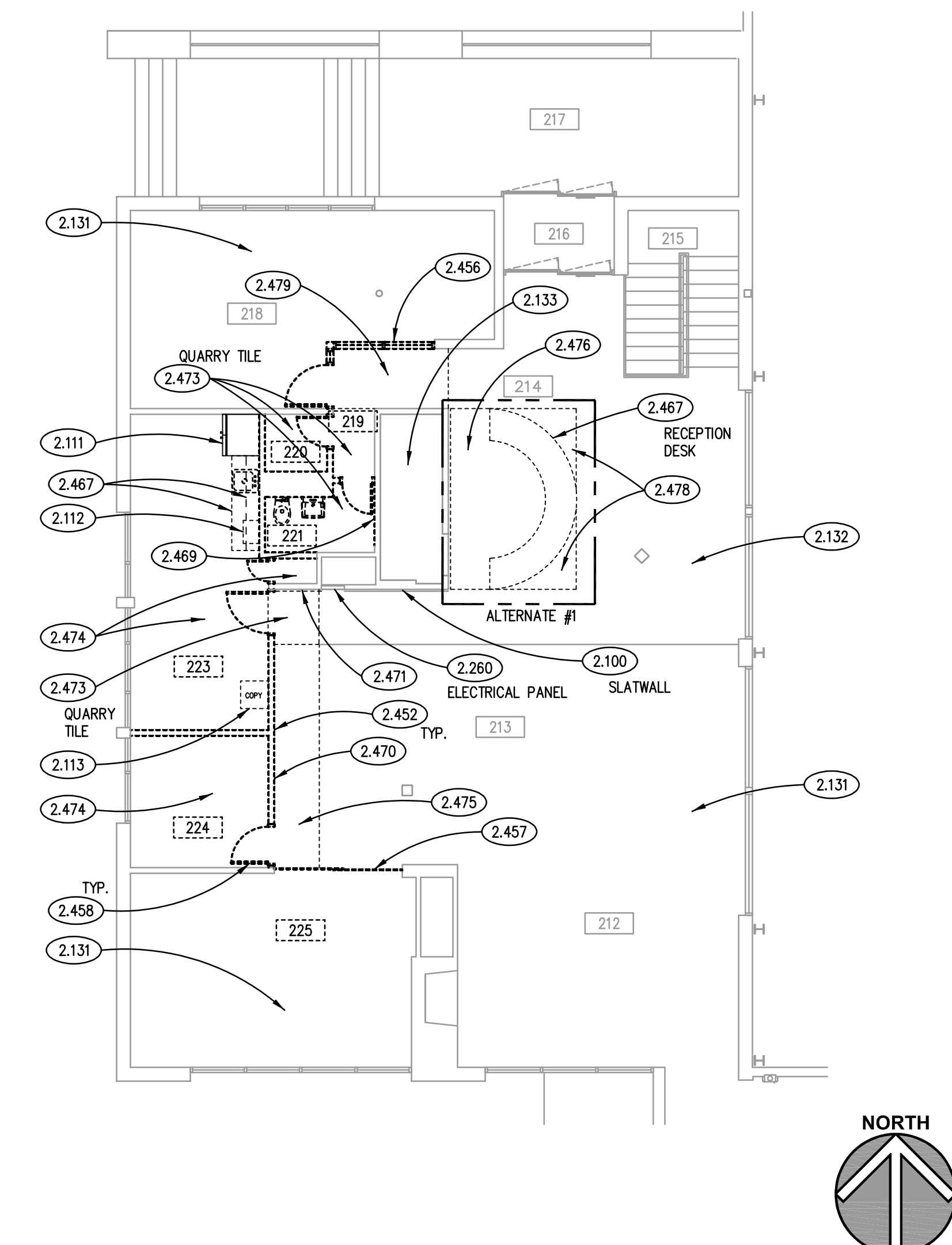
UPPER LEVEL FLOOR PLAN 4
SCALE: 1/8" = 1'-0"



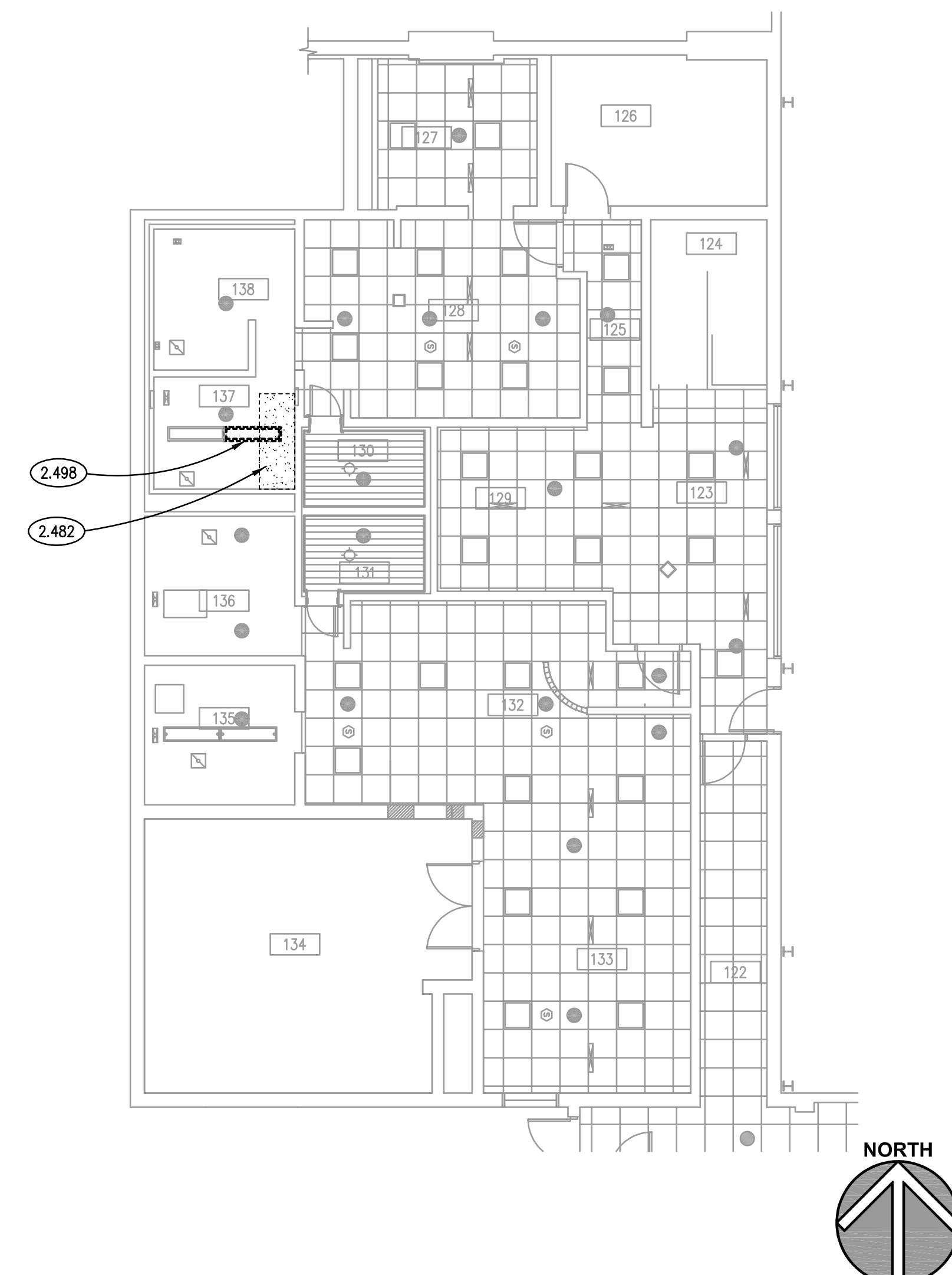
LOWER LEVEL REFLECTED CEILING PLAN 2
SCALE: 1/8" = 1'-0"



UPPER LEVEL REF. CEILING DEMO. PLAN 5
SCALE: 1/8" = 1'-0"



UPPER LEVEL DEMOLITION PLAN 3
SCALE: 1/8" = 1'-0"



LOWER LEVEL REF. CEILING DEMO. PLAN 1
SCALE: 1/8" = 1'-0"

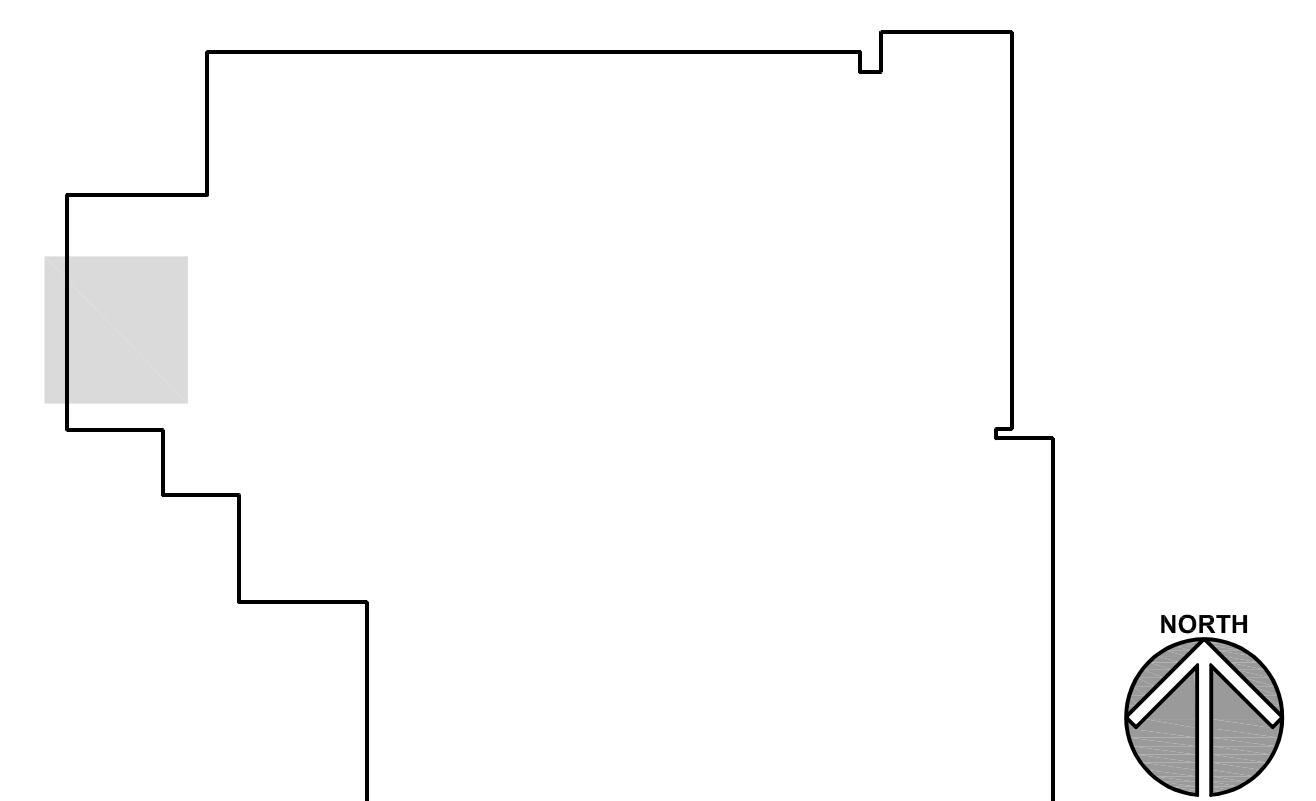
ROOM SCHEDULE

RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
122	EXISTING CORRIDOR	136	EXISTING MEN'S TOILET ROOM
123	EXISTING CORRIDOR	137	EXISTING WOMEN'S TOILET ROOM
124	EXISTING STAIRS	138	EXISTING WOMEN'S SHOWER
125	EXISTING CORRIDOR	212	EXISTING LOUNGE
126	EXISTING ELECTRIC ROOM	213	EXISTING MERCHANDISE AREA
127	EXISTING WOMEN'S LOCKER ROOM	214	EXISTING LOBBY
128	EXISTING WOMEN'S LOCKER ROOM	215	EXISTING STAIRS
129	EXISTING LOUNGE	216	EXISTING ENTRY VESTIBULE
130	EXISTING WOMEN'S SALINA	217	EXISTING OUTDOOR COVERED ENTRY
131	EXISTING MEN'S SALINA	218	OFFICE
132	EXISTING MEN'S LOCKER ROOM	219	OFFICE AND BREAK ROOM
133	EXISTING MEN'S LOCKER ROOM	220	MERCHANDISE CLOSET
134	EXISTING MECHANICAL ROOM	221	EXISTING OFFICE
135	EXISTING MEN'S SHOWER		

GENERAL NOTES

1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
2. UNLESS NOTED OTHERWISE, WHERE EXISTING FLOOR, WALL AND CEILING SURFACES ARE SCHEDULED TO RECEIVE FINISHES, DEMOLISH EXISTING FINISH MATERIALS (EXCEPT PROPERLY ADHERED PAINT) AND SALVAGE SURFACE-MOUNTED ITEMS, PROPERLY PREPARE SURFACES TO RECEIVE NEW FINISHES. REINSTALL SURFACE-MOUNTED ITEMS AT NEW LOCATIONS DETERMINED BY OWNER UNLESS SPECIFIC LOCATIONS ARE INDICATED ON DRAWINGS.
3. STORE SALVAGED ITEMS AS DIRECTED BY OWNER.
4. REMOVE SALVAGED ITEMS THAT WILL ULTIMATELY BE RE-USED ON THIS PROJECT TO OWNER'S DESIGNATED TEMPORARY STAGING AREA ON SITE.
5. PROTECT SALVAGED ITEMS FROM DAMAGE UNTIL INCORPORATED INTO THE WORK OR UNTIL MOVED TO OWNER'S PERMANENT STORAGE.
6. AT CEILING AREAS TO BE DEMOLISHED, TEMPORARILY SUPPORT LIGHT FIXTURES THAT ARE TO INDICATED TO REMAIN IN PLACE AS PART OF THE PERMANENT WORK.
7. ADDITIONAL DEMOLITION/RECONSTRUCTION AND REMOVAL/REPLACEMENT OF ARCHITECTURAL ELEMENTS IS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT. COORDINATE WITH ARCHITECTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS, AND PROVIDE DEMOLITION/RECONSTRUCTION AND REMOVAL/REPLACEMENT OF ARCHITECTURAL ELEMENTS AS REQUIRED TO COMPLETE THE WORK SHOWN ON THOSE DRAWINGS.
8. PROVIDE GYPSUM BOARD HEADERS TO FORM VERTICAL SOFFITS AT CHANGES OF ACOUSTICAL CEILING HEIGHTS UNLESS NOTED OR DETAILED OTHERWISE.
9. GYPSUM WALLS ARE WALL TYPE G30 UNLESS TAGGED OTHERWISE.

KEY PLAN



ISSUED	DESCRIPTION
1	1/11/24 BID DOCUMENTS

JOB NO.	23-310-1501
DRAWN	NCO
CHECKED	CDJ
APPROVED	CDH

SHEET TITLE
ARCHITECTURAL DEMOLITION, FLOOR AND REFLECTED CEILING PLANS

SHEET NUMBER

A300

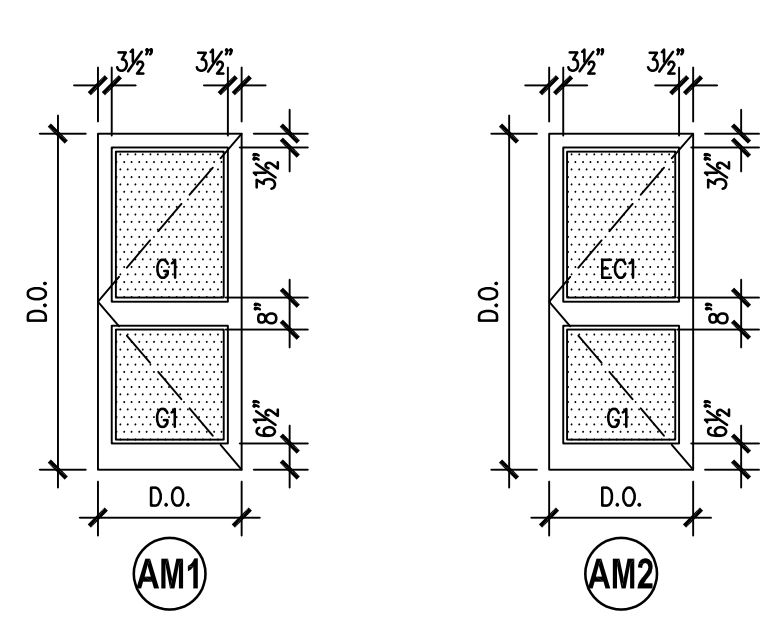
DOOR AND FRAME SCHEDULE

Table with columns: ROOM NO., ROOM NAME, DOOR NO., QTY., W, H, THK., TYPE, HAND, MAT., STEEL DOORS, WOOD DOORS, FINISH, GLASS, TYPE, MAT., GA., FINISH, GLASS, HEAD, JAMB, SILL, HDWR SET, FIRE RATING (MIN.), REMARKS.

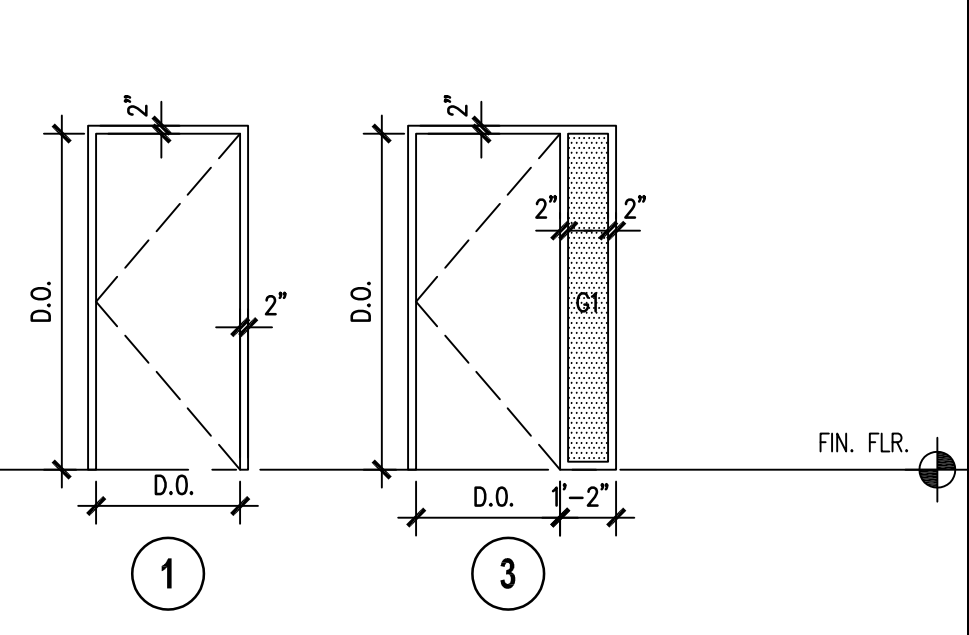
ROOM FINISH SCHEDULE

Table with columns: ROOM NO., ROOM NAME, FLOOR, BASE, WALLS (NORTH, SOUTH, EAST, WEST), CEILING, REMARKS.

DOOR TYPES



FRAME TYPES



KEYNOTES

- 2.057 EXISTING STEEL DECKING.
2.080 EXISTING ALUMINUM STOREFRONT FRAMING.
2.084 EXISTING INSULATED GLAZING.
2.131 EXISTING INTERIOR FLOOR FINISH: CARPET.
2.132 EXISTING INTERIOR FLOOR FINISH: QUARRY TILE.
2.485 REMOVE EXISTING INTERIOR CEILING FINISH: ACOUSTICAL PANELS; SALVAGE SUSPENDED GRID IN PLACE.
6.411 CUSTOM CASEWORK: STANDARD LAMINATE; BASE CABINETS; REFER TO SPECIFICATIONS.
6.412 CUSTOM CASEWORK: STANDARD LAMINATE; WALL CABINETS; REFER TO SPECIFICATIONS.
7.910 PREFORMED JOINT SEALER: REFER TO SPECIFICATIONS.
7.920 JOINT SEALANT: REFER TO SCHEDULE IN SPECIFICATION SECTION 07 92 00; PROVIDE BACKER ROD OR BOND BREAKER.
8.430 ALUMINUM STOREFRONT FRAMING: SYSTEM U-VALUE, INCLUDING GLAZING, OF 0.38, MAX.
8.433 ALUMINUM DOOR: REFER TO DOOR, FRAME AND BORROWED LIGHT SCHEDULE.
8.800 GLAZING: REFER TO DOOR/FRAME/WINDOW SCHEDULES FOR TYPE.
9.210 GYPSUM BOARD: 5/8" THICK; TYPE "X".
9.214 GYPSUM BOARD ACCESSORY: ACOUSTICAL SEALANT.
9.215 GYPSUM BOARD ACCESSORY: ACOUSTICAL INSULATION: SOUND ATTENUATION BATTS; THICKNESS AS SPECIFIED.
9.218 GYPSUM BOARD ACCESSORY: EDGE TRIM; 1" PROFILE.
9.223 METAL STUD FRAMING: 3-5/8" STUD; 20 GAUGE UNLESS NOTED OTHERWISE; ANCHORAGE TO SUIT APPLICATION.
9.229 METAL STUD FRAMING: STUD RUNNER; SIZE TO MATCH METAL STUDS.
9.230 METAL STUD FRAMING: DEFLECTION RELIEF DEEP-LEG STUD RUNNER WITH SLOTTED HOLES; PROVIDE RUNNER WITH INTEGRAL FIRESTOPPING MATERIAL IN FIRE-RESISTANCE-RATED WALLS.
9.231 METAL STUD FRAMING: SHAFTWALL "OH" STUD; 2-1/2"; GA. AS SPECIFIED; 24" O.C. SPACING.
9.310 LUXURY VINYL TILE: REFER TO SPECIFICATIONS.
9.510 ACOUSTICAL CEILING PANELS AND GRID.
9.657 RESILIENT ACCESSORY: TRANSITION STRIP WITH TRACK BASE.
9.680 CARPET: REFER TO A300 SERIES DRAWINGS.
10.280 SOAP DISPENSER: PROVIDED BY OWNER.
12.366 COUNTERTOP: QUARTZ; REFER TO SPECIFICATIONS.
12.367 COUNTERTOP: TRASH CHUTE; CENTER OF TRASH CAN LOCATION.
12.374 COUNTERTOP BACK/SIDE SPLASH: 4" HIGH; SAME MATERIAL AS COUNTERTOP.

DOOR SCHEDULE REMARKS

ROOM FINISH SCHEDULE REMARKS

- 1. PREP FRAME FOR ELECTRIC STRIKE.
2. PREP FRAME FOR FRAME-MOUNTED PROXIMITY READER (READER PROVIDED BY OWNER'S SECURITY VENDOR).

- 1. ONLY PAINT SOUTH WALL INFILL: PAINT TO MATCH OFFICE ROOM NO. 218.
2. ONLY PAINT NORTH WALL INFILL: PAINT TO MATCH EXISTING LOBBY; VINYL RUBBER BASE TO MATCH EXISTING.

GENERAL NOTES

FINISH REMARKS

- 1. REFER TO A400 SERIES REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
2. REFER TO ROOM FINISH SCHEDULE FOR SPECIFIC DOOR AND FRAME FINISHES AND GLAZING TYPES.

- 1.

DOOR HARDWARE SCHEDULE

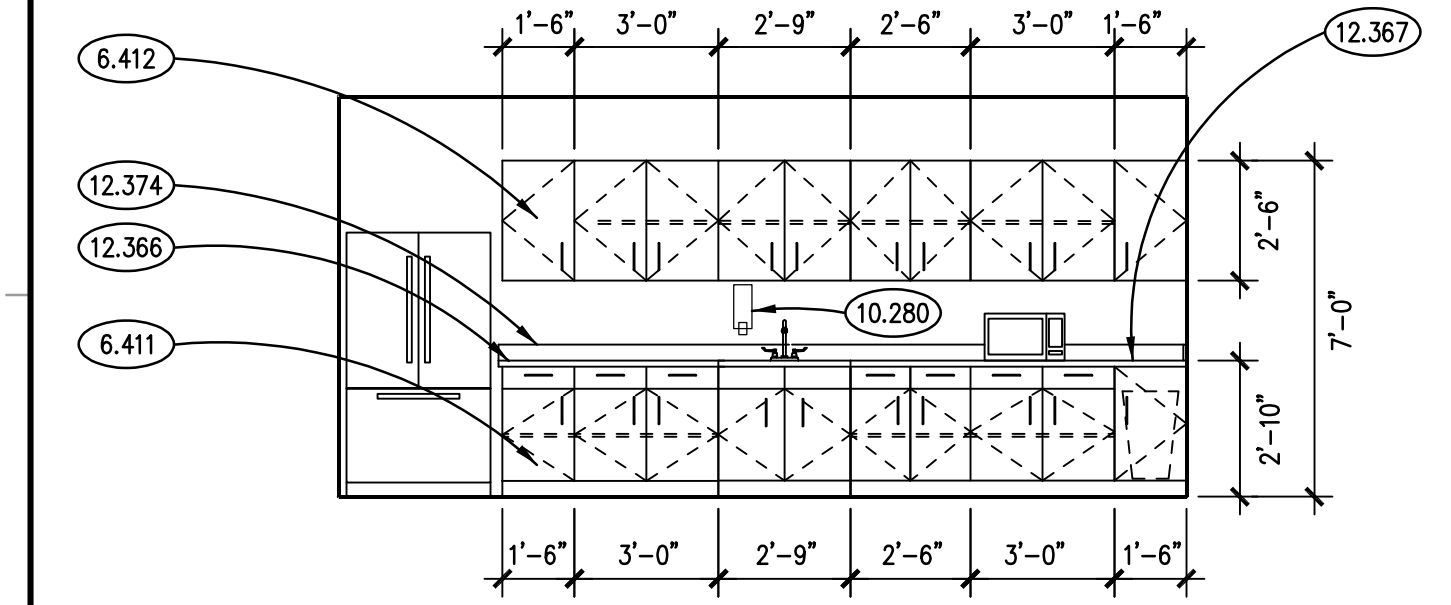
Table with columns: SET NO., HINGES, LOCK SET, EXIT DEVICE, CLOSER, HOLDER, STOP, THRES-HOLD, KICK PLATE, MOP PLATE, WEATHER STRIPPING, SWEEP, PUSH/PULL, REMOV. MULLION, REMARKS.

HARDWARE SCHEDULE REMARKS

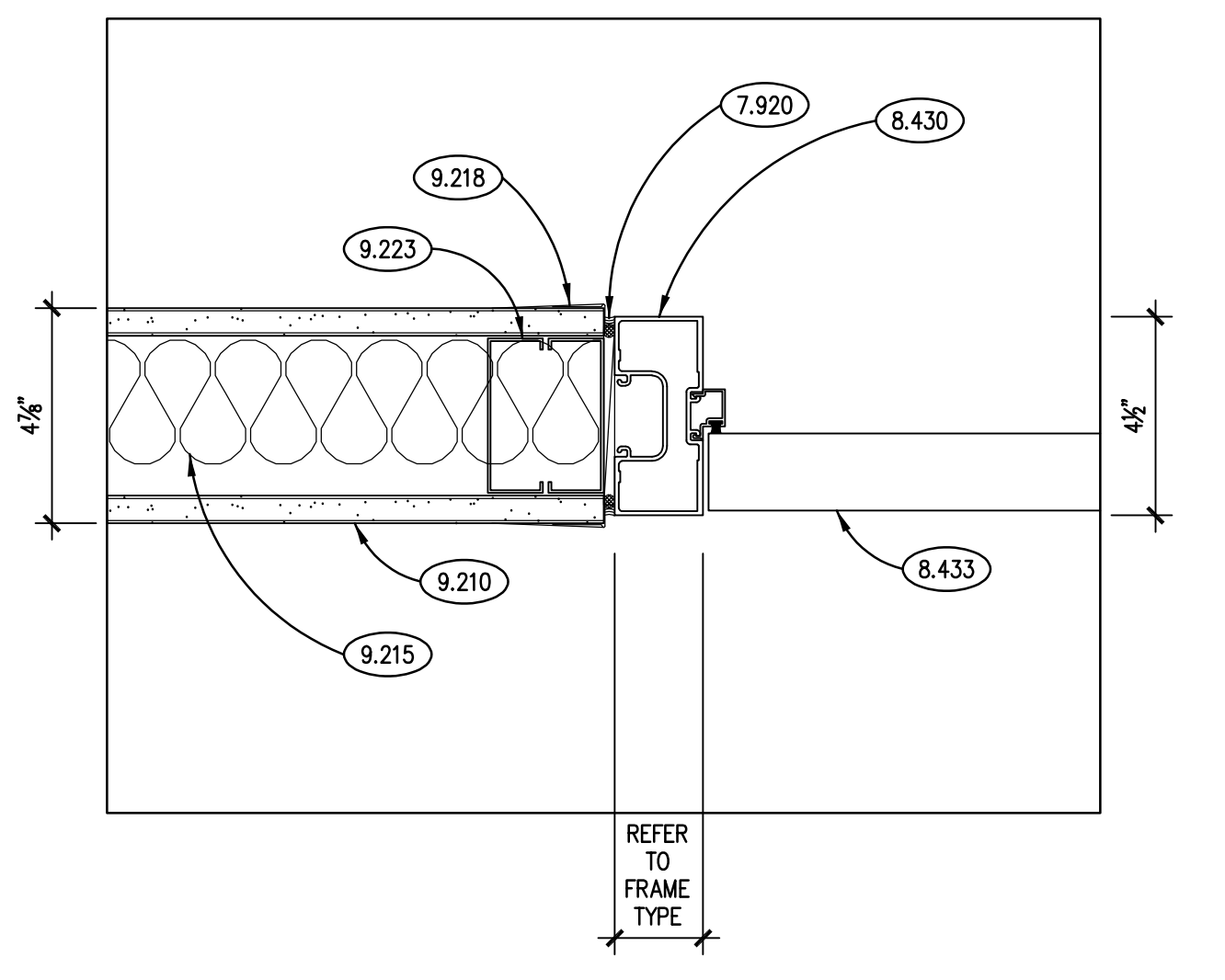
- 1. STOREROOM FUNCTION LOCKSET; ELECTRIC STRIKE (WIRING AND FINAL CONNECTIONS BY OWNER'S SECURITY VENDOR).
2. OFFICE FUNCTION LOCKSET; ELECTRIC STRIKE (WIRING AND FINAL CONNECTIONS BY OWNER'S SECURITY VENDOR).
3. OFFICE FUNCTION LOCKSET; ELECTRIC STRIKE (WIRING AND FINAL CONNECTIONS BY OWNER'S SECURITY VENDOR).

COLOR CODE SCHEDULE

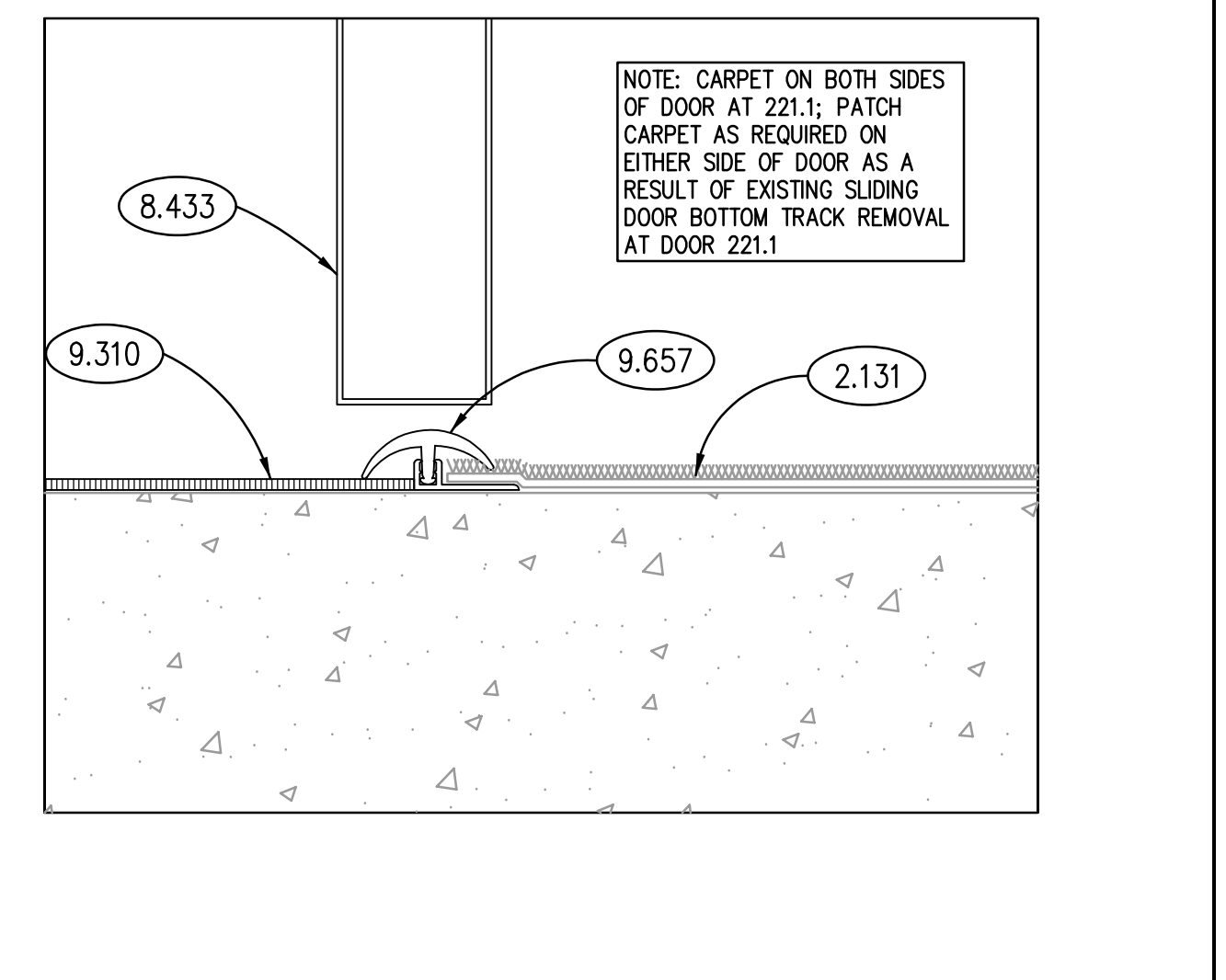
Table with columns: AREA, FINISH CODE, MATERIAL, MANUFACTURER, DESCRIPTION.



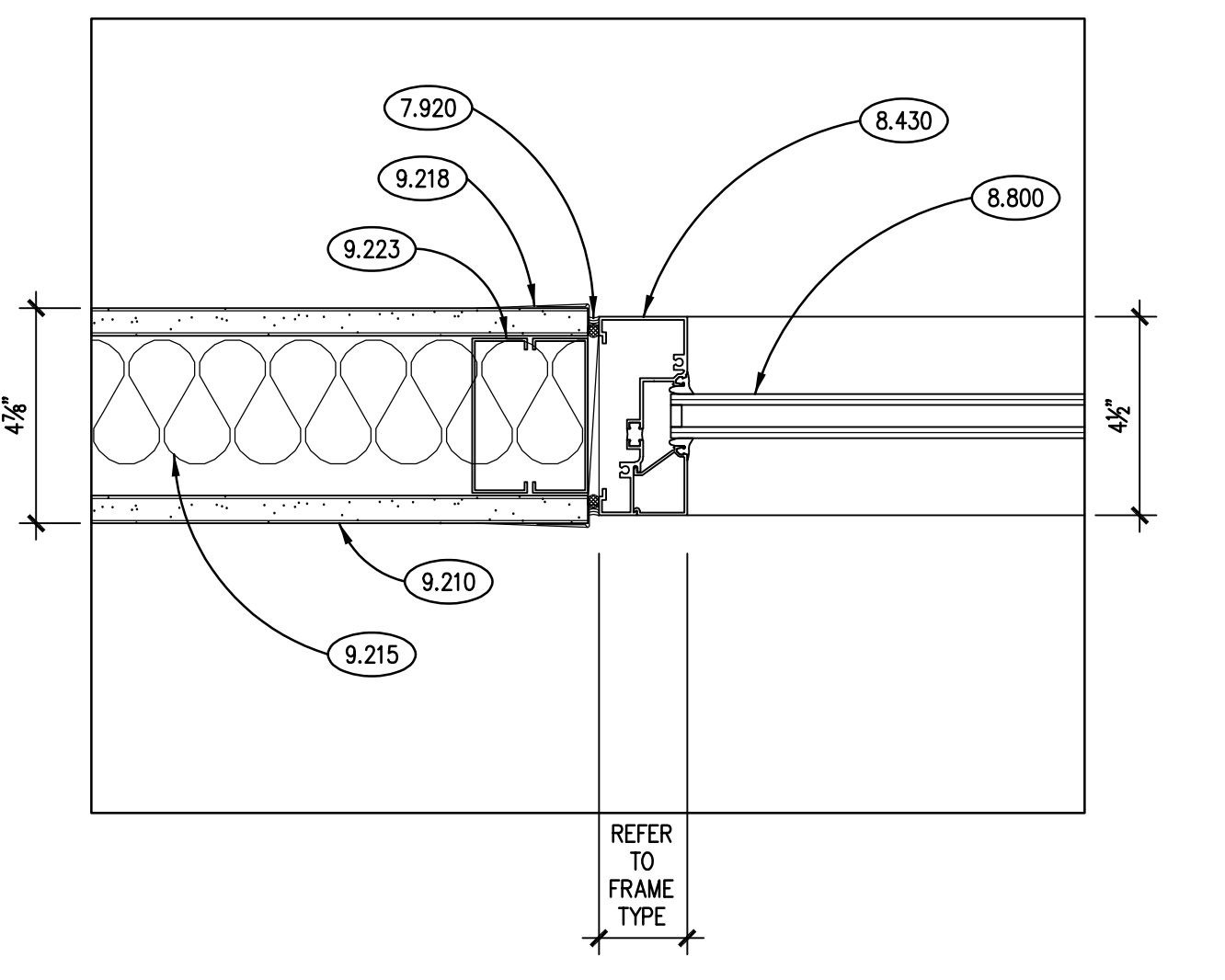
BREAK ROOM 219 INT. ELEVATION SCALE: 1/4" = 1'-0" 10



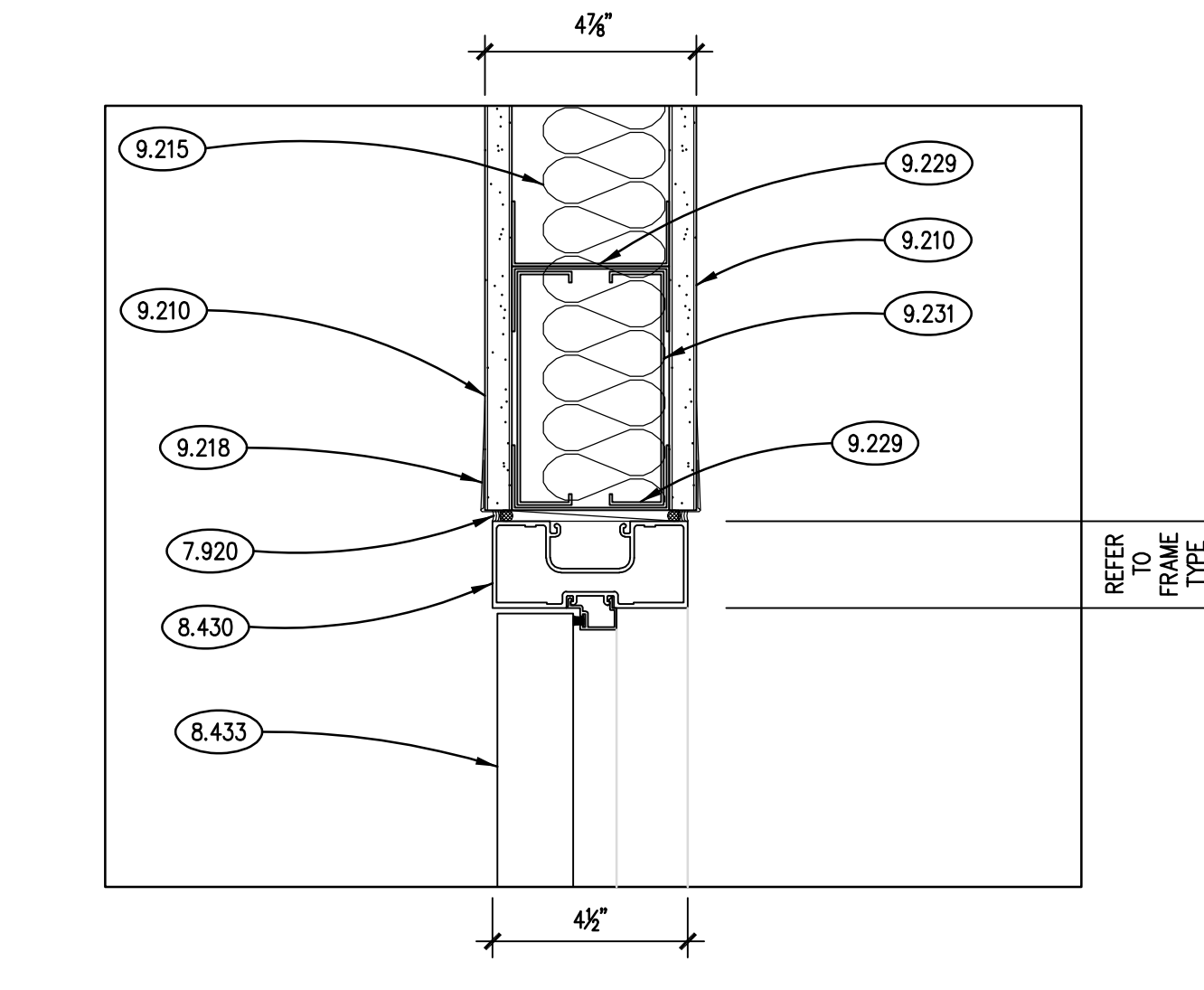
JAMB DETAIL SCALE: 3" = 1'-0" 8



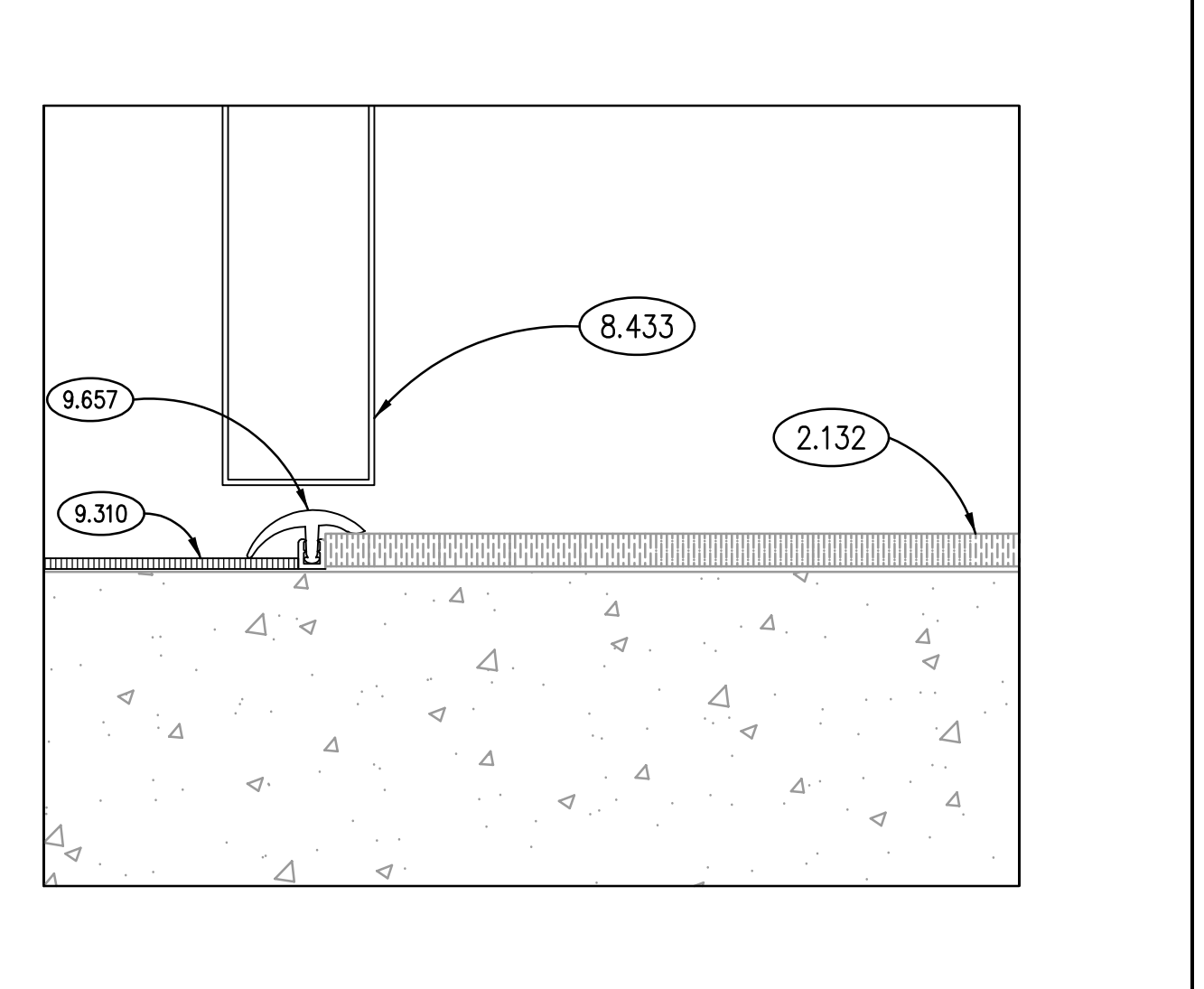
SILL DETAIL SCALE: 6" = 1'-0" 6



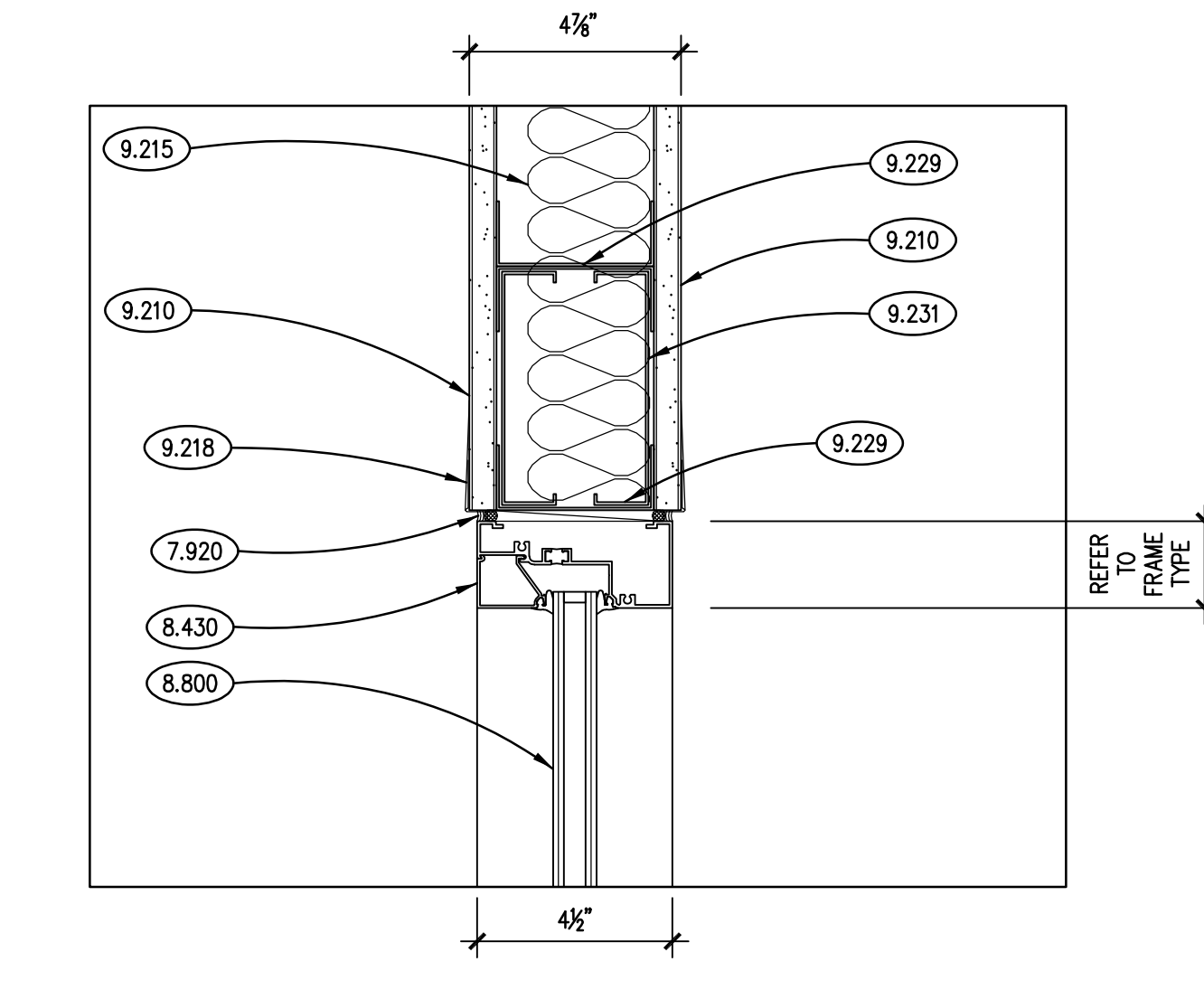
JAMB DETAIL SCALE: 3" = 1'-0" 4



HEAD DETAIL SCALE: 3" = 1'-0" 7



SILL DETAIL SCALE: 6" = 1'-0" 5



HEAD DETAIL SCALE: 3" = 1'-0" 3

FINISH TYPES

Table with columns: AREA, FIN, DESCRIPTION.

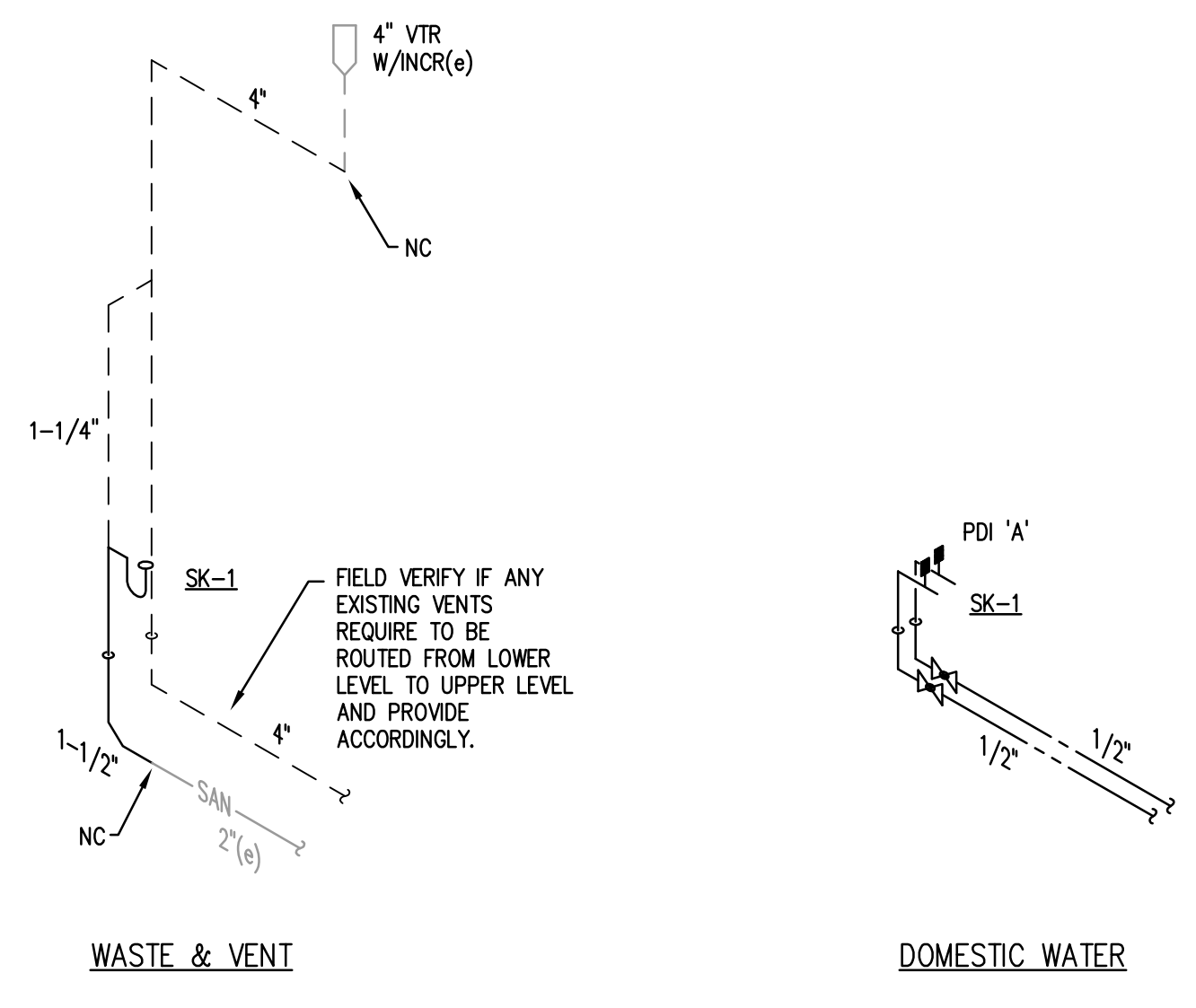
HARDWARE MOUNTING HEIGHTS

Table with columns: HARDWARE COMPONENT, PREFERRED MOUNTING HEIGHT FROM BOTTOM OF DOOR FRAME, ACCEPTABLE RANGE IF PREFERRED MOUNTING HEIGHT NOT POSSIBLE.

DOOR SCHEDULE ABBREVIATIONS

Table with columns: DOOR / FRAME MATERIAL, STEEL DOOR GAGE, WOOD DOOR GRADE, WOOD DOOR VENEER CUTS.

NOTE: SCALES DEPICTED ON THIS DRAWING ARE NOT CORRECT UNLESS PLOTTED SHEET SIZE IS 30 X 42 INCHES.

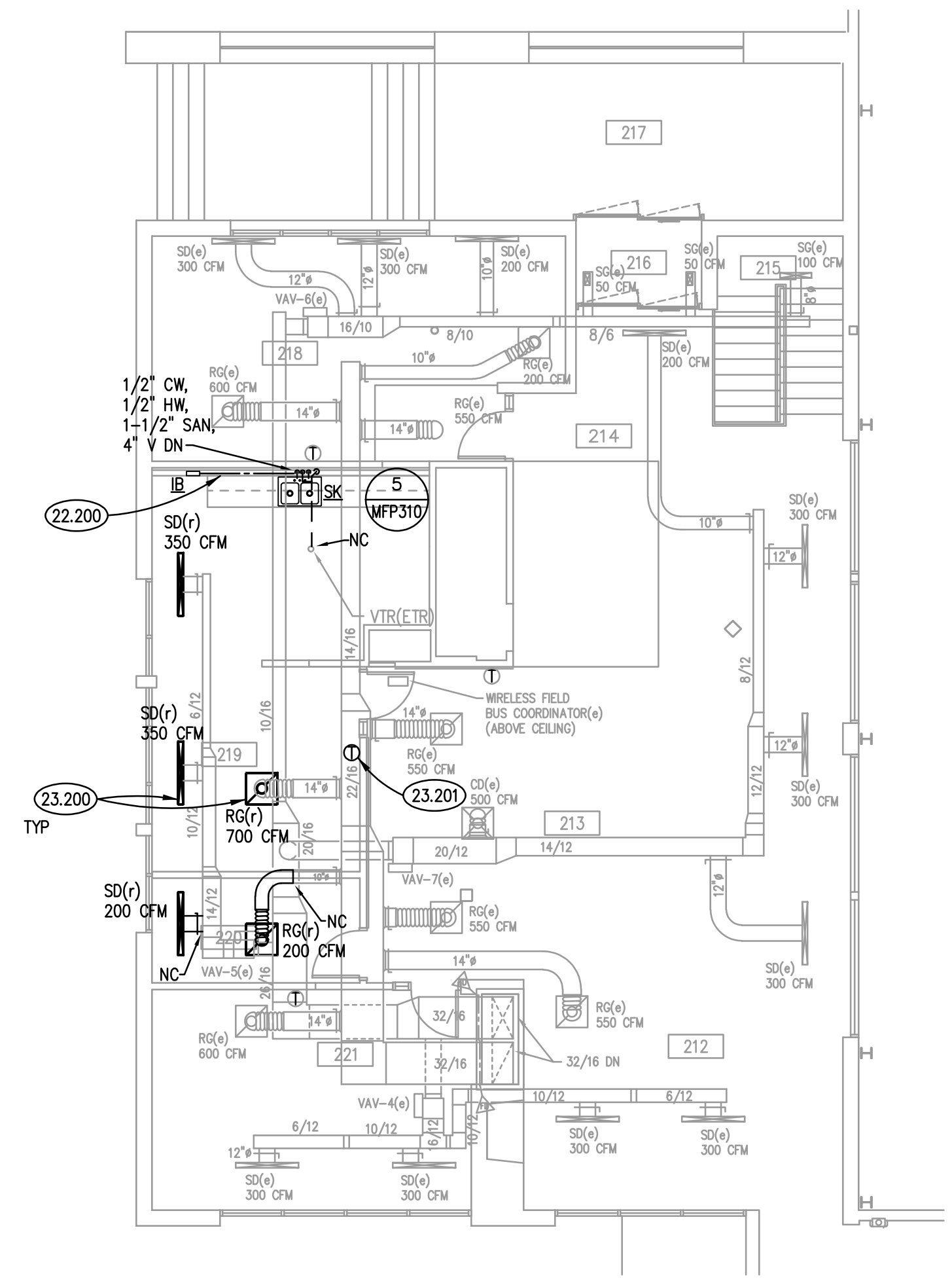


RISER DIAGRAM
SCALE: NTS **5**

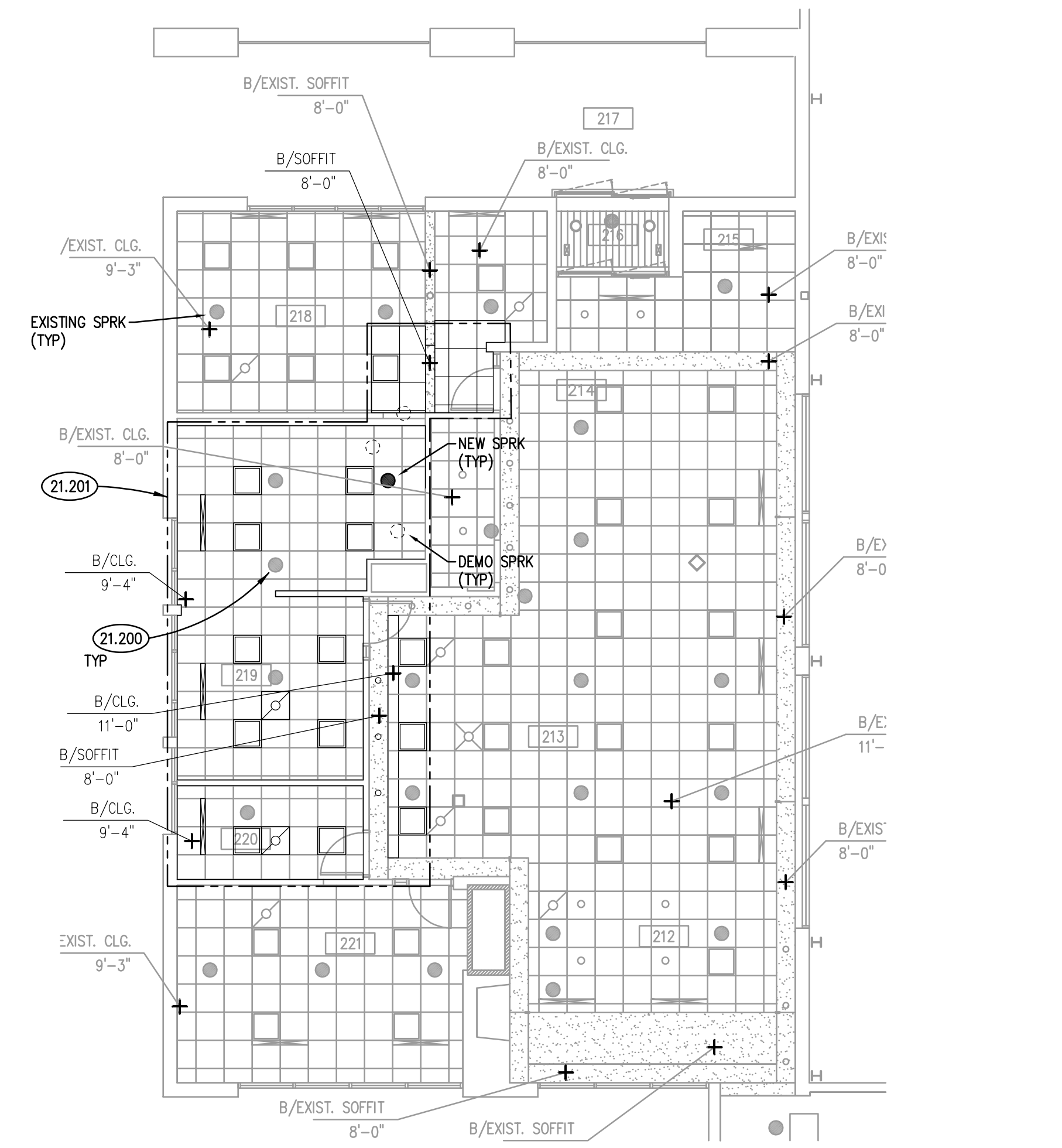
PLUMBING FIXTURE SCHEDULE

TAG	DESCRIPTION	COLD	HOT	WASTE	VENT	REMARKS
SK	SINK-DOUBLE BOWL	1/2"	1/2"	1-1/2"	1-1/4"	ADAAG COMPLIANT

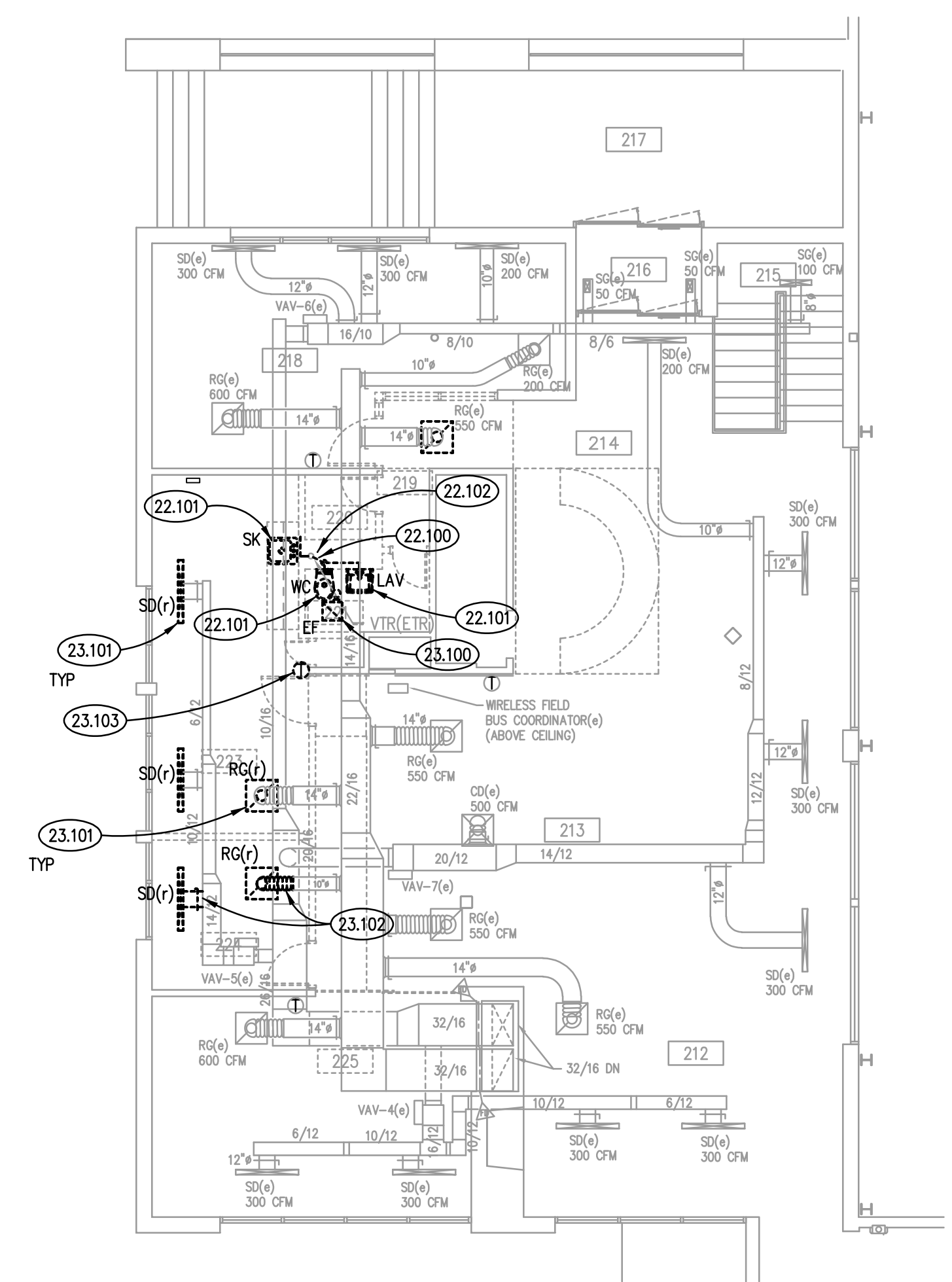
- ALL PLUMBING MATERIALS AND INSTALLATIONS SHALL BE IN STRICT ACCORDANCE WITH ALL STATE AND LOCAL PLUMBING RULES AND REGULATIONS CURRENTLY IN EFFECT, GOVERNED BY THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION.
- THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL TRAPS AND CLEANOUTS AS NECESSARY OF THE LOCALITY.
- THE OPENINGS IN WALLS FOR THE PASSAGE OF PIPES SHALL BE TOTALLY FIRE SEALED TO THE SATISFACTION OF THE PLUMBING INSPECTOR AND/OR THE AUTHORITY HAVING JURISDICTION.



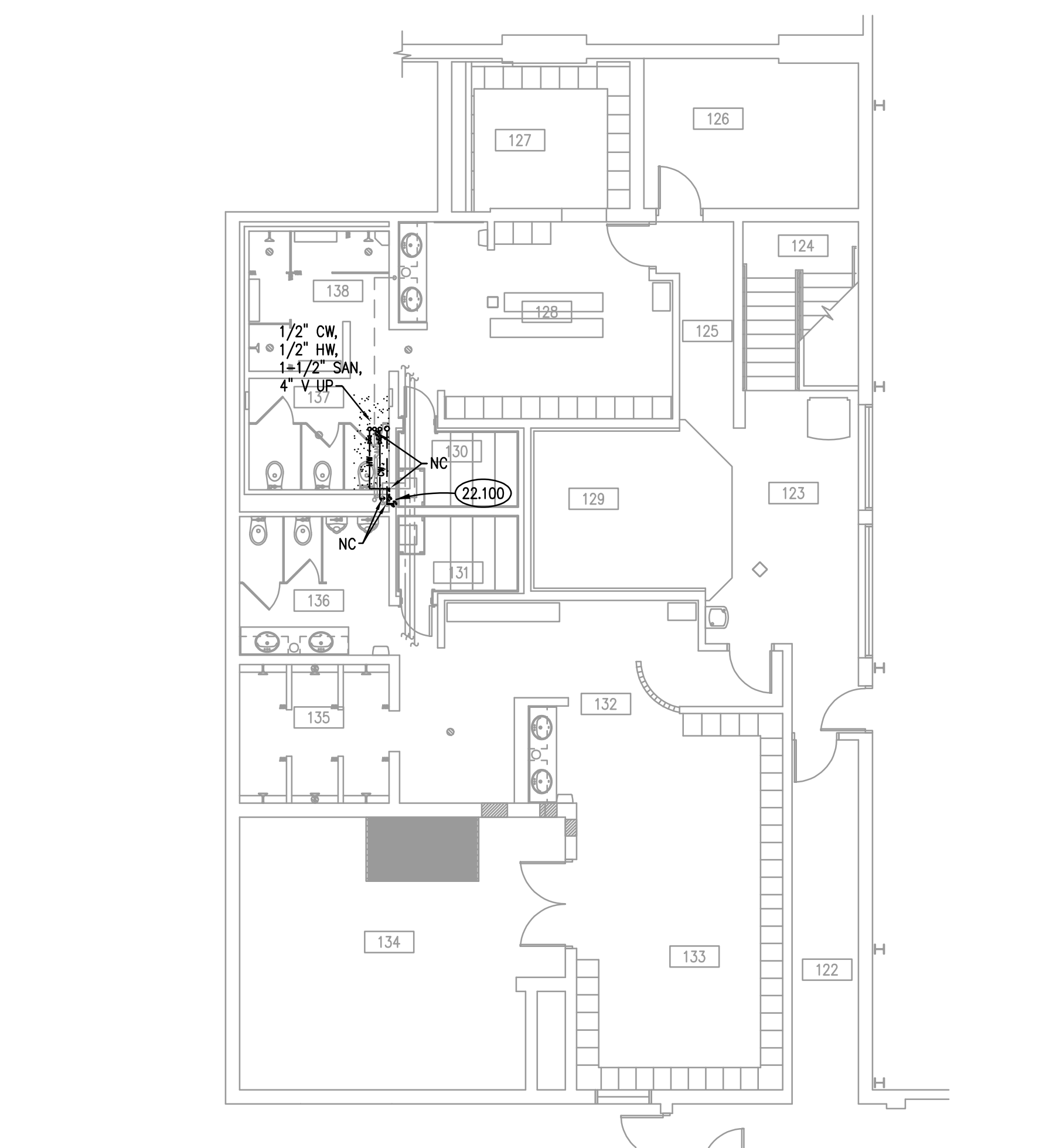
UPPER LEVEL PLBG AND MECH NEW WORK PLAN
SCALE: 1/8" = 1'-0" **4**



UPPER LEVEL FIRE PROTECTION PLAN
SCALE: 1/8" = 1'-0" **2**



UPPER LEVEL PLBG AND MECH DEMOLITION PLAN
SCALE: 1/8" = 1'-0" **3**



LOWER LEVEL PLUMBING DEMO & NEW WORK PLAN
SCALE: 1/8" = 1'-0" **1**

KEYNOTES

KEYNOTES ARE TYPICALLY NOT DUPLICATED WITHIN A GIVEN DETAIL. AN UN-KEYNOTED ITEM IN A DETAIL IS THE SAME AS A KEYNOTED ITEM HAVING THE SAME APPEARANCE WITHIN THE SAME DETAIL.

- 21.200 CEILING IN OUTLINED AREA TO BE REMOVED. REMOVE SPRINKLER HEAD ESCUTCHEONS, STORE AND PROTECT FOR RE-INSTALLATION. PROVIDE PROTECTIVE COVER ON SPRINKLER HEADS NOT BEING MODIFIED. CEILING TO BE INSTALLED AT SAME ELEVATION.
- 21.201 MODIFY EXISTING WET PIPE SPRINKLER SYSTEM FOR NEW ROOM CONFIGURATION IN OUTLINED AREA. PROVIDE PERMANENT CAP ON SPRINKLER TAKE OFFS NOT BEING REUSED. PROVIDE ALL MATERIAL AND LABOR TO RELOCATE SPRINKLER HEADS AS REQUIRED FOR PROTECTION. NEW SPRINKLER HEADS SHALL MATCH EXISTING.
- 22.100 REMOVE ALL WATER, WASTE AND VENT PIPE FROM LOWER LEVEL UP TO FIRST FLOOR PLUMBING FIXTURES BEING REMOVED. PROVIDE TEMPORARY CAP ON PIPES BEING REUSED FOR NEW CONNECTION. FIELD VERIFY EXACT PIPING CONFIGURATIONS AND LOCATION.
- 22.101 REMOVE PLUMBING FIXTURE AND ALL ASSOCIATED WATER, WASTE AND VENT PIPING.
- 22.102 REMOVE SECTION OF VENT STACK UP TO NEAR ROOF LEVEL. VENT THROUGH THE ROOF IS TO BE REUSED.
- 22.200 PROVIDE 1/2 INCH COLD WATER TO WATER SUPPLY BOX FOR REFRIGERATOR ICE MAKER.
- 23.100 REMOVE CEILING EXHAUST FAN AND ALL ASSOCIATED DUCTWORK. CAP ROOF PENETRATION WEATHER-TIGHT.
- 23.101 REMOVE SLOT DIFFUSER/RETURN GRILLE, STORE AND PROTECT FOR RE-INSTALLATION. PROVIDE TEMPORARY CAP ON DUCTWORK BEING REUSED.
- 23.102 REMOVE SECTIONS OF DUCTWORK THAT REQUIRES MODIFICATIONS FOR DIFFUSER NEW LOCATION. CAP AND INSULATE TO MATCH EXISTING.
- 23.103 REMOVE, STORE AND PROTECT THERMOSTAT FOR VAV-5(a). REFER TO NEW WORK PLAN FOR NEW THERMOSTAT LOCATION.
- 23.200 COMPLETELY CLEAN AND REINSTALL REMOVED SLOT DIFFUSER/RETURN GRILLE.
- 23.201 REINSTALL REMOVED THERMOSTAT AND NEW WIRING BETWEEN THERMOSTAT AND VAV BOX. FIELD VERIFY THERMOSTAT COMMUNICATES WITH VAV BOX AND BOX OPERATES ACCORDINGLY.

CEILING SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Pattern]	GYPSUM BOARD	[Symbol]	MECHANICAL DIFFUSER: SUPPLY
[Pattern]	ACOUSTICAL CEILING TILE: 2' X 2'	[Symbol]	MECHANICAL DIFFUSER: RETURN
[Symbol]	DOWN LIGHT FIXTURES A: SPOT B: DOWN C: WALL WASHER D: SCONCE	[Symbol]	MECHANICAL DIFFUSER: EXHAUST
[Symbol]	SPRINKLER HEADS A: SPRINK B: PENDANT C: SEM-RECESSED D: WALL	[Symbol]	MECHANICAL DIFFUSER: LINEAR SUPPLY
[Symbol]		[Symbol]	LIGHT FIXTURE: 1' X 4'
[Symbol]		[Symbol]	LIGHT FIXTURES: 2' X 2'

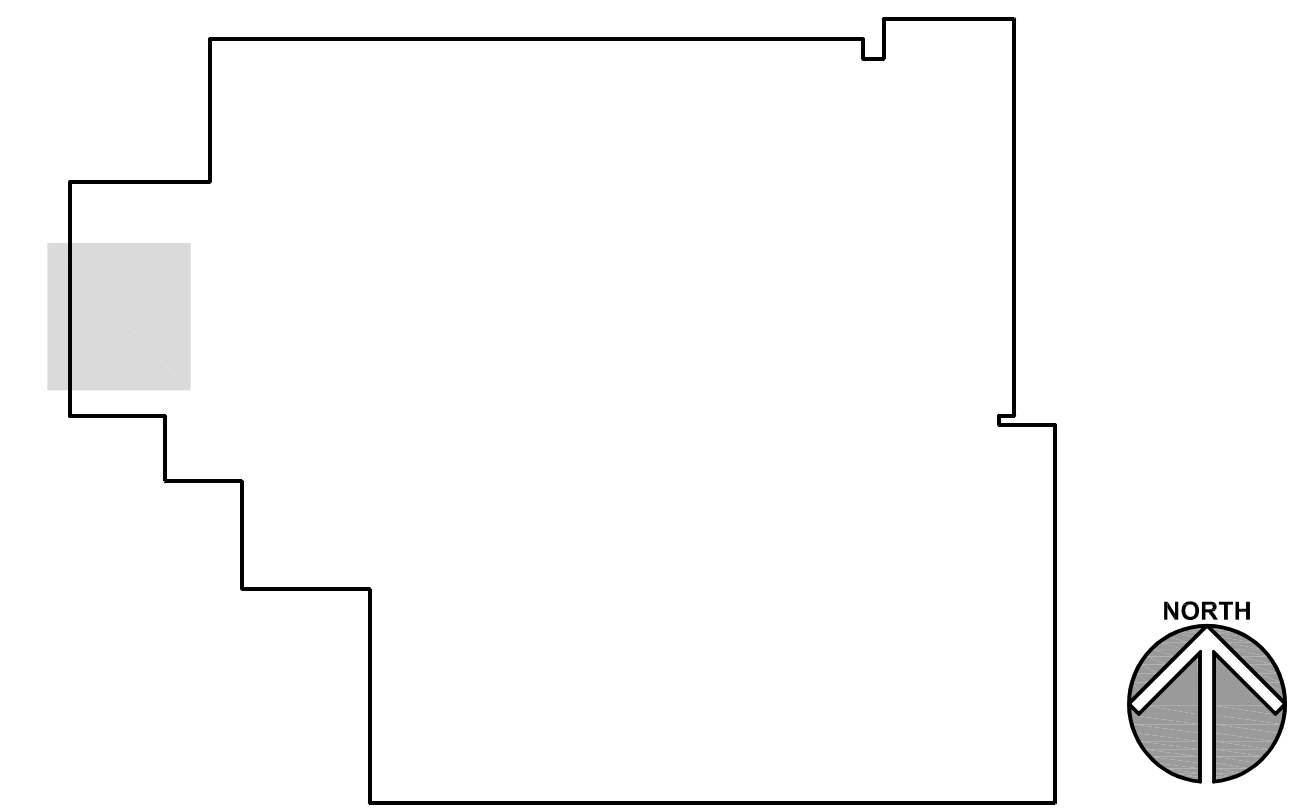
PLUMBING GENERAL NOTES

- REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
- ALL SANITARY, WASTE AND STORM PIPES UP TO AND INCLUDING 3 INCHES SHALL SLOPE AT 1/4 INCH PER FOOT, 4 INCHES AND LARGER SHALL SLOPE AT 1/8 INCH PER FOOT, UNLESS OTHERWISE NOTED.
- ALL PIPING IS SHOWN DIAGRAMMATICALLY AND DOES NOT SHOW ALL OFFSETS, DROPS AND RISES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MATERIAL AND LABOR FOR A COMPLETE AND WORKING SYSTEM.
- OBTAIN AND PAY ALL COSTS FOR PERMITS, LICENSES, CERTIFICATE FILING AND INSPECTIONS BY AUTHORITIES HAVING JURISDICTION.
- EXISTING PIPING INDICATED ON THESE PLANS SHALL BE FIELD VERIFIED FOR EXACT LOCATIONS, QUANTITY AND PIPE SIZES.
- DO NOT CUT THROUGH THE MASONRY BOND BEAMS OR OTHER STRUCTURAL ELEMENT WHEN INSTALLING OPENINGS REQUIRED FOR ALL PIPING, CONDUITS OR OTHER WORK. CONTRACTOR CUTTING THROUGH OR OTHERWISE DAMAGING THESE ELEMENTS WILL BE RESPONSIBLE FOR ALL ASSOCIATED ENGINEERING FEES AND SUBSEQUENT RETRO-FIT/REINFORCING DEEMED NECESSARY TO RESTORE THE CONTINUITY OF THE DAMAGED ELEMENTS.
- COORDINATE LOCATIONS OF ROUGH-INS FOR SINKS WITH CASEWORK ELEVATIONS CONTAINED ON ARCHITECTURAL DRAWINGS.
- DRAINAGE AND VENT SYSTEM SHALL BE PRESSURE TESTED WITH WATER OR AIR.
- ALL COFFEE MAKERS, HUMIDIFIERS, ICE MACHINES OR SIMILAR EQUIPMENT/FIXTURES WITH A POTABLE WATER SUPPLY LINE SHALL HAVE AN APPROVED DUAL CHECK VALVE DEVICE INSTALLED IN-LINE.

FIRE PROTECTON GENERAL NOTES

- REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
- SPRINKLER SYSTEM SHOWN ARE CONCEPT DRAWINGS AND ARE SCHEMATIC FOR BIDDING PURPOSES ONLY. CONCEPT DRAWINGS ARE INTENDED TO ILLUSTRATE THE SCOPE OF WORK. THE CONTRACTOR SHALL VERIFY ALL INFORMATION CONTAINED ON THESE DRAWINGS.
- ALL PIPING IS SHOWN DIAGRAMMATICALLY AND DOES NOT SHOW ALL OFFSETS, DROPS, AND RISES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MATERIAL AND LABOR FOR A COMPLETE AND WORKING SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE SPRINKLER SYSTEM. THE DESIGN SHALL BE ACCOMPLISHED UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR NICET LEVEL III/IV. SHOP DRAWINGS AND HYDRAULIC CALCULATIONS SHALL BEAR THE LICENSED PROFESSIONAL'S STAMP.
- FIRE PROTECTION SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13.
- HYDRAULIC CALCULATIONS FOR: LIGHT HAZARD - 0.10 GPM/SF OVER 1500 SQUARE FEET; ORDINARY HAZARD - GROUP 1, 0.15 GPM/SF OVER 1500 SQUARE FEET; ORDINARY HAZARD - GROUP 2, 0.20 GPM/SF OVER 1500 SQUARE FEET.
- SHOP DRAWINGS AND HYDRAULIC CALCULATIONS SHALL REQUIRE SUBMISSION TO KODIAK FIRE PROTECTION SERVICES (OAK LAWN, IL) AND AHJ FOR APPROVAL.
- HYDRANT TEST DATA WAS NOT AVAILABLE. COORDINATE WITH AUTHORITY HAVING JURISDICTION FOR NEW HYDRANT FLOW TEST.
- ALL SPRINKLER HEADS IN LAY-IN CEILING TILES SHALL BE CENTERED ON 2'x2' END AREA OF TILE.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL TRADES.
- OBTAIN AND PAY ALL COSTS FOR PERMITS, LICENSES, CERTIFICATE FILING AND INSPECTIONS BY AUTHORITIES HAVING JURISDICTION.

KEY PLAN



Kluber, Inc.
Aurora, Illinois 60506
Tel: 630.306.2213
Bloomington, Illinois 61714
Tel: 309.330.0400
www.kluberinc.com

OAK BROOK PARK DISTRICT
1450 FOREST GATE ROAD
OAK BROOK, ILLINOIS 60523

ISSUED	
1. 07/15/24	BID DOCUMENTS

JOB NO.	23-310-1501
DRAWN	DDW
CHECKED	DDW
APPROVED	DDW

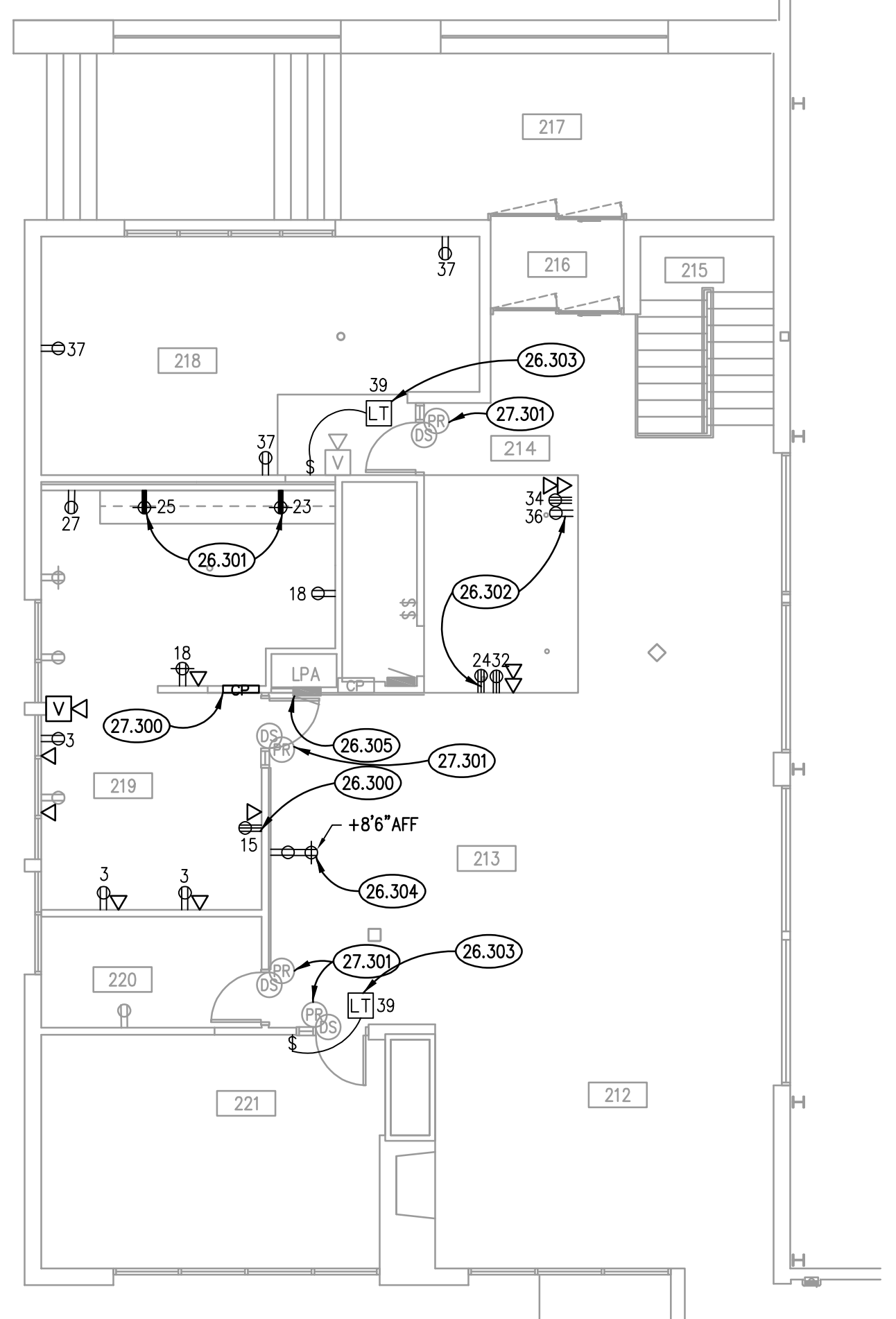
MECHANICAL, FIRE PROTECTION AND PLUMBING PLANS

SHEET NUMBER

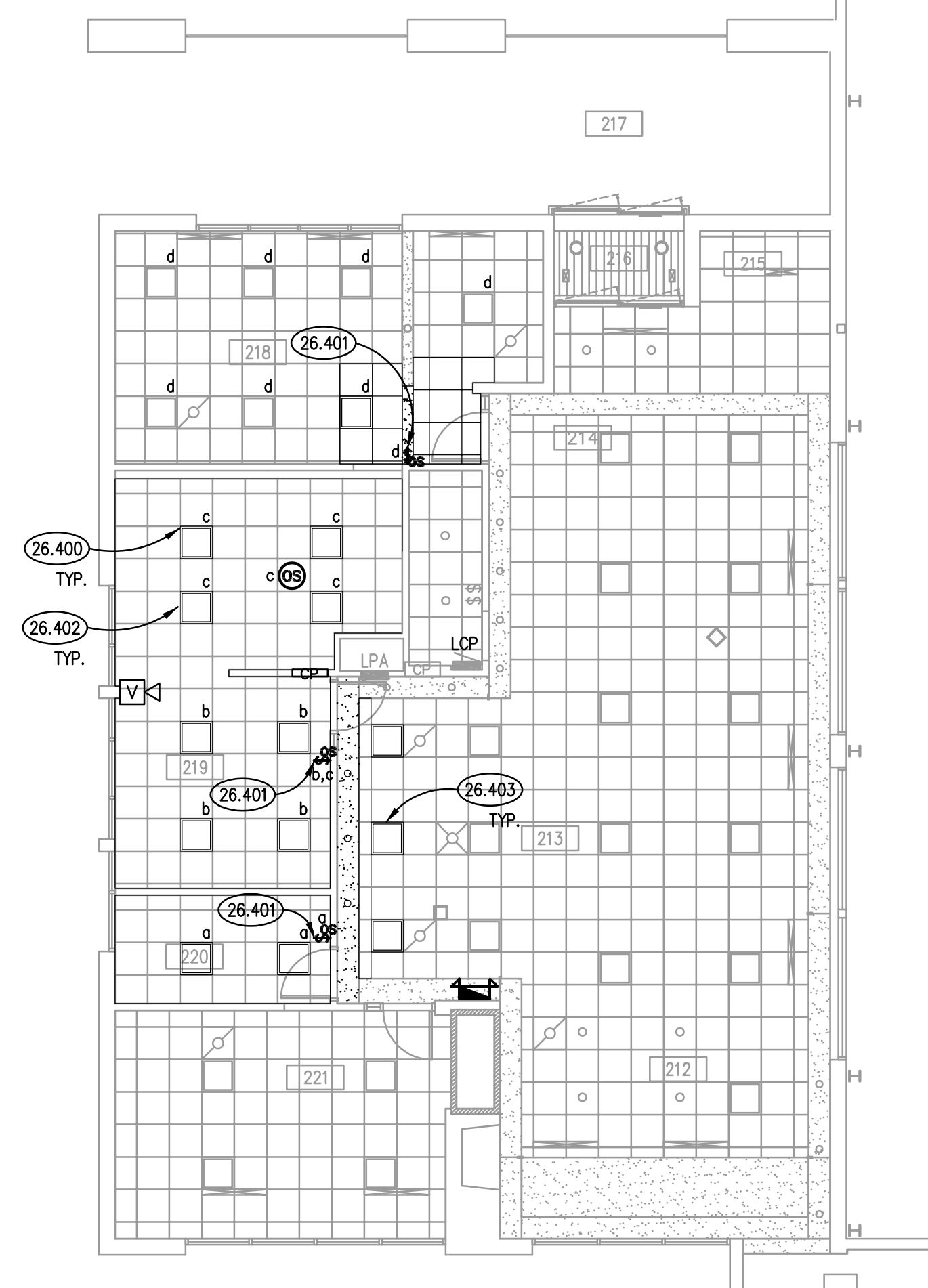
MFP300

PANEL : LPA PANEL DEMO			225 AMP MAIN LUG ONLY					
CKT. NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CKT. NO.
			A	B	C			
1	1P20	FRONT DESK LIGHTING				CEILING LITE IN LOUNGE	1P20	2
3	1P20	LITES WASH ROOMS				ASST. OFFICE LIGHTS, RECEP 204, KITCHEN LIGHTS + RECEP	1P20	4
5	1P20	MAIN LOBBY LIGHTS				AV SERVER RECEPTACLE	1P20	6
7	1P20	ASST. OFFICE RECEP RM. 204 HAND DRYER W.R.				TVS BY FRONT DESK	1P20	8
9	1P20	ASST. OFFICE RECEP RM 204				TVS	1P20	10
11	1P20	ASST. OFFICE RECEP RM 204				TVS	1P20	12
13	1P20	ASST. OFFICE RECEP RM 204				CEILING FANS	1P20	14
15	1P20	MICROWAVE				WATER FOUNTAIN RECEP RECEPTACLE	1P20	16
17	1P20	RECEPT. NURSERY				SPARE	1P20	18
19	1P20	RECEPT. MUSIC CALL SYSTEM				UPPER LEVEL CLOCK	1P20	20
21	1P20	COPIER				SPARE	1P20	22
23	1P20	RECEPT. LOUNGE AREA				SPARE	1P20	24
25	1P20	RECEPT. LOUNGE AREA				RECEPT IN COURTS	1P20	26
27	1P20	RECEPT. CONTROL DESK				CLOCKS IN COURTS	1P20	28
29	1P20	RECEPT. FOR SECURITY				RECEPT IN COURTS	1P20	30
31	1P20	SIMPLEX UNIT				SPARE	1P20	32
33	1P20	COMPUTER REGISTER				SPARE	1P20	34
35	1P20	CONTROL DESK PANEL				SPARE	1P20	36
37	3P30	SPARE				EXHAUST FANS IN COURT	3P30	38
39	/						/	40
41	/						/	42

TOTAL PHASE A:	0	NOTES:	MOUNTING:	RECESSED	VOLTAGE (LN):	120
TOTAL PHASE B:	0	DEMO	RATING:	EXISTING	VOLTAGE (LL):	208
TOTAL PHASE C:	0		ENCLOSURE:	NEMA 1	PHASE:	3
DEMAND VA:	0		FED FROM:		WIRE:	4
DEMAND AMPS:	0.00		FEEDER SIZE:	EXISTING	LOCATION:	TENNIS SHOP



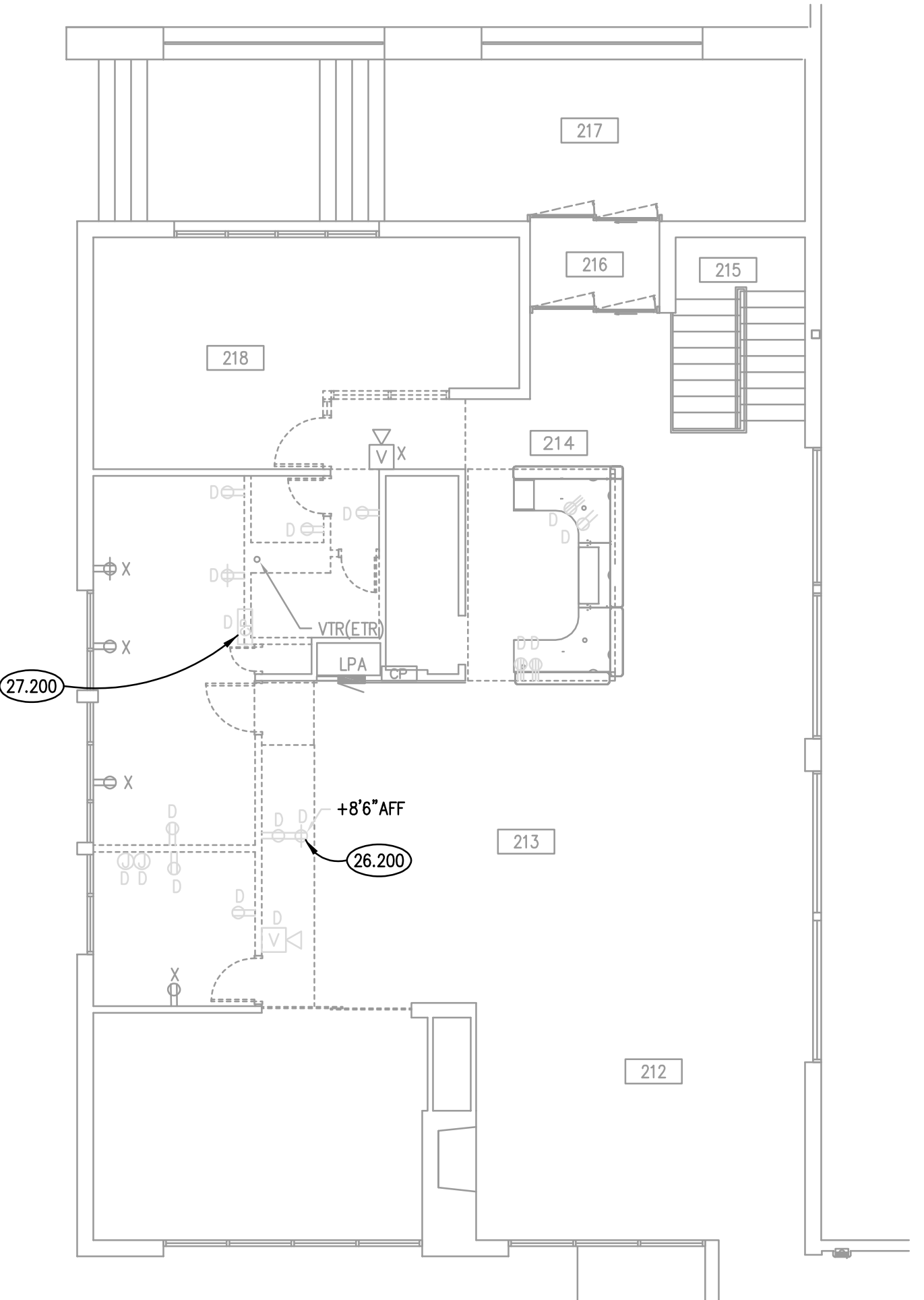
UPPER LEVEL POWER PLAN ④
SCALE: 1/8" = 1'-0"



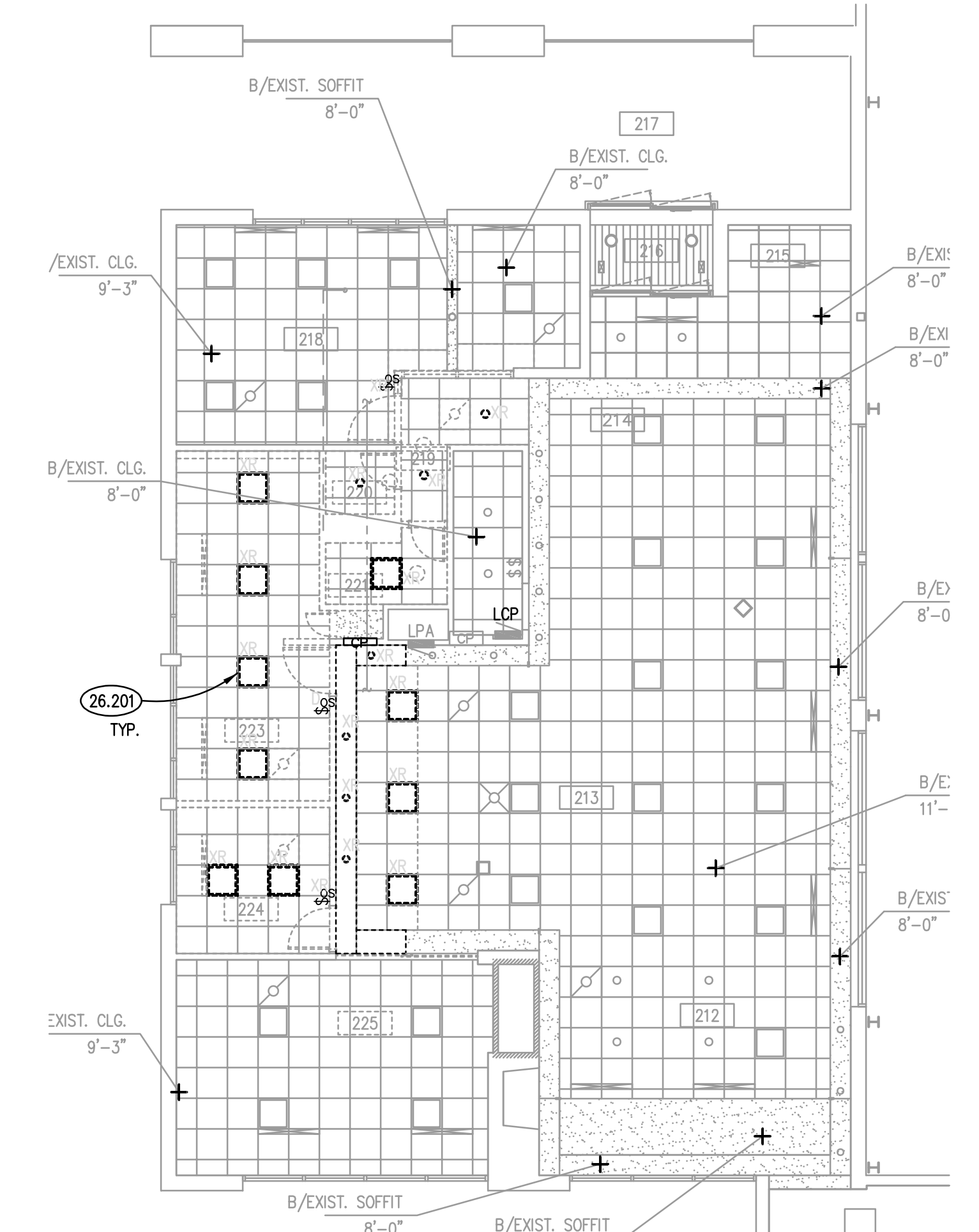
UPPER LEVEL LIGHTING PLAN ②
SCALE: 1/8" = 1'-0"

PANEL : LPA PANEL NEW			225 AMP MAIN LUG ONLY					
CKT. NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CKT. NO.
			A	B	C			
1	1P20	FRONT DESK LIGHTING				CEILING LITE IN LOUNGE	1P20	2
3	1P20	NEW COMPUTER DESKS, ROOM 219		540		ASST. OFFICE LIGHTS, RECEP 204, KITCHEN LIGHTS + RECEP	1P20	4
5	1P20	MAIN LOBBY LIGHTS				AV SERVER RECEPTACLE	1P20	6
7	1P20	ASST. OFFICE RECEP RM. 204 HAND DRYER W.R.				TVS BY FRONT DESK	1P20	8
9	1P20	ASST. OFFICE RECEP RM 204				TVS	1P20	10
11	1P20	ASST. OFFICE RECEP RM 204				TVS	1P20	12
13	1P20	ASST. OFFICE RECEP RM 204				CEILING FANS	1P20	14
15	1P20	COPIER RM 219		1000		WATER FOUNTAIN RECEP	1P20	16
17	1P20	RECEPT. NURSERY			180	GENERAL RECEPTACLE	1P20	18
19	1P20	RECEPT. MUSIC CALL SYSTEM				UPPER LEVEL CLOCK	1P20	20
21	1P20	COPIER				SPARE	1P20	22
23	1P20	MICROWAVE RM. 219			1500	FRONT LOBBY DESK RECEPTACLE ALTERNATE 1	1P20	24
25	1P20	COUNTERTOP RECEPTACLE RM. 219		1000		RECEPT IN COURTS	1P20	26
27	1P20	REFRIGERATOR RM. 219			1200	CLOCKS IN COURTS	1P20	28
29	1P20	RECEPT. FOR SECURITY				RECEPT IN COURTS	1P20	30
31	1P20	SIMPLEX UNIT				FRONT LOBBY DESK RECEPTACLE ALTERNATE 1	1P20	32
33	1P20	COMPUTER REGISTER				FRONT LOBBY DESK RECEPTACLE ALTERNATE 1	1P20	34
35	1P20	CONTROL DESK PANEL				FRONT LOBBY DESK RECEPTACLE ALTERNATE 1	1P20	36
37	1P20	ROOM 218				EXHAUST FANS IN COURT	3P30	38
39	1P20	LOW VOLTAGE GLASS TRANSFORMER		100			/	40
41	1P20	SPARE					/	42

TOTAL PHASE A:	1000	NOTES:	MOUNTING:	RECESSED	VOLTAGE (LN):	120
TOTAL PHASE B:	2840	NEW	RATING:	EXISTING	VOLTAGE (LL):	208
TOTAL PHASE C:	1680		ENCLOSURE:	NEMA 1	PHASE:	3
DEMAND VA:	5520		FED FROM:		WIRE:	4
DEMAND AMPS:	15.32		FEEDER SIZE:	EXISTING	LOCATION:	TENNIS SHOP



UPPER LEVEL POWER DEMOLITION PLAN ③
SCALE: 1/8" = 1'-0"



UPPER LEVEL LIGHTING DEMOLITION PLAN ①
SCALE: 1/8" = 1'-0"

KEYNOTES

- 26.200 INTERCEPT AND EXTEND EXISTING CIRCUIT FOR TV TO NEW LOCATION IN THE SOFFIT. PROVIDE ALL MATERIALS REQUIRED FOR DEMOLITION.
- 26.201 EXISTING LIGHTING FIXTURES ARE NOT TO BE DEMOLISHED. EXISTING LIGHTING FIXTURES ARE TO BE REMOVED, AND REINSTALLED AS POSSIBLE.
- 26.300 PROVIDE ALL MATERIALS REQUIRED FOR NEW COPIER.
- 26.301 PROVIDE GFI COUNTERTOP OUTLETS IN NEW PANTRY AREA.
- 26.302 COORDINATE REQUIRED RECEPTACLES AND DATA PORTS FOR NEW FRONT DESK. ALTERNATE 1
- 26.303 PROVIDE ELECTRICAL CONNECTION TO ELECTRONICALLY CONTROLLED SWITCHABLE GLASS. INSTALL LOW VOLTAGE TRANSFORMER, FURNISHED BY GLASS MANUFACTURER; LOCATE ABOVE ACCESSIBLE CEILING. PROVIDE ON/OFF TOGGLE SWITCH CHANGED WITH ROOM LIGHTING SWITCH.
- 26.304 NEW LOCATION OF SOFFIT TV RECEPTACLE. EXTEND EXISTING CIRCUIT TO NEW LOCATION. PROVIDE ALL MATERIALS REQUIRED FOR INSTALLATION.
- 26.305 ALL CIRCUITS THIS SHEET SHALL BE FED FROM THE EXISTING LPA PANEL.
- 26.400 NEW LIGHTING FIXTURES IN THE REMODELED AREAS SHALL BE REUSED FROM EXISTING MODIFIED CEILING LAYOUTS. CLEAN REUSED FIXTURES, AND PROVIDE NEW FROM EXISTING OWNERS STOCK
- 26.401 NEWLY INSTALLED OCCUPANCY LIGHT SWITCHES SHALL CONTROL THE LOCAL ROOM THEY ARE LOCATED WITHIN.
- 26.402 REUSE EXISTING LOCAL LIGHTING CIRCUIT FOR NEW LIGHTING.
- 26.403 LIGHTING IN THE COMMON AREA SHALL BE CONTROLLED VIA THE SAME LIGHTING CONTROLS AS PRE-DEMOLITION
- 27.200 BURGLAR ALARM IS LOCATED IN WALL THAT IS TO BE DEMOLISHED. INTERCEPT AND EXTEND EXISTING WIRING TO NEW LOCATION. REUSE EXISTING BURGLAR ALARM SYSTEM.
- 27.300 NEW LOCATION FOR BURGLAR ALARM. INTERCEPT AND EXTEND EXISTING WIRING AND CONDUIT TO NEW LOCATION.
- 27.301 PROVIDE ALL MATERIALS REQUIRED FOR NEW PROXIMITY CARD READER.

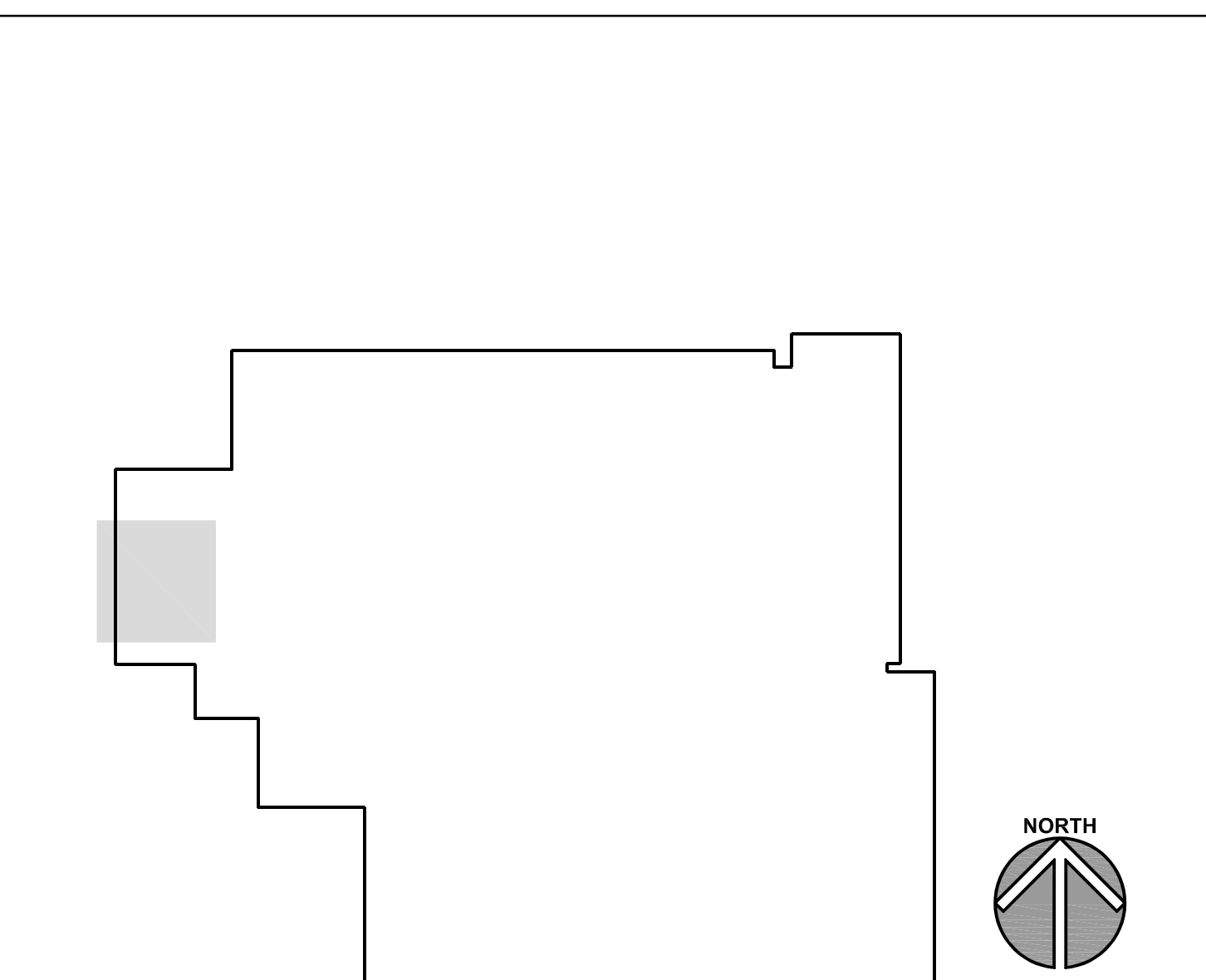
ELECTRICAL DEMOLITION NOTATION

N	NEW DEVICE OR EQUIPMENT.
D	EXISTING ELECTRICAL OUTLET OR EQUIPMENT TO BE DEMOLISHED COMPLETE INCLUDING BRANCH CIRCUITRY TO SOURCE.
X	EXISTING ELECTRICAL OUTLET OR EQUIPMENT TO REMAIN. (CIRCUIT # = REROUTE EXISTING CIRCUIT TO NEW CIRCUIT NUMBER)
R	EXISTING ELECTRICAL OUTLET OR EQUIPMENT RELOCATED. (NEW LOCATION)
XR	EXISTING ELECTRICAL OUTLET OR EQUIPMENT TO BE REMOVED & RELOCATED(OLD LOCATION).

ROOM SCHEDULE

RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
122	EXISTING CORRIDOR	136	EXISTING MEN'S TOILET ROOM
123	EXISTING CORRIDOR	137	EXISTING WOMEN'S TOILET ROOM
124	EXISTING STAIRS	138	EXISTING WOMEN'S SHOWER
125	EXISTING CORRIDOR	212	EXISTING LOUNGE
126	EXISTING ELECTRIC ROOM	213	EXISTING MERCHANDISE AREA
127	EXISTING WOMEN'S LOCKER ROOM	214	EXISTING LOBBY
128	EXISTING WOMEN'S LOCKER ROOM	215	EXISTING STAIRS
129	EXISTING LOUNGE	216	EXISTING ENTRY VESTIBULE
130	EXISTING WOMEN'S SAUNA	217	EXISTING OUTDOOR COVERED ENTRY
131	EXISTING MEN'S SAUNA	218	OFFICE
132	EXISTING MEN'S LOCKER ROOM	219	OFFICE AND BREAK ROOM
133	EXISTING MEN'S LOCKER ROOM	220	MERCHANDISE CLOSET
134	EXISTING MECHANICAL ROOM	221	EXISTING OFFICE
135	EXISTING MEN'S SHOWER		

KEY PLAN



ISSUED	
1 01/25/24	BID DOCUMENTS
JOB NO. 23-310-1501	
DRAWN	JWK
CHECKED	ATR
APPROVED	MTK
SHEET TITLE	
ELECTRICAL PLANS & DETAILS	
SHEET NUMBER	
E300	