

GENERAL NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY IBC 2015 EDITION AND SHALL CONFORM TO ALL OTHER APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE ILLINOIS ACCESSIBILITY CODE (2018) AND THE AMERICANS WITH DISABILITIES ACT.

A. GENERAL NOTES

- 1. ALL CONTRACTORS ARE REQUIRED TO VISIT THE SITE AND BE KNOWLEDGEABLE REGARDING EXISTING CONDITIONS AND THEIR EFFECT ON THE PROPOSED WORK. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE PROJECT.
2. NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO THE INTERRUPTION OF ANY UTILITY.
3. PROTECT AND KEEP IN SERVICE ACTIVE UNDERGROUND UTILITIES, PIPES, OR CONDUITS, WHETHER INDICATED ON THE DRAWINGS OR NOT, UNLESS SPECIFICALLY CALLED FOR TO BE REMOVED, RELOCATED, OR DISCONNECTED AND ABANDONED.
4. CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH THAT OF OTHER TRADES.
5. NO WORK WILL BE PERMITTED TO BE INSTALLED WITHOUT RECEIPT AND SUBSEQUENT REVIEW OF FULL AND COMPLETE SUBMITTALS BY THE ARCHITECT/ENGINEER.
6. DO NOT SCALE DRAWINGS, DIMENSIONS INDICATED TAKE PRECEDENCE OVER SCALE.
7. VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD, WHERE DISCREPANCIES ARE FOUND BETWEEN DIMENSIONS OR ELEVATIONS SHOWN AND ACTUAL FIELD CONDITIONS, NOTIFY ARCHITECT/ENGINEER.
8. WHERE CONFLICTS MAY EXIST BETWEEN THE REQUIREMENTS OF PORTIONS OF THE CONTRACT DOCUMENTS, THE GREATER QUANTITY, HIGHER QUALITY OR MORE STRINGENT REQUIREMENT SHALL GOVERN. THEREFORE, BY EXECUTING A CONTRACT FOR CONSTRUCTION, THE CONTRACTOR AGREES THAT, IF IT RAISED NO QUESTIONS REGARDING SUCH CONFLICTS DURING THE BIDDING PROCESS, AND IN THE ABSENCE OF A CLARIFYING ADDENDUM ISSUED DURING THE BIDDING PROCESS, IT HAS VOLUNTEERED TO COMPLY WITH THE MORE EXPENSIVE REQUIREMENT AS PART OF ITS BASE BID AND IS NOT ENTITLED TO ANY ADDITIONAL COMPENSATION TO RESOLVE THE CONFLICT.
9. THE CONTRACT DOCUMENTS REQUIRE THE CONTRACTOR TO FURNISH AND INSTALL COMPLETE PRODUCTS, SYSTEMS AND SERVICES. BY EXECUTING A CONTRACT FOR CONSTRUCTION, THE CONTRACTOR AGREES THAT THE DRAWINGS SET FORTH THE DESIGN INTENT AND, THEREFORE, MAY NOT EXPRESSLY DEPICT EVERY LENGTH, SEGMENT, PIECE, PART, COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE. THE CONTRACTOR FURTHER AGREES THAT, AS PART OF ITS BID, IT MUST FURNISH AND INSTALL EVERY LENGTH, SEGMENT, PIECE, PART, COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE AND, CONSEQUENTLY, THE CONTRACTOR IS NOT ENTITLED TO ANY ADDITIONAL COMPENSATION FOR ANY LENGTH, SEGMENT, PIECE, PART COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE BECAUSE IT IS NOT EXPRESSLY DEPICTED HEREIN.

B: MISCELLANEOUS AND DEMOLITION NOTES

- 1. COORDINATE PENETRATIONS AND/OR SLEEVES REQUIRED IN WALLS, FLOORS, CEILINGS OR ROOFS FOR MECHANICAL AND ELECTRICAL WORK REQUIRED BY ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
2. SEAL PENETRATIONS OF DUCTWORK, CONDUIT OR PIPES WITH UL APPROVED MATERIALS TO MAINTAIN THE FIRE RATING OF ASSEMBLIES. PROVIDE FIRE DAMPERS AS INDICATED ON THE DRAWINGS.
3. APPLY APPROPRIATE & COMPATIBLE SEALANT MATERIALS AS REQUIRED TO SEPARATE DISSIMILAR METALS, FILL GAPS IN EXISTING ASSEMBLIES OR WHERE NEW AND EXISTING ASSEMBLIES MEET OR WHERE OTHERWISE REQUIRED BY THE SPECIFICATIONS.
4. BRING ANY UNFORESEEN OR CONFLICTING CONDITIONS TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
5. REPAIR, PATCH, OR REPLACE FINISH MATERIALS OR VISIBLE ASSEMBLIES THAT ARE SOILED, CUT OR DAMAGED IN ANY FASHION DURING THE COURSE OF THE WORK. PERFORM PATCHING SUCH THAT EDGES BLENDS INTO CONTIGUOUS SURFACES SMOOTHLY, MATCHING TEXTURE AND COLOR OF ADJACENT SURFACES.

STANDARD ABBREVIATIONS

Table with 4 columns of abbreviations and their corresponding full names. Includes terms like ANCHOR BOLT, EXPANSION, FLOOR DRAIN, etc.

THE MATERIALS, ABBREVIATIONS, AND DRAFTING SYMBOLS LEGEND ARE EACH AN ALL INCLUSIVE MASTER LIST USED BY THIS FIRM. THE INCLUSION OF THESE LEGENDS INTO THESE DOCUMENTS DOES NOT IMPLY THAT ALL THE SYMBOLS OR MATERIALS INCLUDED ARE INCORPORATED INTO THIS PROJECT. ABBREVIATIONS MAY APPEAR WITH PERIODS OR OTHER PUNCTUATION SEPARATING CHARACTERS ON THE DRAWINGS; THE MEANING REMAINS THE SAME.

DRAFTING SYMBOLS AND MATERIALS LEGEND

Table of drafting symbols and materials legend. Includes symbols for detail numbers, column numbers, room numbers, door types, window types, and materials like concrete, brick masonry, etc.



PROJECT

TENNIS CENTER - AHU REPLACEMENT AND INTERIOR REMODELING 1300 FOREST GATE ROAD OAK BROOK, IL 60523

OWNER

OAK BROOK PARK DISTRICT 1450 FOREST GATE ROAD OAK BROOK, IL 60523

ARCHITECT/ENGINEER

KLUBER ARCHITECTS + ENGINEERS 10 S. SHUMWAY AVE. BATAVIA, ILLINOIS 60510 TEL (630) 406-1213 FAX (630) 406-9472 www.kluberinc.com

100% CONSTRUCTION DOCUMENTS



SITE LOCATION PLAN SCALE: 1/16" = 1'-0"

INDEX OF DRAWINGS

Table listing drawing numbers and titles: G100 COVER SHEET, A200 PARTIAL UPPER AND LOWER LEVEL DEMOLITION REFLECTED CEILING PLANS, A400 PARTIAL UPPER AND LOWER LEVEL REFLECTED CEILING PLANS, A1200 SECTION DETAILS, M200 MECHANICAL DEMOLITION PLANS, M300 MECHANICAL FLOOR PLANS, M400 TEMPERATURE CONTROLS, M500 MECHANICAL SCHEDULES AND DETAILS, F300 FIRE PROTECTION PLANS, E050 ELECTRICAL ABBREVIATIONS & SYMBOLS LIST, E200 ELECTRICAL DEMOLITION PLANS, E300 ELECTRICAL PLANS, E600 ELECTRICAL SCHEDULES & DETAILS.

APPLICABLE CODES

- 2018 ILLINOIS ACCESSIBILITY CODE
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL FUEL AND GAS CODE
2014 NATIONAL ELECTRICAL CODE
2014 ILLINOIS PLUMBING CODE
2013 NFPA 13
LOCAL AMENDMENTS TO THE ABOVE CODES

SEALS & CERTIFICATES

Table of professional seals for Architect, Structural Engineer, Mechanical Engineer, and Electrical Engineer. Includes a disclaimer text: 'I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH IBC 2015 EDITION, THE ENVIRONMENTAL BARRIERS ACT AND THE ILLINOIS ACCESSIBILITY CODE. KLUBER, INC. ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE #184-001284'

KLUBER Architects + Engineers

Kluber, Inc. Batavia, Illinois 60510 Tel: (630) 406-1213

TENNIS CENTER - AHU REPLACEMENT AND INTERIOR REMODELING OAK BROOK PARK DISTRICT 1450 FOREST GATE ROAD OAK BROOK, IL 60523

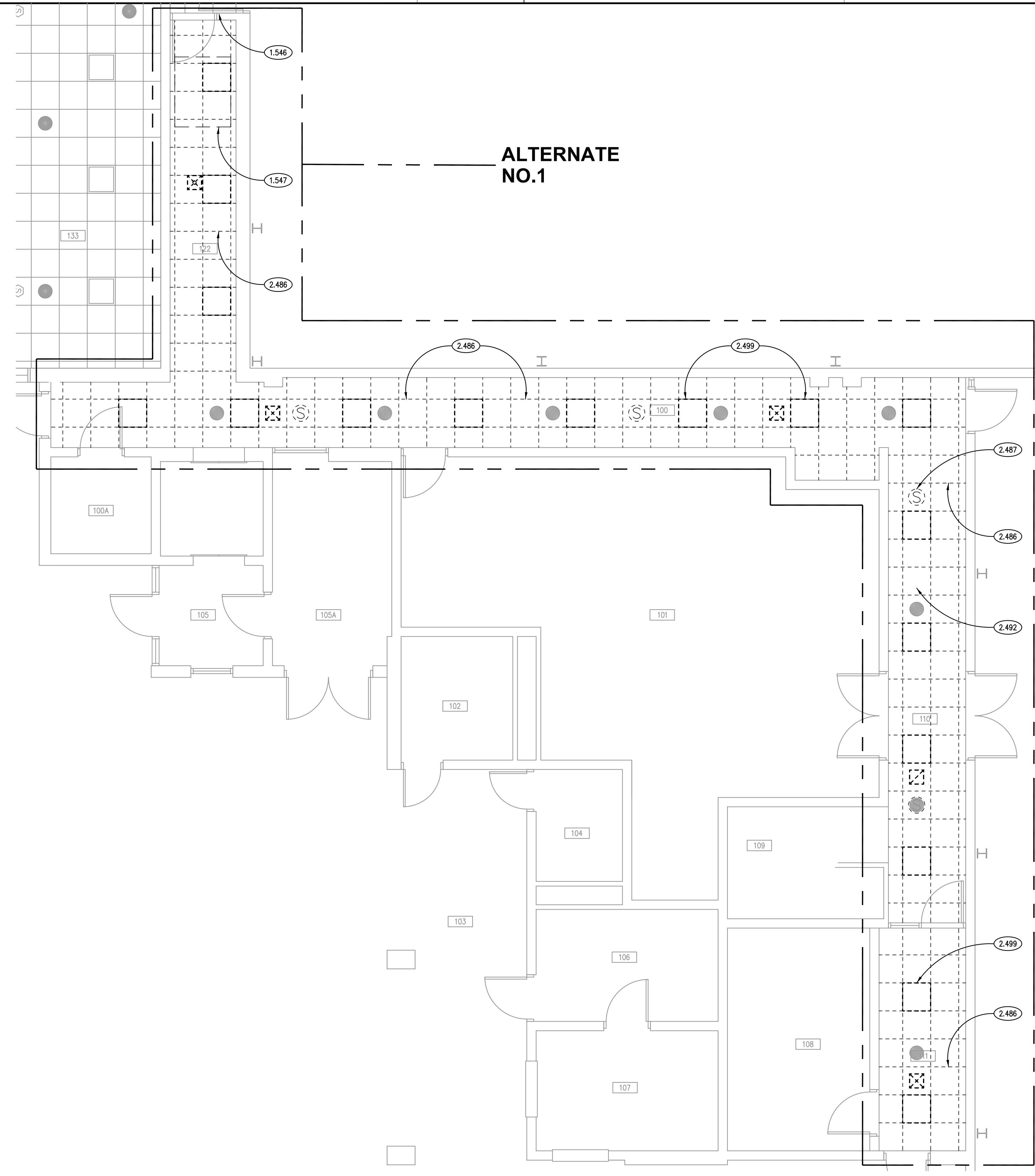
ISSUED 04/22/2019 BID DOCUMENTS

JOB NO. 19-310-1249 DRAWN HMA CHECKED CDH APPROVED CDJ

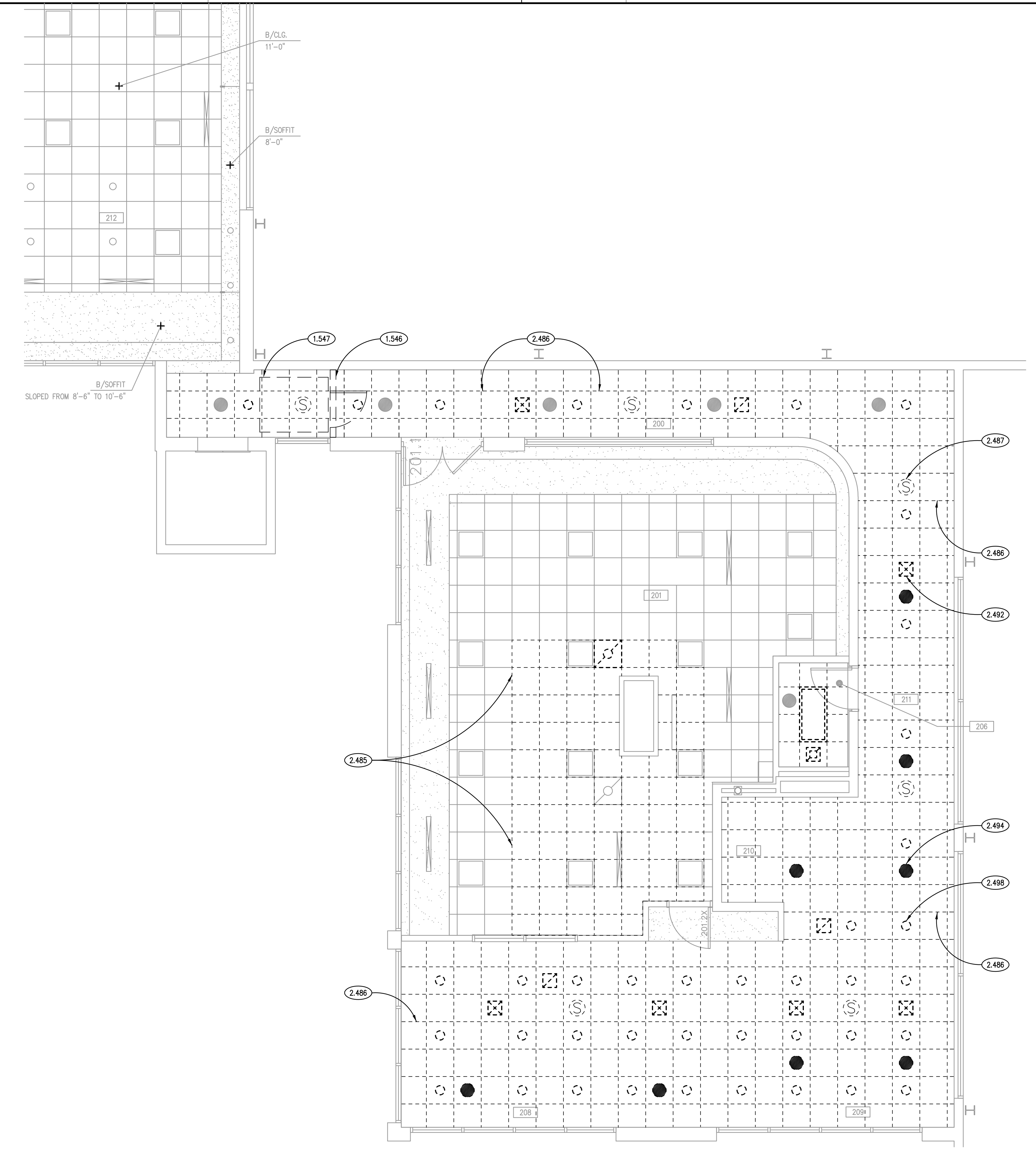
SHEET TITLE COVER SHEET

SHEET NUMBER

G100



PARTIAL LOWER LEVEL CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0" ②



PARTIAL UPPER LEVEL CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0" ①

KEYNOTES

- 1.546 TEMPORARY INTERIOR ENCLOSURE: WOOD STUD-FRAMED, PLYWOOD SHEATHED, WITH PLYWOOD DOOR WITH HASP AND EYE FOR PADLOCK BY CONTRACTOR. SEAL JOINTS AT PERMANENT CONSTRUCTION AND SEAL PERIMETER OF DOOR AGAINST PASSAGE OF DUST.
- 1.547 TEMPORARY PROTECTION: PROVIDE TACKY TRACK-OFF MAT, MIN. 5'-0" LONG IN DIRECTION OF TRAVEL, OUTSIDE TEMPORARY ENCLOSURE TO CAPTURE DUST AND DIRT TRACKED FROM CONSTRUCTION AREA TO OCCUPIED AREA OF BUILDING; REPLACE DAILY WITH NEW MAT.
- 2.485 SALVAGE EXISTING WHOLE CEILING TILES AND SAVE FOR REINSTALLATION.
- 2.486 DEMOLISH EXISTING INTERIOR CEILING FINISH: CEILING PANELS AND SUSPENDED GRID.
- 2.487 SALVAGE EXISTING SPEAKER FOR REINSTALLATION.
- 2.492 DEMOLISH EXISTING MECHANICAL SYSTEM COMPONENT: CEILING DIFFUSER/GRILLE, TYPICAL.
- 2.494 RELOCATE EXISTING FIRE PROTECTION SYSTEM COMPONENT AS REQUIRED FOR NEW LAYOUT: SPRINKLER HEAD.
- 2.498 DEMOLISH EXISTING LIGHT FIXTURE, TYPICAL.
- 2.499 SALVAGE EXISTING LIGHT FIXTURE FOR REINSTALLATION.

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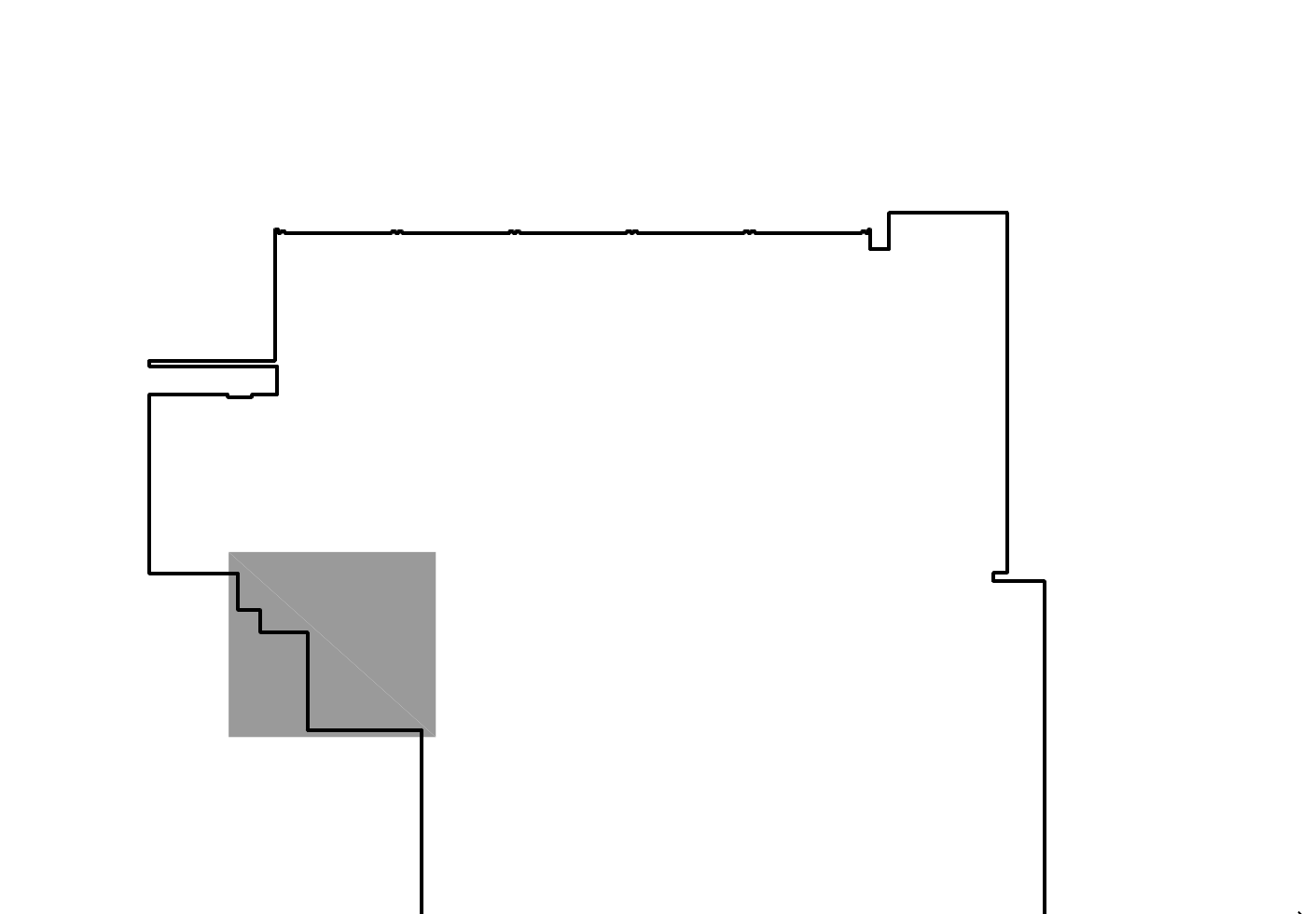
ROOM SCHEDULE

RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
100	EXISTING CORRIDOR	200	EXISTING CORRIDOR
100A	EXISTING ELEVATOR EQUIPMENT ROOM	201	NOT USED
101	EXISTING MECHANICAL ROOM	202	NOT USED
102	EXISTING TOILET ROOM	203	NOT USED
103	EXISTING PATIO	204	NOT USED
104	EXISTING TOILET ROOM	205	NOT USED
105	EXISTING VESTIBULE	206	EXISTING TOILET ROOM
105A	EXISTING STORAGE	207	NOT USED
106	EXISTING STORAGE	208	EXISTING LOUNGE
107	EXISTING CONCESSIONS	209	EXISTING LOUNGE
108	EXISTING STORAGE	210	EXISTING STAIRS
109	EXISTING STAIRS	211	EXISTING CORRIDOR
110	EXISTING CORRIDOR	212	EXISTING RECEPTION AREA
111	EXISTING CORRIDOR		
112	NOT USED		
113	NOT USED		
114	NOT USED		
115	NOT USED		
116	NOT USED		
117	NOT USED		
118	NOT USED		
119	NOT USED		
120	NOT USED		
121	NOT USED		
122	EXISTING CORRIDOR		

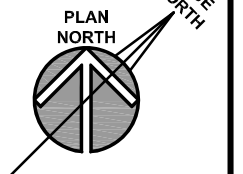
GENERAL NOTES

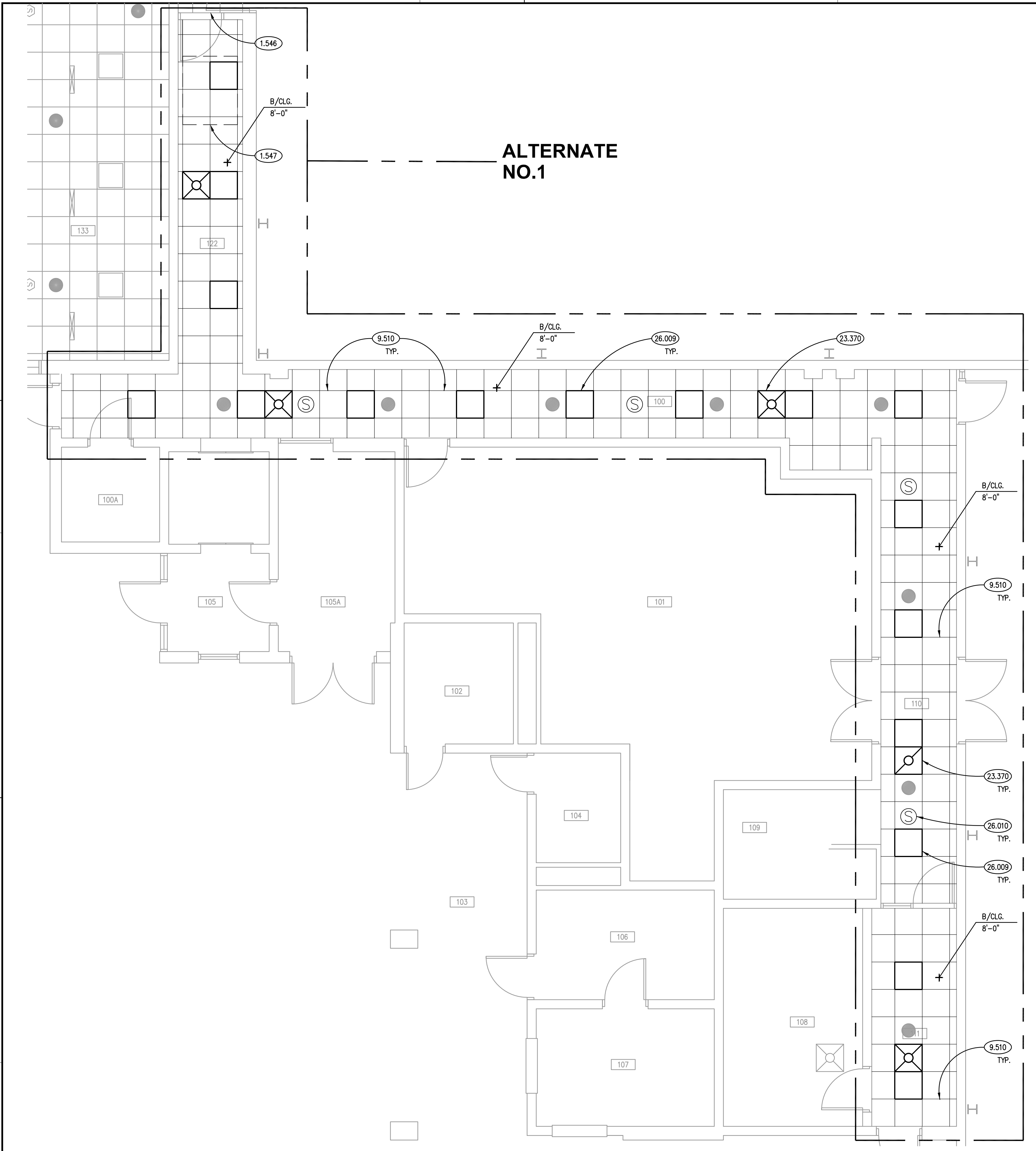
1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
2. UNLESS NOTED OTHERWISE, WHERE EXISTING CEILING SURFACES ARE SCHEDULED TO RECEIVE FINISHES, DEMOLISH EXISTING FINISH MATERIALS AND SALVAGE SURFACE-MOUNTED ITEMS; REINSTALL SURFACE-MOUNTED ITEMS AT NEW LOCATIONS DETERMINED BY OWNER UNLESS SPECIFIC LOCATIONS ARE INDICATED ON DRAWINGS.
3. STORE SALVAGED ITEMS AS DIRECTED BY OWNER.
4. PROTECT SALVAGED ITEMS FROM DAMAGE UNTIL INCORPORATED INTO THE WORK.
5. SALVAGE FOR RE-USE ALL INTACT CEILING GRID COMPONENTS AND ACOUSTICAL PANELS FROM CEILING AREAS UNLESS INDICATED TO BE DEMOLISHED.
6. AT CEILING GRID AREAS TO BE DEMOLISHED, TEMPORARILY SUPPORT LIGHT FIXTURES THAT ARE TO REMAIN IN PLACE AS PART OF THE PERMANENT WORK.
7. ADDITIONAL DEMOLITION/ RECONSTRUCTION AND REMOVAL/REPLACEMENT OF ARCHITECTURAL IS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT. COORDINATE WITH ARCHITECTURAL, MECHANICAL, FIRE PROTECTION AND ELECTRICAL DRAWINGS, AND PROVIDE DEMOLITION/RECONSTRUCTION AND REMOVAL/REPLACEMENT OF ARCHITECTURAL AND STRUCTURAL ELEMENTS AS REQUIRED TO COMPLETE THE WORK SHOWN ON THOSE DRAWINGS.
8. PROTECT EXISTING FLOORING, WALL, CASEWORK, FURNITURE AND EQUIPMENT SURFACES FROM DUST, DEBRIS AND DAMAGE RESULTING FROM CONSTRUCTION OPERATIONS.
9. OWNER WILL SALVAGE EXISTING CEILING-MOUNTED VIDEO SURVEILLANCE CAMERAS. CONTRACTOR DEMOLISH ASSOCIATED WIRING BACK TO SOURCE. OWNER WILL SALVAGE EXISTING CEILING-MOUNTED P.A. SYSTEM SPEAKERS. CONTRACTOR DEMOLISH ASSOCIATED WIRING BACK TO SOURCE.
10. OWNER WILL UNINSTALL AND REINSTALL (1) CEILING MOUNTED FLAT-PANEL DISPLAY SUSPENDED IN FRONT OF WEST WINDOWS.
11. CONNECT ALL MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEM SUPPORTS ONLY TO EXISTING PRIMARY STRUCTURAL MEMBERS OR TO CONTRACTOR PROVIDED SECONDARY STRUCTURAL SUPPORT MEMBERS CONNECTED TO EXISTING PRIMARY MEMBERS. ATTACHMENT OF SUCH SUPPORTS TO EXISTING BULB TEES IS NOT PERMITTED. ATTACHMENT OF SUSPENDED CEILING SUPPORTS TO EXISTING BULB TEES IS PERMITTED.

KEY PLAN

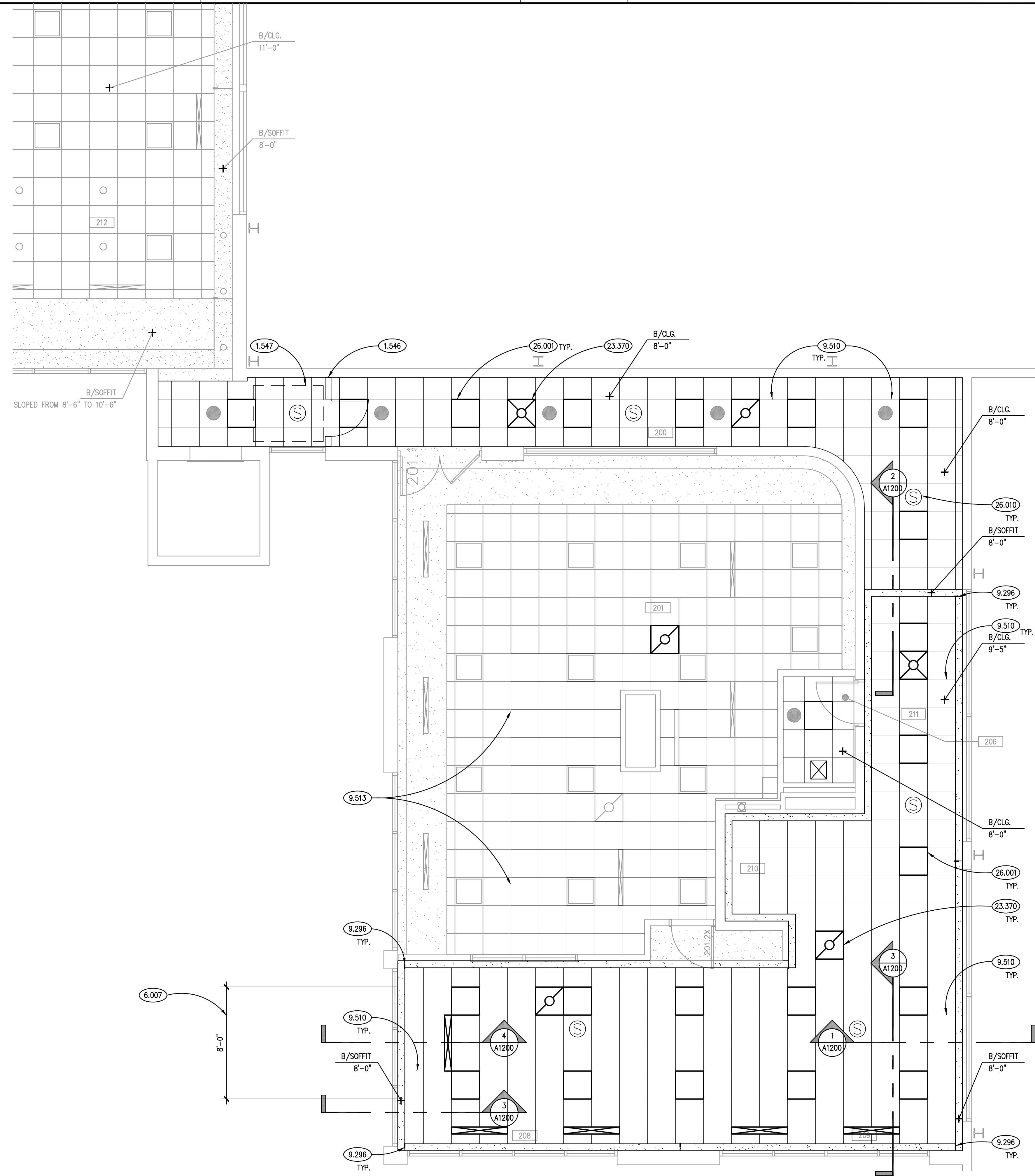


ISSUED	
04/22/2019	BID DOCUMENTS
JOB NO.	19-310-1249
DRAWN	HMA
CHECKED	CDH
APPROVED	CDJ
SHEET TITLE	
PARTIAL UPPER AND LOWER LEVEL CEILING DEMOLITION PLANS	
SHEET NUMBER	
A200	





PARTIAL LOWER LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0" ②



PARTIAL UPPER LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0" ①

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- 1.546 TEMPORARY INTERIOR ENCLOSURE: WOOD STUD-FRAMED, PLYWOOD SHEATHED, WITH PLYWOOD DOOR WITH HASP AND EYE FOR PADLOCK BY CONTRACTOR. SEAL JOINTS AT PERMANENT CONSTRUCTION AND SEAL PERIMETER OF DOOR AGAINST PASSAGE OF DUST.
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- 6.007 PROVIDE 3/4" THICK PLYWOOD BACKING IN THIS AREA FOR MOUNTING OF FLAT PANEL TV.
- 9.296 GYPSUM BOARD ACCESSORY: CONTROL JOINT; PROVIDE ON BOTH HORIZONTAL AND VERTICAL SURFACES OF SOFFIT.
- 9.510 ACOUSTICAL CEILING PANELS TYPE C1 AND GRID TYPE S51; REFER TO SPECIFICATIONS.
- 9.513 REINSTALL SALVAGED CEILING GRID AND TILES UPON COMPLETION OF MECHANICAL WORK; PROVIDE NEW GRID COMPONENTS AND/OR TILES TO REPLACE ANY COMPONENTS OR TILES DAMAGED DURING THIS PROJECT.
- 23.370 MECHANICAL DIFFUSER/GRILLE: REFER TO MECHANICAL DRAWINGS.
- 26.001 OWNER PROVIDED LIGHT FIXTURE: REFER TO ELECTRICAL DRAWINGS.
- 26.009 SALVAGED LIGHT FIXTURE, REINSTALLED; REFER TO ELECTRICAL DRAWINGS.
- 26.010 SALVAGED SPEAKER, REINSTALLED; REFER TO ELECTRICAL DRAWINGS.

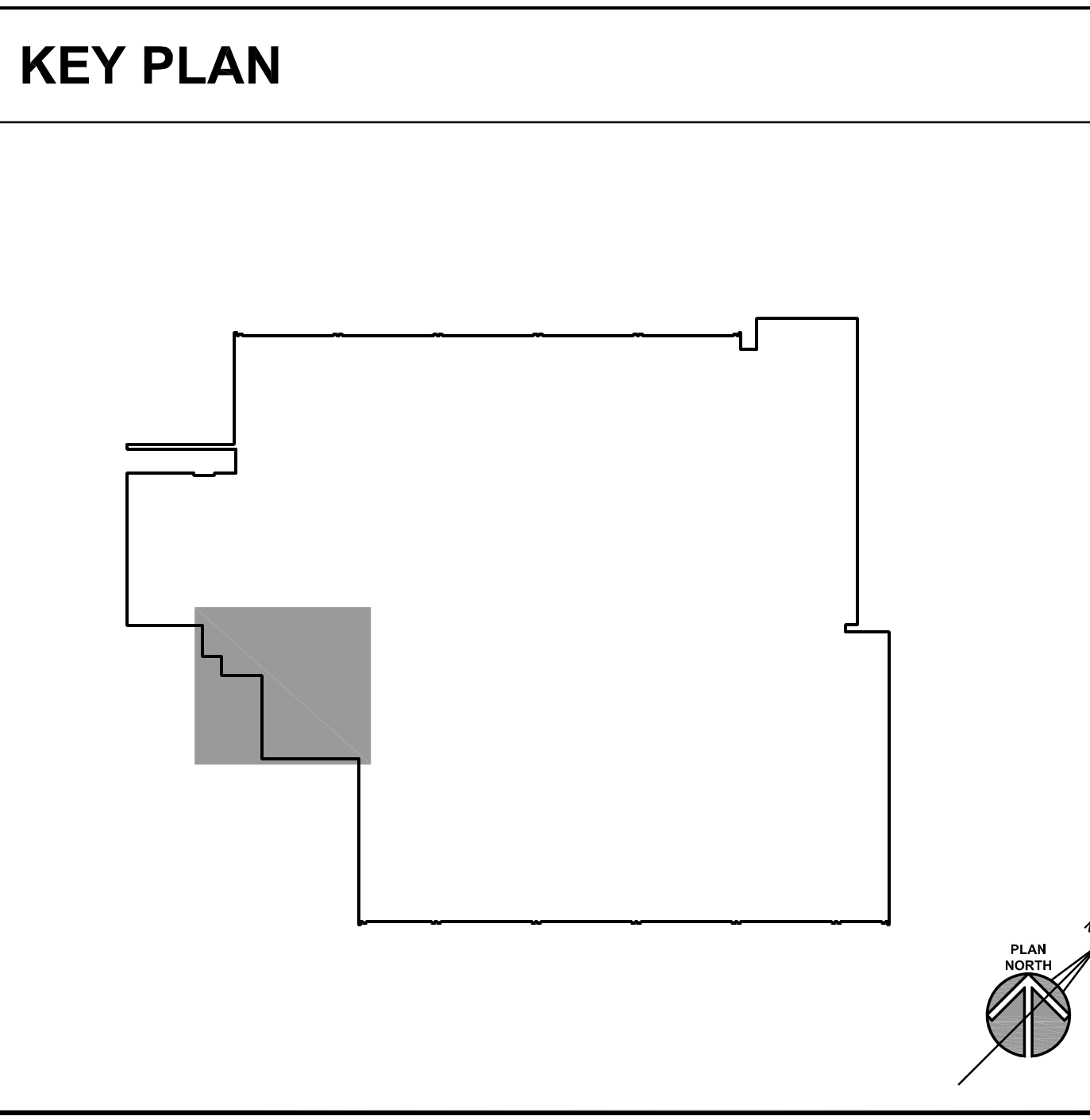
REFLECTED CEILING PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	GYPSUM BOARD		FLUORESCENT LIGHT FIXTURE: 24" X 48"
	ACOUSTICAL CEILING TILE: 24" X 24" ON SUSPENSION GRID; • PROVIDE PAINTED STEEL SUSPENSION GRID CEILING PANELS TYPE C1.		LIGHT FIXTURE: 24" X 24" LED
	MECHANICAL DIFFUSER : SUPPLY; 24" X 24"		SPEAKER
	MECHANICAL DIFFUSER : SUPPLY; LINEAR		DOWN LIGHT FIXTURES : A-SPOT B-DOWN C-WALL WASHER D-SCORKE
			EXIT LIGHT FIXTURE
			SPRINKLER HEAD
			MECHANICAL DIFFUSER : RETURN

ROOM SCHEDULE

RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
100	EXISTING CORRIDOR	200	EXISTING CORRIDOR
100A	EXISTING ELEVATOR EQUIPMENT ROOM	201	NOT USED
101	EXISTING MECHANICAL ROOM	202	NOT USED
102	EXISTING TOILET ROOM	203	NOT USED
103	EXISTING PATIO	204	NOT USED
104	EXISTING TOILET ROOM	205	NOT USED
105	EXISTING VESTIBULE	206	EXISTING TOILET ROOM
105A	EXISTING STORAGE	207	NOT USED
106	EXISTING STORAGE	208	EXISTING LOUNGE
107	EXISTING CONCESSIONS	209	EXISTING LOUNGE
108	EXISTING STORAGE	210	EXISTING STAIRS
109	EXISTING STAIRS	211	EXISTING CORRIDOR
110	EXISTING CORRIDOR	212	EXISTING RECEPTION AREA
111	EXISTING CORRIDOR		
112	NOT USED		
113	NOT USED		
114	NOT USED		
115	NOT USED		
116	NOT USED		
117	NOT USED		
118	NOT USED		
119	NOT USED		
120	NOT USED		
121	NOT USED		
122	EXISTING CORRIDOR		

- GENERAL NOTES**
- REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
 - UNLESS NOTED OTHERWISE, WHERE EXISTING CEILING SURFACES ARE SCHEDULED TO RECEIVE FINISHES, DEMOLISH EXISTING FINISH MATERIALS AND SALVAGE SURFACE-MOUNTED ITEMS; REINSTALL SURFACE-MOUNTED ITEMS AT NEW LOCATIONS DETERMINED BY OWNER UNLESS SPECIFIC LOCATIONS ARE INDICATED ON DRAWINGS.
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ISSUED

01/22/2019	BID DOCUMENTS
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JOB NO. 19-310-1249
DRAWN HMA
CHECKED CDH
APPROVED CDJ

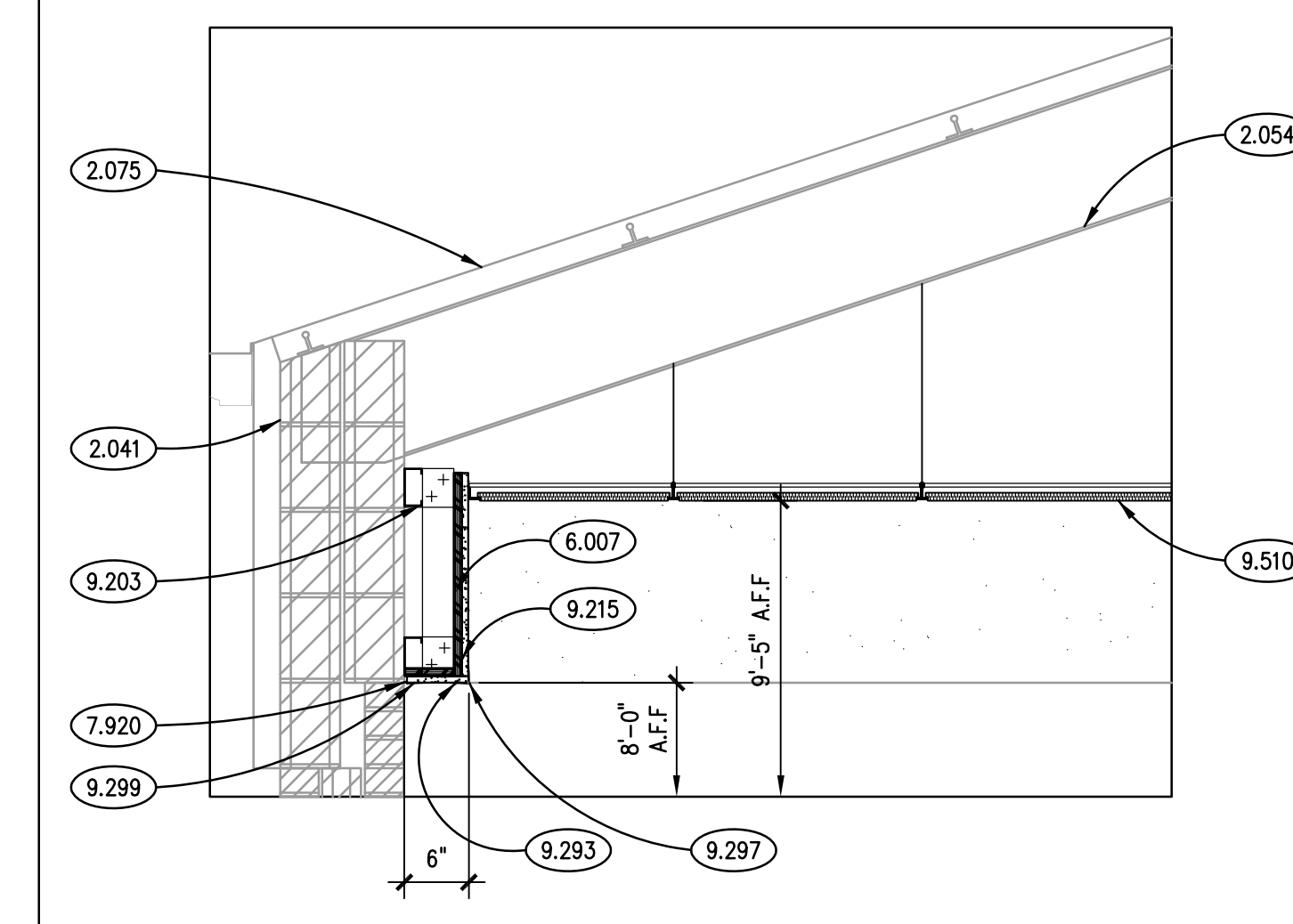
SHEET TITLE
PARTIAL UPPER AND LOWER LEVEL REFLECTED CEILING PLANS

SHEET NUMBER
A400

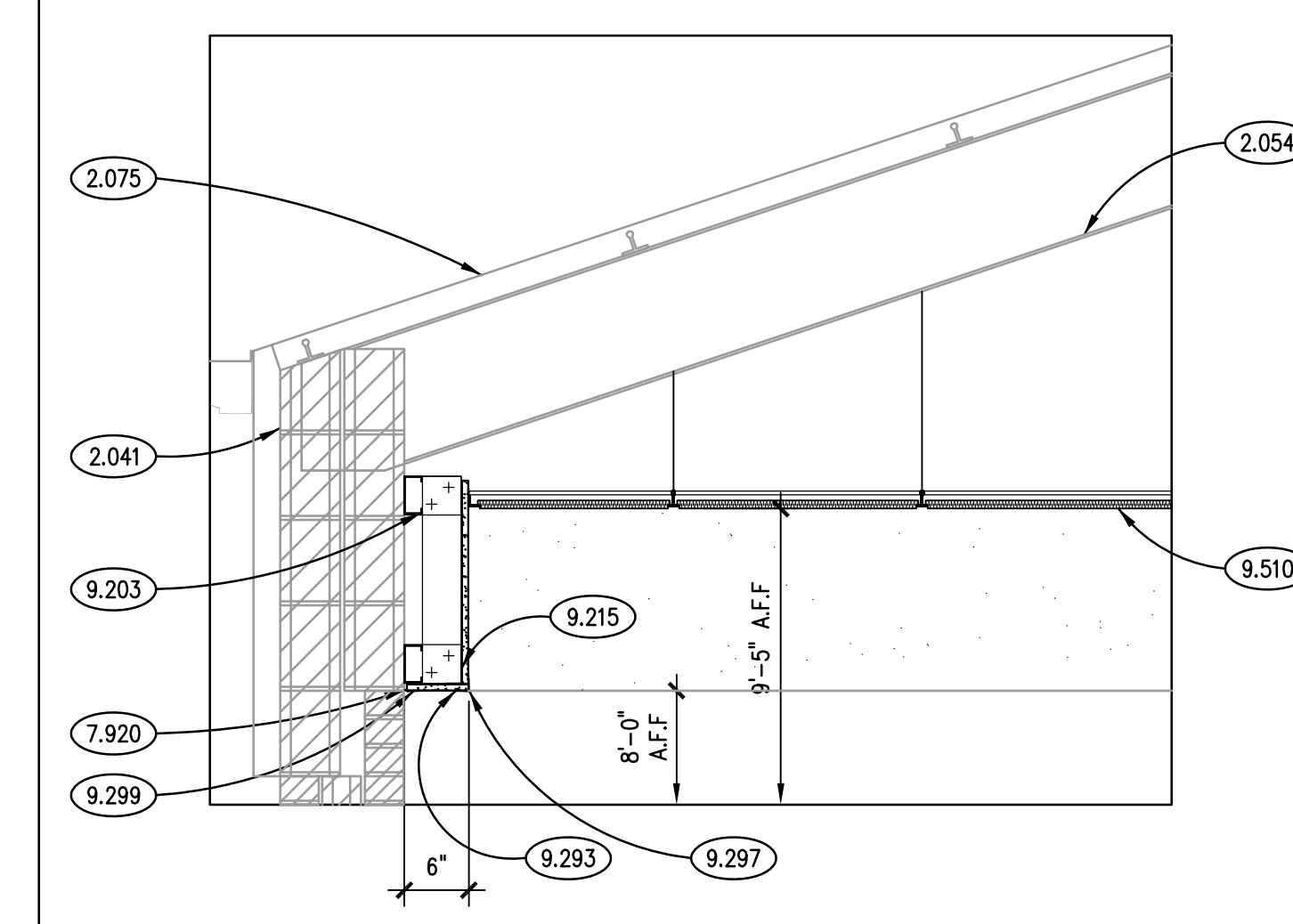
KEYNOTES

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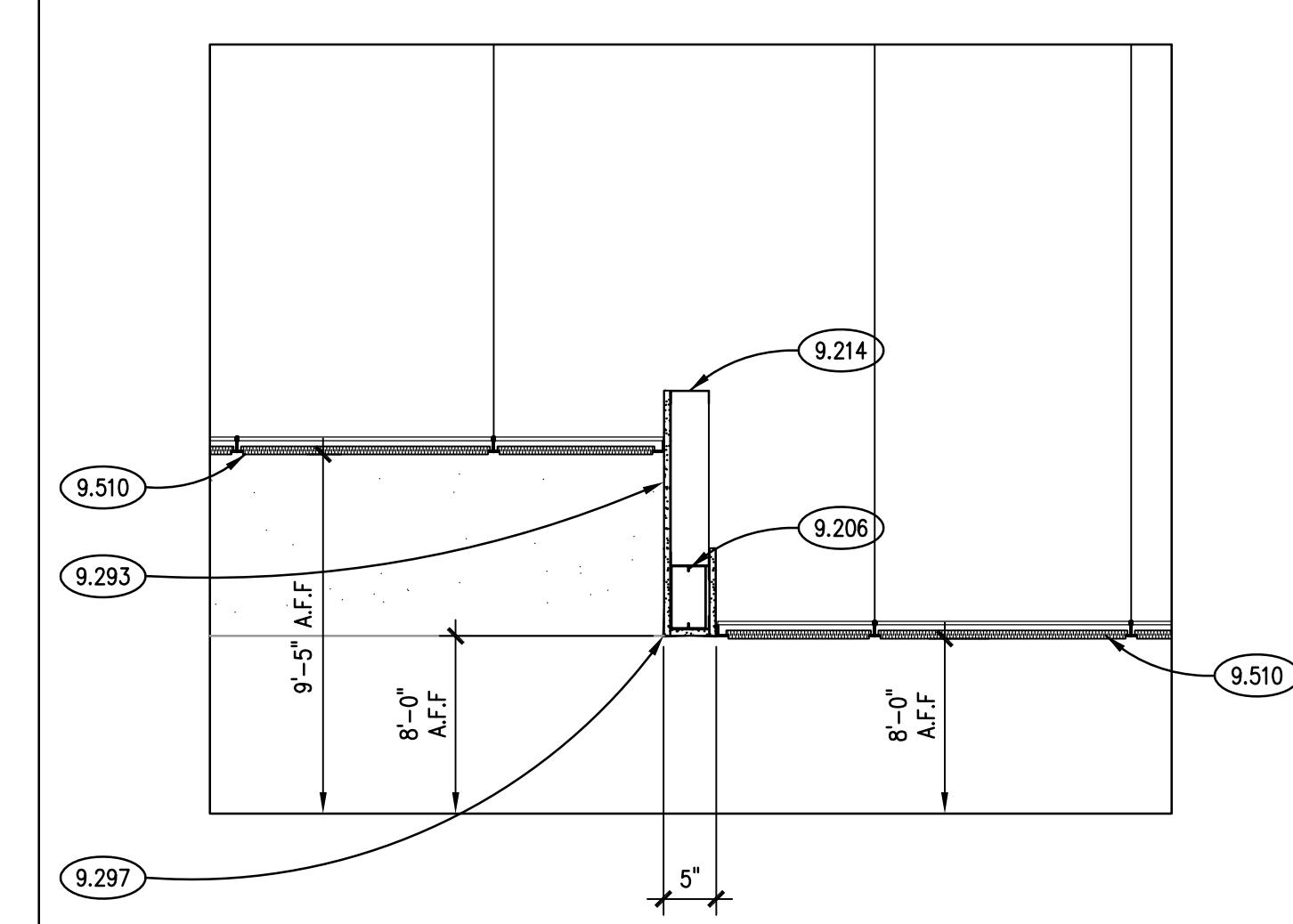
- 2.041 EXISTING MASONRY WALL.
- 2.053 EXISTING STRUCTURAL STEEL LINTEL.
- 2.054 EXISTING STRUCTURAL STEEL SLOPED BEAM.
- 2.075 EXISTING ROOFING: AS INDICATED.
- 2.083 EXISTING WINDOW.
- 6.007 PROVIDE 3/4" THICK PLYWOOD BACKING IN THIS AREA FOR MOUNTING OF FLAT PANEL TV.
- 7.920 JOINT SEALANT: REFER TO SCHEDULE IN SPECIFICATION SECTION 07 92 00; PROVIDE BACKER ROD OR BOND BREAKER.
- 9.203 METAL STUD FRAMING: 3-5/8" STUD; 16" O.C. SPACING; 20 GAUGE UNLESS NOTED OTHERWISE; ANCHORAGE TO SUIT APPLICATION.
- 9.206 METAL STUD FRAMING: 6" STUD; 16" O.C. SPACING; 20 GAUGE UNLESS NOTED OTHERWISE; ANCHORAGE TO SUIT APPLICATION.
- 9.214 METAL STUD FRAMING: STUD RUNNER: SIZE TO MATCH METAL STUDS.
- 9.215 METAL STUD FRAMING: METAL ANGLE; 25 GA; 1-1/2" X 1-1/2"; CONTINUOUS.
- 9.293 GYPSUM BOARD: 5/8" THICK; TYPE "X" - MOULDED RESISTANT TYPE ON SUSPENDED METAL CEILING GRID SYSTEM; TYPICAL AT ALL CEILING OR SOFFIT FRAMING LOCATIONS.
- 9.297 GYPSUM BOARD ACCESSORY: CORNER BEAD.
- 9.299 GYPSUM BOARD ACCESSORY: EDGE TRIM; "J" PROFILE.
- 9.510 ACOUSTICAL CEILING PANELS TYPE C1 AND GRID TYPE SS1; REFER TO SPECIFICATIONS.



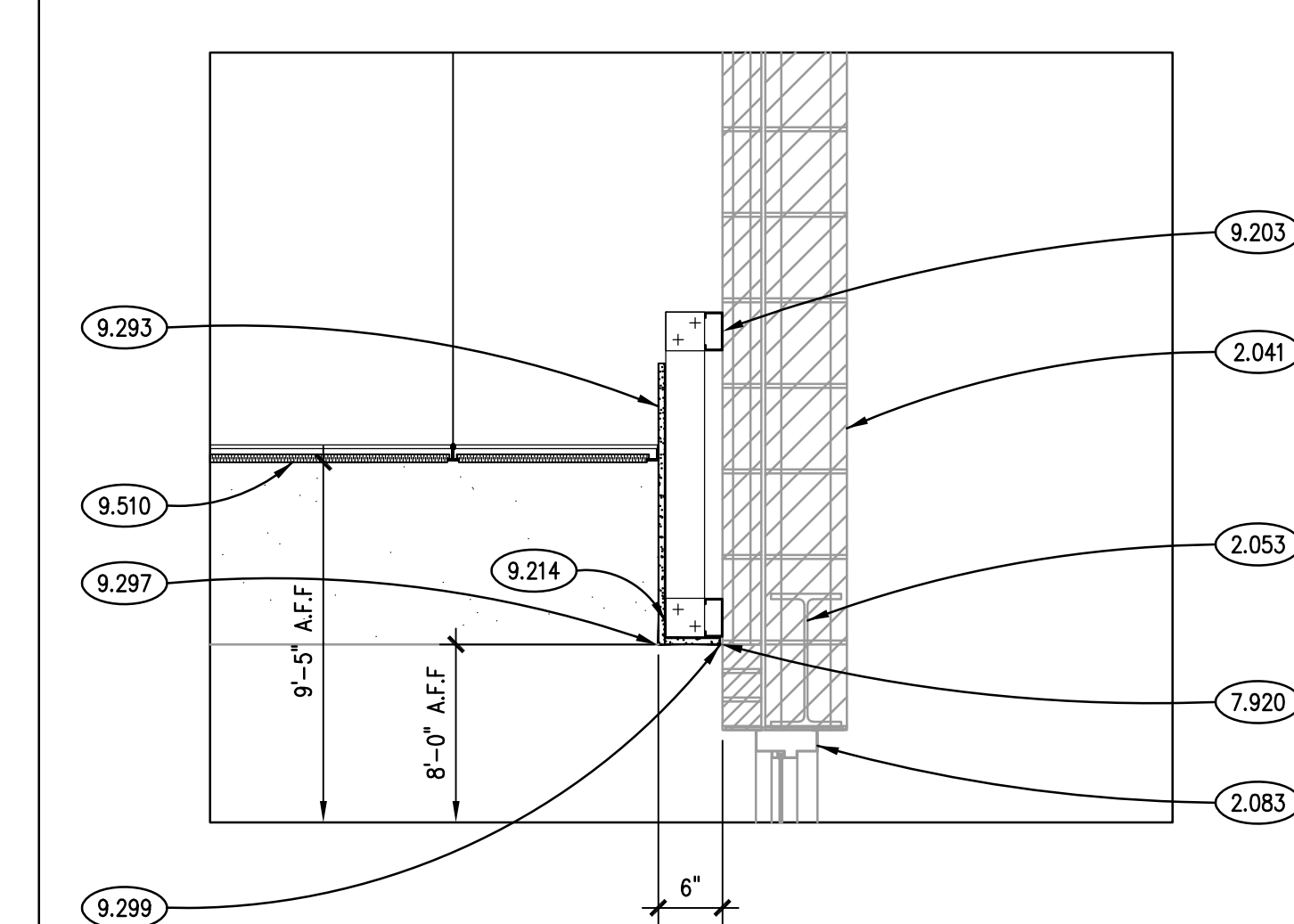
SECTION DETAIL 4
SCALE: 3/4" = 1'-0"



SECTION DETAIL 3
SCALE: 3/4" = 1'-0"



SECTION DETAIL 2
SCALE: 3/4" = 1'-0"



SECTION DETAIL 1
SCALE: 3/4" = 1'-0"

GENERAL NOTES

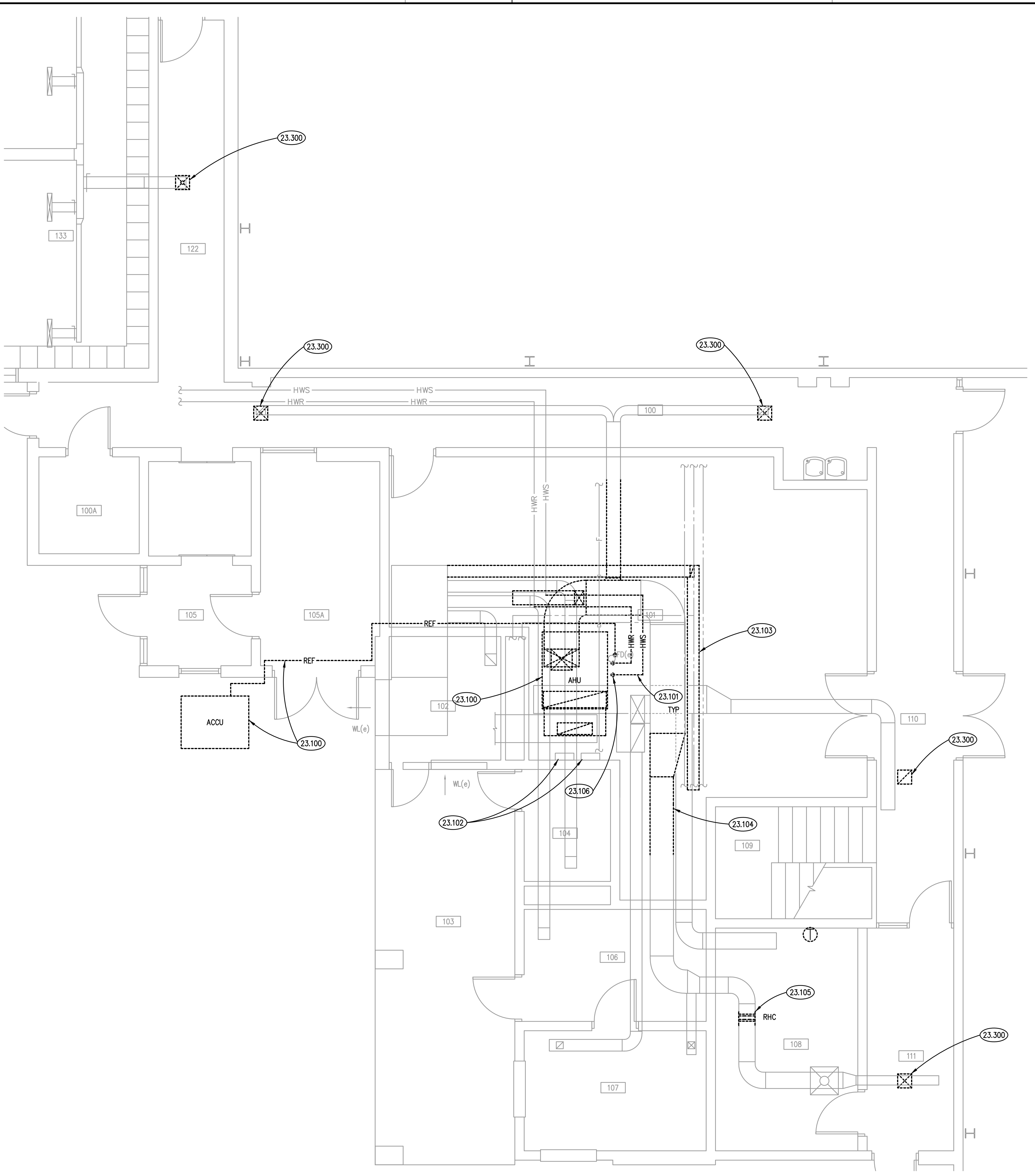
1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
2. REFER TO A400 SERIES REFLECTED CEILING PLAN DRAWINGS FOR B/CLG. ELEVATIONS.
3. IN METAL STUD/GYPSUM BOARD PARTITIONS AND WALLS, PROVIDE 2X FIRE RETARDANT TREATED WOOD BLOCKING FOR WALL-MOUNTED ITEMS REQUIRING MECHANICAL ANCHORAGE.
4. ADD BRACING AND DIAGONALS AS REQUIRED TO SUSPENDED GYPSUM BOARD SYSTEM AS REQUIRED FOR STRUCTURAL STABILITY.
5. PROVIDE ADDITIONAL FRAMING MEMBERS AS REQUIRED TO SECURE SUSPENDED GYPSUM BOARD SYSTEM TO ROOF STRUCTURE ABOVE. VERIFY EXISTING CONDITIONS IN THE FIELD.

ISSUED	DATE	BY	DESCRIPTION

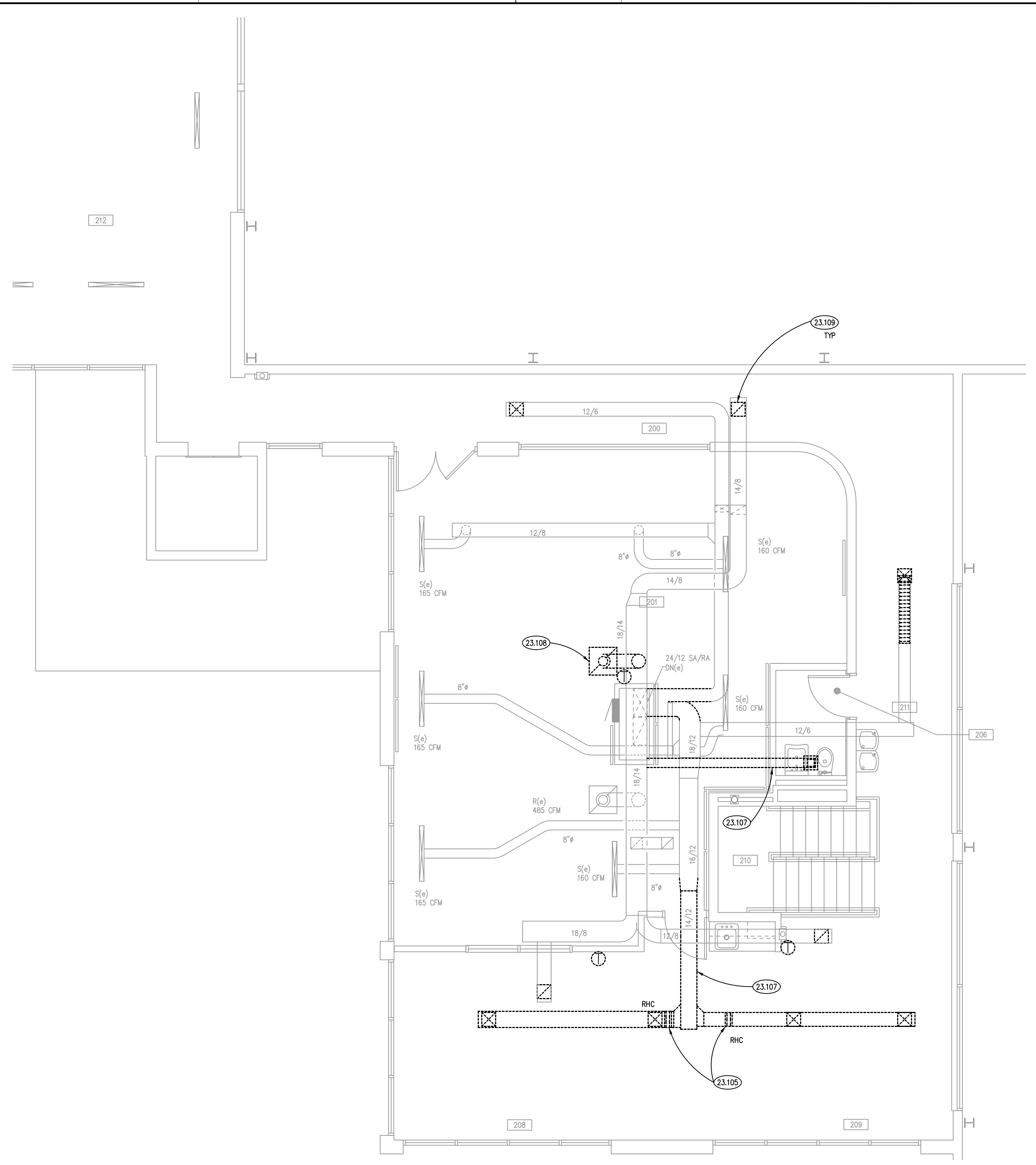
JOB NO.	19-310-1249
DRAWN	HMA
CHECKED	CDH
APPROVED	CDJ

SHEET TITLE
SECTION DETAILS

SHEET NUMBER
A1200



LOWER LEVEL MECHANICAL DEMOLITION PLAN ②
SCALE: 1/4" = 1'-0"



UPPER LEVEL MECHANICAL DEMOLITION PLAN ①
SCALE: 1/4" = 1'-0"

ROOM SCHEDULE

RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
100	EXISTING CORRIDOR	200	EXISTING CORRIDOR
100A	EXISTING ELEVATOR EQUIPMENT ROOM	201	NOT USED
101	EXISTING MECHANICAL ROOM	202	NOT USED
102	EXISTING TOILET ROOM	203	NOT USED
103	EXISTING PATIO	204	NOT USED
104	EXISTING TOILET ROOM	205	NOT USED
105	EXISTING VESTIBULE	206	EXISTING TOILET ROOM
105A	EXISTING STORAGE	207	NOT USED
106	EXISTING STORAGE	208	EXISTING LOUNGE
107	EXISTING CONCESSIONS	209	EXISTING LOUNGE
108	EXISTING STORAGE	210	EXISTING STAIRS
109	EXISTING STAIRS	211	EXISTING CORRIDOR
110	EXISTING CORRIDOR	212	EXISTING RECEPTION AREA
111	EXISTING CORRIDOR		
112	NOT USED		
113	NOT USED		
114	NOT USED		
115	NOT USED		
116	NOT USED		
117	NOT USED		
118	NOT USED		
119	NOT USED		
120	NOT USED		
121	NOT USED		
122	EXISTING CORRIDOR		

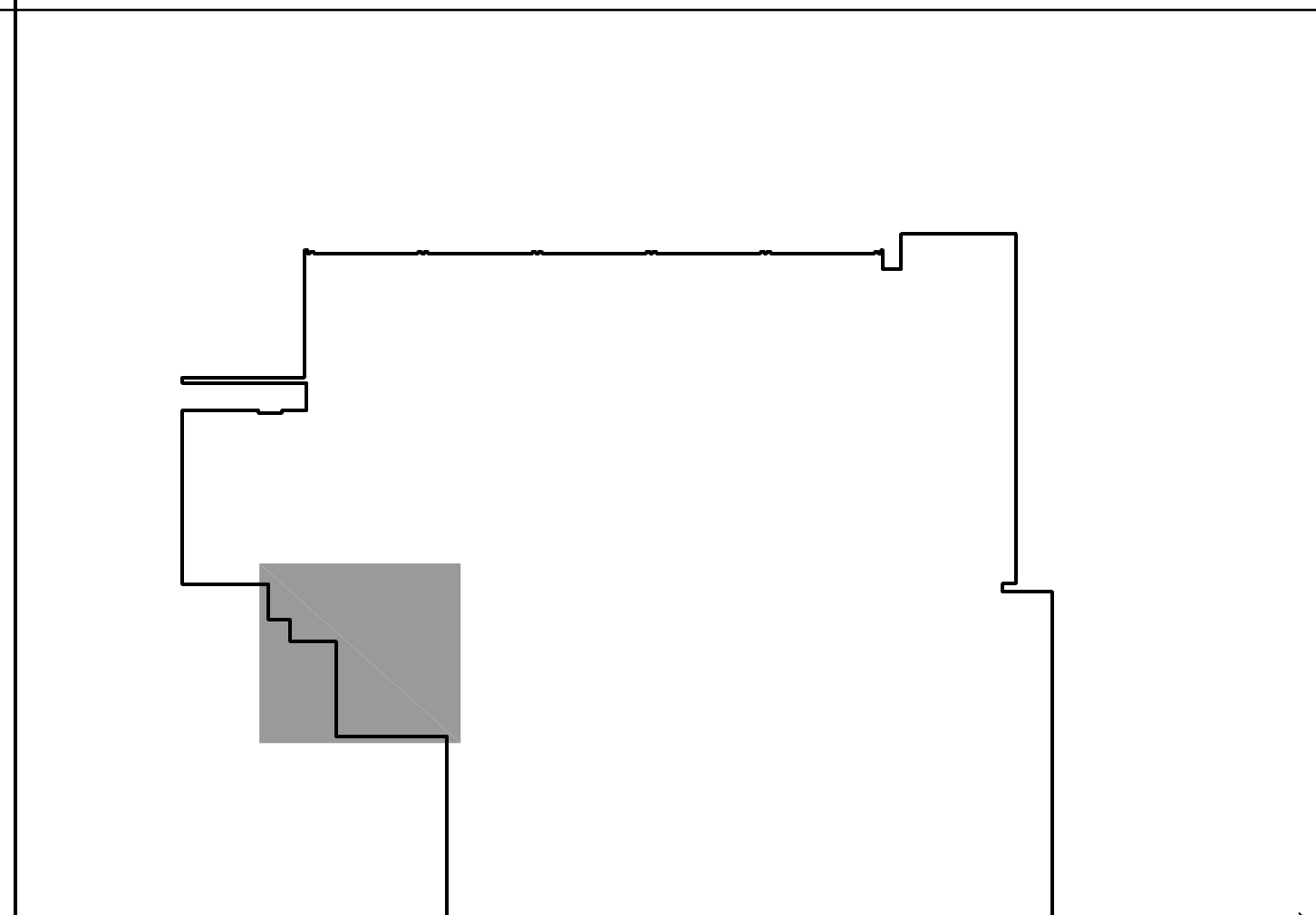
MECHANICAL GENERAL NOTES

- REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
- ALL PIPING AND DUCTWORK IS SHOWN DIAGRAMMATICALLY AND DOES NOT SHOW ALL REQUIRED FITTINGS, OFFSETS, DROPS AND RISES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MATERIAL AND LABOR FOR A COMPLETE AND WORKING SYSTEM. COORDINATE WITH OTHER TRADES FOR SPACE AVAILABLE AND RELATIVE LOCATIONS OF EQUIPMENT, PIPING, DUCTWORK, ETC.
- EXISTING PIPING AND DUCTWORK INDICATED ON THESE PLANS SHALL BE FIELD VERIFIED FOR EXACT LOCATIONS, QUANTITY AND PIPE SIZES.
- ALL TAPES AND MASTICS USED TO SEAL DUCTWORK LISTED AND LABELED IN ACCORDANCE WITH UL 181A SHALL BE MARKED ACCORDINGLY. ALL TAPES AND MASTICS USED TO SEAL FLEXIBLE DUCTS AND AIR CONNECTORS SHALL COMPLY WITH UL 181B AND MARKED ACCORDINGLY.
- THERMOSTATIC CONTROLS OF EQUIPMENT SHALL HAVE A 5' F DEADBAND.
- GENERALLY, SMALL DIAMETER PIPE RUNS FROM DRIPS, CONDENSATE PANS AND OTHER SERVICES ARE NOT SHOWN BUT MUST BE PROVIDED.
- SPACE ALLOCATION, COORDINATION WITH ELECTRICAL, ARCHITECTURAL & OTHER MECHANICAL COMPONENTS HAVE BEEN MADE WITH RESPECT TO ALL EQUIPMENT SCHEDULED ON THESE DRAWINGS AND IN THE SPECIFICATIONS OF THE FIRST NAMED MANUFACTURER ONLY. OTHER MANUFACTURERS ARE ACCEPTABLE PROVIDED THEY MEET PERFORMANCE REQUIREMENTS AND AFOREMENTIONED COORDINATION.
- CONNECT ALL SUPPORTS ONLY TO EXISTING PRIMARY STRUCTURAL MEMBERS OR TO CONTRACTOR PROVIDED SECONDARY STRUCTURAL SUPPORT MEMBERS CONNECTED TO EXISTING PRIMARY MEMBERS. ATTACHMENT OF SUCH SUPPORTS TO EXISTING BULB TEES IS NOT PERMITTED.
- OBTAIN AND PAY ALL COSTS FOR PERMITS, LICENSES, CERTIFICATE FILING AND ALL INSPECTIONS BY AUTHORITIES HAVING JURISDICTION.

KEYNOTES

- KEYNOTES ARE NOT ALWAYS REPEATED ACROSS ALL DRAWINGS ON THIS SHEET. AN UN-KEYNOTED ITEM ON THIS SHEET IS THE SAME AS A KEYNOTED ITEM ON THIS SHEET HAVING THE SAME GRAPHIC APPEARANCE.
- 23.100 REMOVE AIR HANDLING UNIT, ASSOCIATED AIR-COOLED CONDENSING UNIT AND REFRIGERANT PIPING.
 - 23.101 REMOVE HEATING WATER PIPING BACK TO LOCATION SHOWN. PROVIDE TEMPORARY CAP FOR NEW CONNECTION.
 - 23.102 EXISTING BUILDING AUTOMATION SYSTEM CONTROLLERS TO BE RETAINED AND REUSED FOR NEW TEMPERATURE CONTROL SEQUENCES.
 - 23.103 REMOVE EXHAUST DUCTWORK BACK TO LOCATION SHOWN. PROVIDE PERMANENT CAP ON DUCTWORK.
 - 23.104 REMOVE DUCTWORK AS REQUIRED FOR INSTALLATION OF NEW VAV BOX.
 - 23.105 REMOVE DUCT MOUNTED REHEAT COIL AND ASSOCIATED THERMOSTAT AND TURN OVER TO OWNER. PROVIDE PERMANENT INSULATED PATCH ON DUCTWORK.
 - 23.106 REMOVE AND PROTECT EXISTING FLOOR MOUNTED METAL PIPE PROTECTION AS REQUIRED. REINSTALL OR RELOCATE AS REQUIRED TO PROTECT NEW PIPING.
 - 23.107 REMOVE DUCTWORK BACK TO LOCATION SHOWN. PROVIDE PERMANENT, INSULATED CAP ON DUCT.
 - 23.108 DISCONNECT AND PROTECT RETURN GRILLE FOR RELOCATION. REMOVE BRANCH DUCTWORK BACK TO MAIN AND PROVIDE PERMANENT INSULATED CAP ON DUCT.
 - 23.109 REMOVE SUPPLY/RETURN DIFFUSER. PROVIDE TEMPORARY CAP FOR NEW CONNECTION.
 - 23.300 ALTERNATE NO. 1: REMOVE SUPPLY/RETURN DIFFUSER AND PROVIDE TEMPORARY CAP ON DUCTWORK FOR NEW CONNECTION.

KEYPLAN



P112429 - Oak Brook Park District - Replacement of AHU #2333 - Design/Construct - 4/22/2019 10:55:28 AM, BWG

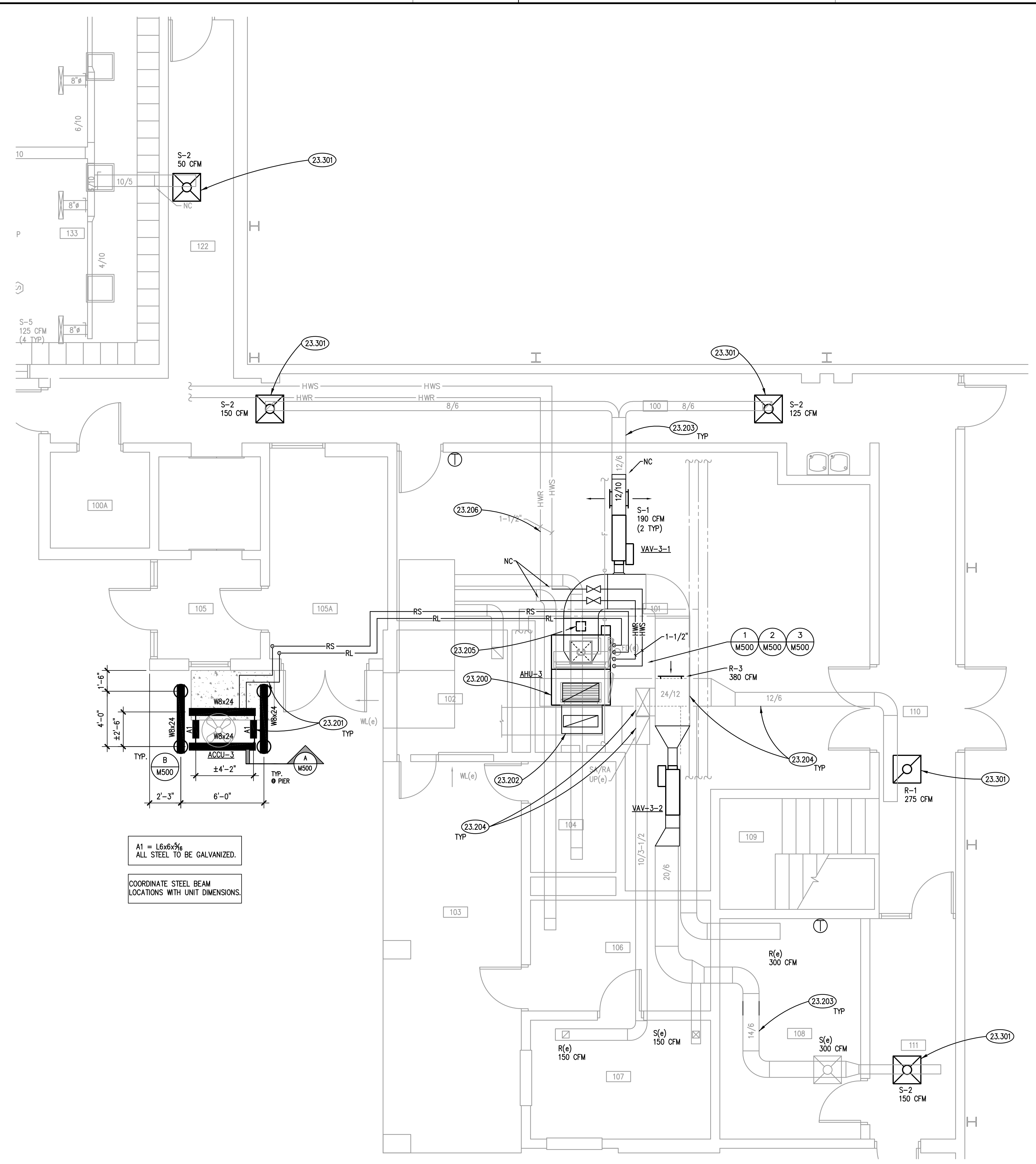
ISSUED

04/22/2019	BID DOCUMENTS
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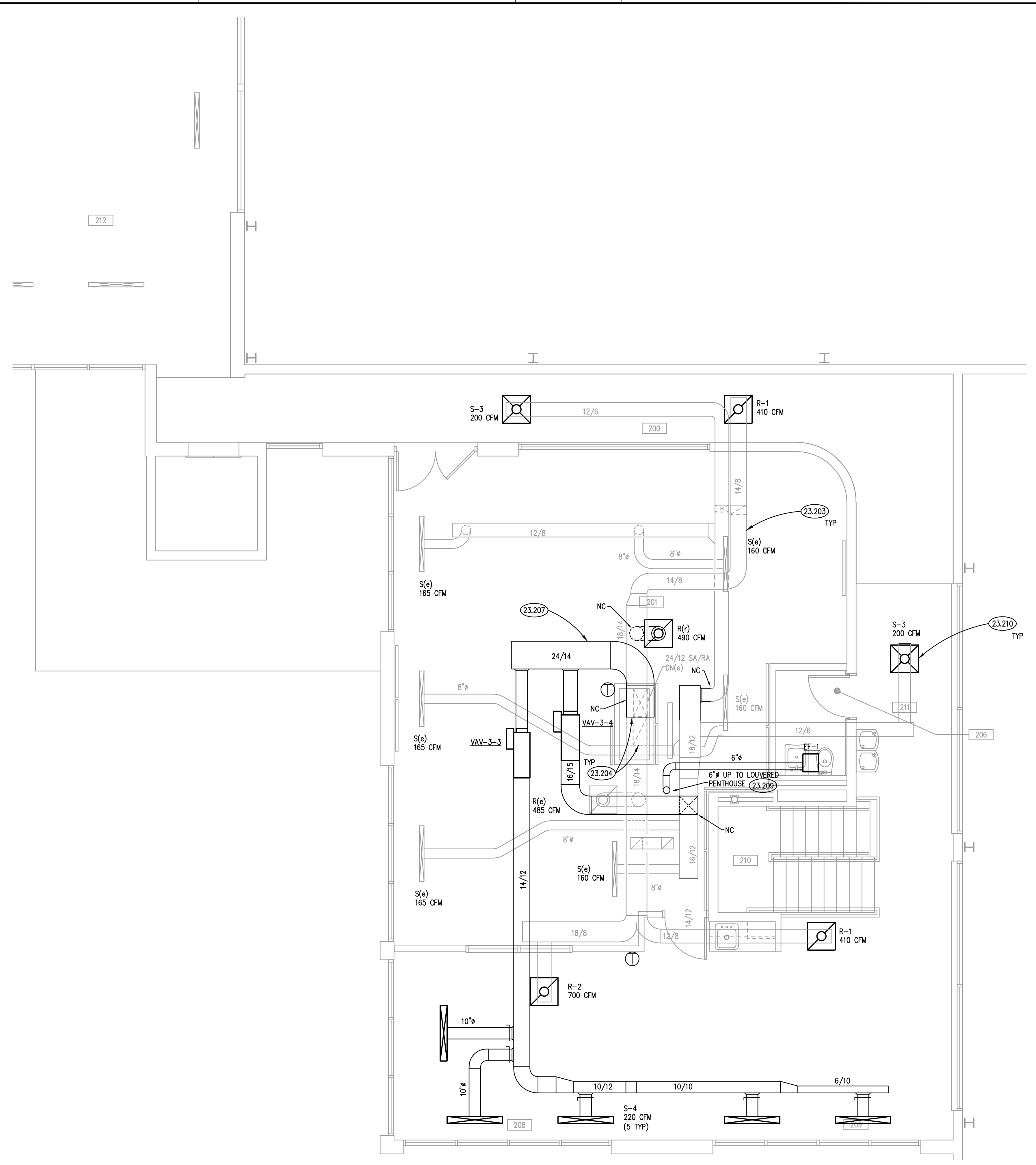
JOB NO. 19-310-1249
DRAWN BWG
CHECKED DDW
APPROVED DDW

SHEET TITLE
MECHANICAL DEMOLITION PLANS

SHEET NUMBER
M200



LOWER LEVEL MECHANICAL PLAN ②
SCALE: 1/4" = 1'-0"

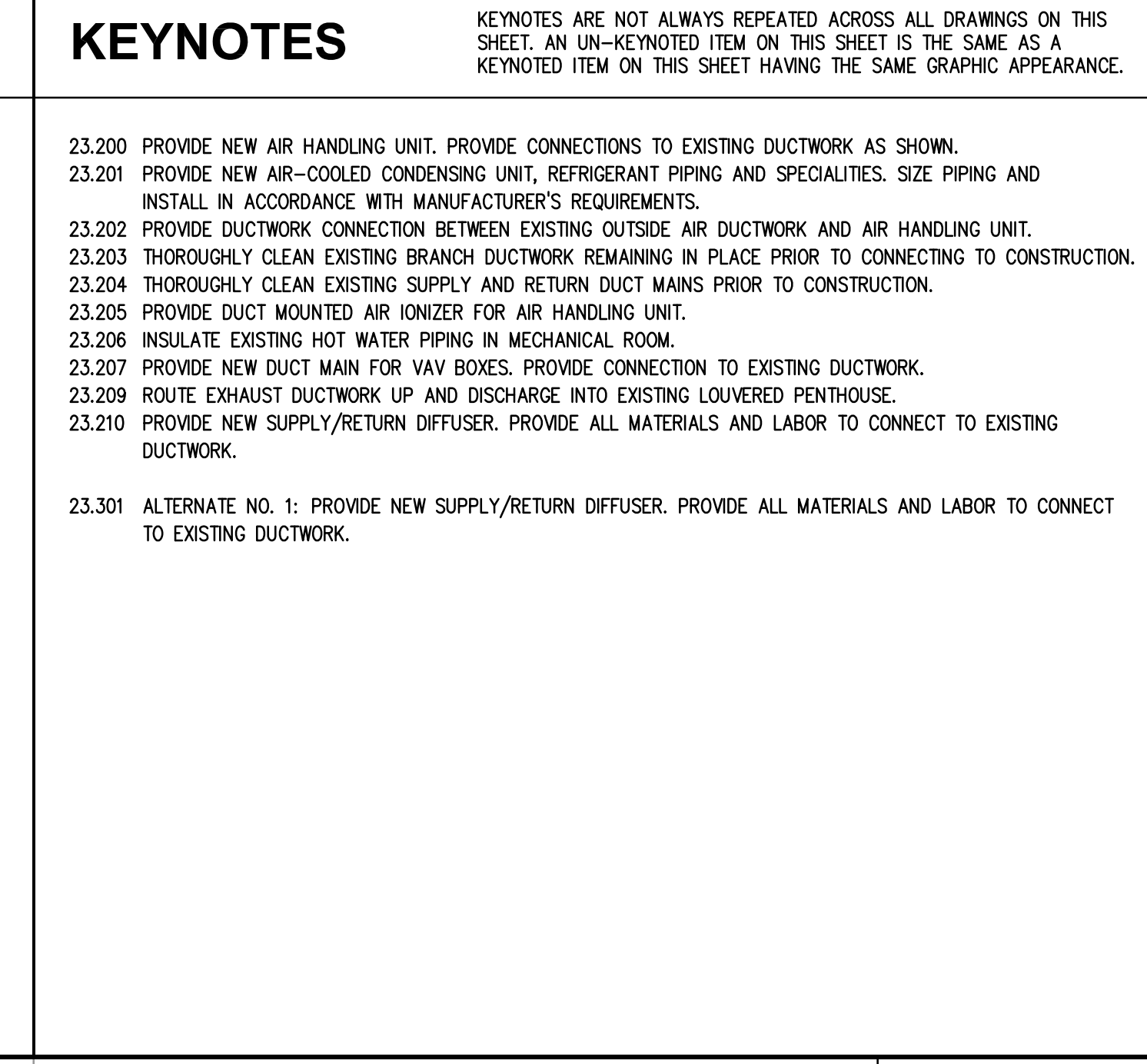


UPPER LEVEL MECHANICAL PLAN ①
SCALE: 1/4" = 1'-0"

ROOM SCHEDULE			
RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
100	EXISTING CORRIDOR	200	EXISTING CORRIDOR
100A	EXISTING ELEVATOR EQUIPMENT ROOM	201	NOT USED
101	EXISTING MECHANICAL ROOM	202	NOT USED
102	EXISTING TOILET ROOM	203	NOT USED
103	EXISTING PATIO	204	NOT USED
104	EXISTING TOILET ROOM	205	NOT USED
105	EXISTING VESTIBULE	206	EXISTING TOILET ROOM
105A	EXISTING STORAGE	207	NOT USED
106	EXISTING STORAGE	208	EXISTING LOUNGE
107	EXISTING CONCESSIONS	209	EXISTING LOUNGE
108	EXISTING STORAGE	210	EXISTING STAIRS
109	EXISTING STAIRS	211	EXISTING CORRIDOR
110	EXISTING CORRIDOR	212	EXISTING CORRIDOR AREA
111	EXISTING CORRIDOR		
112	NOT USED		
113	NOT USED		
114	NOT USED		
115	NOT USED		
116	NOT USED		
117	NOT USED		
118	NOT USED		
119	NOT USED		
120	NOT USED		
121	NOT USED		
122	EXISTING CORRIDOR		

MECHANICAL GENERAL NOTES			
1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.			
2. ALL PIPING AND DUCTWORK IS SHOWN DIAGRAMMATICALLY AND DOES NOT SHOW ALL REQUIRED FITTINGS, OFFSETS, DROPS AND RISES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MATERIAL AND LABOR FOR A COMPLETE AND WORKING SYSTEM. COORDINATE WITH OTHER TRADES FOR SPACE AVAILABLE AND RELATIVE LOCATIONS OF EQUIPMENT, PIPING, DUCTWORK, ETC.			
3. EXISTING PIPING AND DUCTWORK INDICATED ON THESE PLANS SHALL BE FIELD VERIFIED FOR EXACT LOCATIONS, QUANTITY AND PIPE SIZES.			
4. ALL TAPES AND MASTICS USED TO SEAL DUCTWORK LISTED AND LABELED IN ACCORDANCE WITH UL 181A SHALL BE MARKED ACCORDINGLY. ALL TAPES AND MASTICS USED TO SEAL FLEXIBLE DUCTS AND AIR CONNECTORS SHALL COMPLY WITH UL 181B AND MARKED ACCORDINGLY.			
5. THERMOSTATIC CONTROLS OF EQUIPMENT SHALL HAVE A 5' F DEADBAND.			
6. GENERALLY, SMALL DIAMETER PIPE RUNS FROM DRIPS, CONDENSATE PANS AND OTHER SERVICES ARE NOT SHOWN BUT MUST BE PROVIDED.			
7. SPACE ALLOCATION, COORDINATION WITH ELECTRICAL, ARCHITECTURAL & OTHER MECHANICAL COMPONENTS HAVE BEEN MADE WITH RESPECT TO ALL EQUIPMENT SCHEDULED ON THESE DRAWINGS AND IN THE SPECIFICATIONS OF THE FIRST NAMED MANUFACTURER ONLY. OTHER MANUFACTURERS ARE ACCEPTABLE PROVIDED THEY MEET PERFORMANCE REQUIREMENTS AND AFOREMENTIONED COORDINATION.			
8. CONNECT ALL SUPPORTS ONLY TO EXISTING PRIMARY STRUCTURAL MEMBERS OR TO CONTRACTOR PROVIDED SECONDARY STRUCTURAL SUPPORT MEMBERS CONNECTED TO EXISTING PRIMARY MEMBERS. ATTACHMENT OF SUCH SUPPORTS TO EXISTING BULB TEES IS NOT PERMITTED.			
9. OBTAIN AND PAY ALL COSTS FOR PERMITS, LICENSES, CERTIFICATE FILING AND ALL INSPECTIONS BY AUTHORITIES HAVING JURISDICTION.			

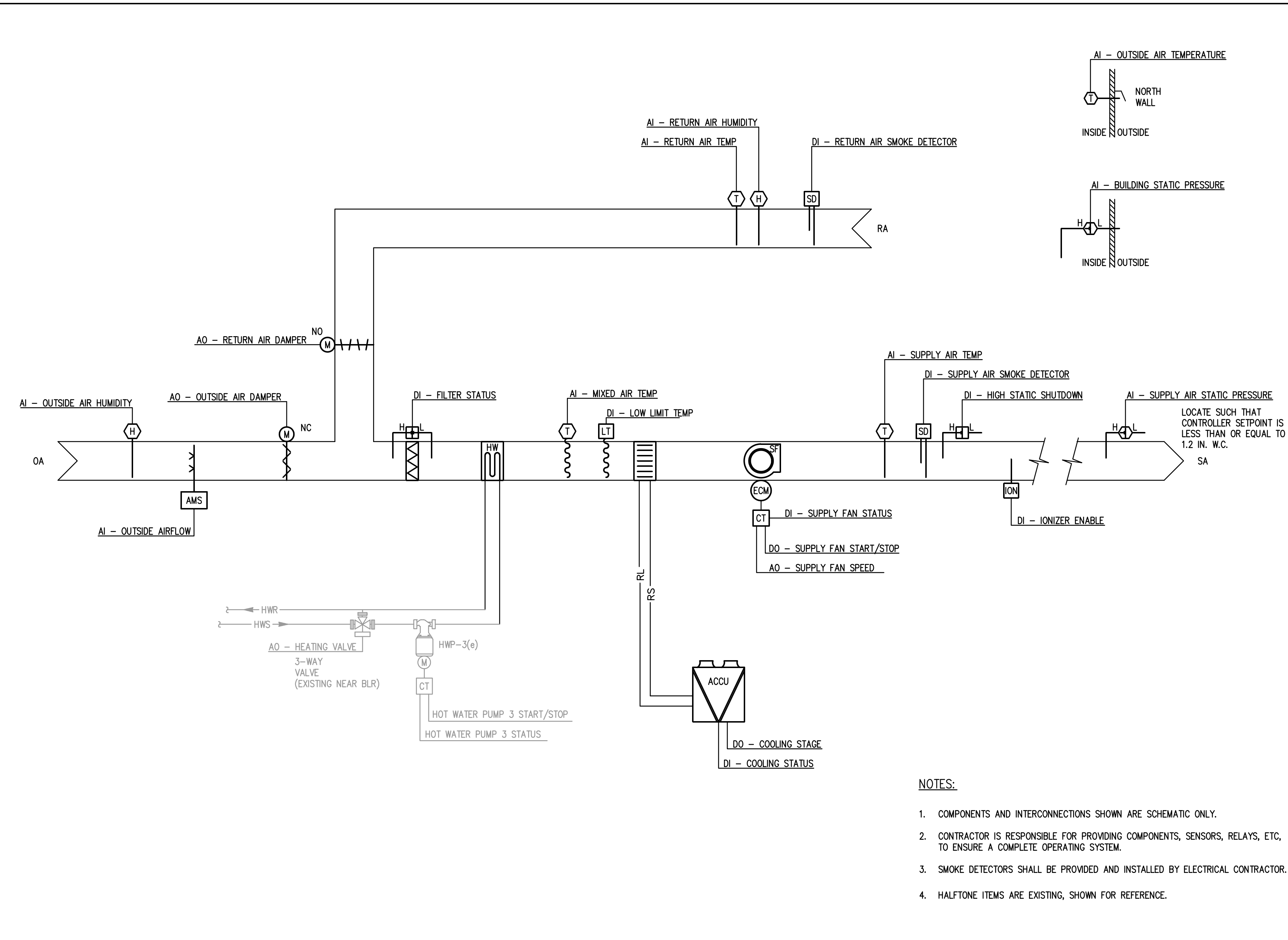
KEYNOTES	
23.200	PROVIDE NEW AIR HANDLING UNIT. PROVIDE CONNECTIONS TO EXISTING DUCTWORK AS SHOWN.
23.201	PROVIDE NEW AIR-COOLED CONDENSING UNIT, REFRIGERANT PIPING AND SPECIALTIES. SIZE PIPING AND INSTALL IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
23.202	PROVIDE DUCTWORK CONNECTION BETWEEN EXISTING OUTSIDE AIR DUCTWORK AND AIR HANDLING UNIT.
23.203	THOROUGHLY CLEAN EXISTING BRANCH DUCTWORK REMAINING IN PLACE PRIOR TO CONNECTING TO CONSTRUCTION.
23.204	THOROUGHLY CLEAN EXISTING SUPPLY AND RETURN DUCT MAINS PRIOR TO CONSTRUCTION.
23.205	PROVIDE DUCT MOUNTED AIR IONIZER FOR AIR HANDLING UNIT.
23.206	INSULATE EXISTING HOT WATER PIPING IN MECHANICAL ROOM.
23.207	PROVIDE NEW DUCT MAIN FOR VAV BOXES. PROVIDE CONNECTION TO EXISTING DUCTWORK.
23.209	ROUTE EXHAUST DUCTWORK UP AND DISCHARGE INTO EXISTING LOUVERED PENTHOUSE.
23.210	PROVIDE NEW SUPPLY/RETURN DIFFUSER. PROVIDE ALL MATERIALS AND LABOR TO CONNECT TO EXISTING DUCTWORK.
23.301	ALTERNATE NO. 1: PROVIDE NEW SUPPLY/RETURN DIFFUSER. PROVIDE ALL MATERIALS AND LABOR TO CONNECT TO EXISTING DUCTWORK.



MECHANICAL FLOOR PLANS	
ISSUED	
04/22/2019	BID DOCUMENTS
JOB NO.	19-310-1249
DRAWN	BWG/VAD
CHECKED	DDW/JMB
APPROVED	DDW/JMB
SHEET TITLE	
MECHANICAL FLOOR PLANS	
SHEET NUMBER	
M300	

P11249 - Oak Brook Park District - Replacement of AHU #330 - Design/Construct - 4/25/2019 10:33:56 AM B.V.G.

AIR HANDLING UNIT CONTROL SCHEMATIC



SEQUENCE OF OPERATION

AIR HANDLING UNIT (AHU-3):

THE OCCUPIED/UNOCCUPIED MODE SCHEDULING SHALL BE MADE AT THE BUILDING AUTOMATION SYSTEM. PROVISIONS SHALL BE MADE FOR MANUAL SHUTDOWN OF EQUIPMENT. ALL SETPOINTS SHALL BE ADJUSTABLE. UNOCCUPIED SPACE TEMPERATURE SETPOINTS SHALL BE 80 DEGREES F COOLING AND 65 DEGREES F HEATING.

SUPPLY FAN - THE SUPPLY FAN SHALL RUN CONTINUOUSLY DURING OCCUPIED MODE AND INTERMITTENTLY DURING UNOCCUPIED MODE. THE SUPPLY FAN MOTOR SHALL MODULATE THE SPEED OF THE FAN TO MAINTAIN THE DUCT STATIC PRESSURE SETPOINT. IF AIRFLOW IS NOT DETECTED WITHIN TWO MINUTES AFTER A START COMMAND THE FAN MOTOR SHALL BE DE-ENERGIZED AND AN AUDIBLE ALARM SHALL BE ACTIVATED. IF A HIGH STATIC PRESSURE IS SENSED IN THE SUPPLY AIR THE SUPPLY FAN SHALL BE DE-ENERGIZED AND SIGNAL AN ALARM CONDITION. ONCE AIRFLOW HAS BEEN ESTABLISHED THE AIR IONIZER SHALL BE ENABLED.

STATIC PRESSURE/SUPPLY AIR TEMPERATURE RESET - THE SUPPLY FAN VFDs SHALL MODULATE THE FANS TO MAINTAIN A DUCT STATIC PRESSURE SETPOINT. THE BAS SHALL CONTROL SUPPLY FAN SPEED TO MAINTAIN A CRITICAL STATIC PRESSURE SETPOINT. UPON FAILURE OF COMMUNICATION THE AHUs SHALL OPERATE ON THEIR OWN STATIC PRESSURE CONTROL IN STAND ALONE MODE. THE SETPOINT SHALL RESET TO OPTIMIZE FAN SPEED AS FOLLOWS:

- THE BUILDING AUTOMATION SYSTEM SHALL MONITOR THE DAMPER POSITION OF ALL VAV TERMINAL UNITS AND DETERMINE THE CRITICAL ZONE (CZ), WHICH IS THE VAV TERMINAL UNIT THAT IS WIDEST OPEN.
- WHEN THE CZ IS MORE THAN 90% OPEN, THE SUPPLY FAN DISCHARGE STATIC PRESSURE SETPOINT SHALL BE RESET DOWNWARD 10% OF THE PREVIOUS SETPOINT A FREQUENCY OF 10 MINUTES UNTIL THE CZ IS MORE THAN 97% OPEN OR THE STATIC PRESSURE SETPOINT HAS RESET DOWNWARD TO THE SYSTEM MINIMUM SETTING.
- WHEN THE CZ IS LESS THAN 90% OPEN AND THE STATIC PRESSURE SETPOINT IS AT THE MINIMUM SETTING, THE DISCHARGE AIR TEMPERATURE SETPOINT SHALL BE RESET UPWARD IN INCREMENTS OF 0.5° F AT A FREQUENCY OF 10 MINUTES AND THE STATIC PRESSURE SETPOINT HELD CONSTANT UNTIL THE CZ IS MORE THAN 97% OPEN OR THE DISCHARGE AIR TEMPERATURE IS RESET TO ITS MAXIMUM SETTING OF 10° F (ADJ) ABOVE THE DISCHARGE AIR TEMPERATURE SETPOINT.
- THE REVERSE CONTROL SEQUENCE SHALL OCCUR WHEN THE CZ IS 98% OPEN UNTIL THE DISCHARGE AIR TEMPERATURE AND STATIC TEMPERATURE SETPOINTS ARE A THEIR DESIGN SETPOINT.

SMOKE DETECTORS - UPON DETECTION OF SMOKE THE FANS SHALL BE DE-ENERGIZED, CLOSE OUTSIDE AIR DAMPER, AND SIGNAL ALARM LOCALLY AND AT FIRE ALARM PANEL.

O/A/RA DAMPERS - AN AIRFLOW MEASURING STATION/DAMPER SENSOR SHALL MODULATE THE OUTSIDE AIR DAMPERS TO MAINTAIN THE MINIMUM OUTSIDE AIR CFM SETPOINT. AN ECONOMIZER SHALL MODULATE THE DAMPERS BASED ON DIFFERENTIAL ENTHALPY OF THE RETURN AIR AND OUTSIDE AIR TO MAINTAIN A SUPPLY AIR TEMPERATURE OF 55 DEGREES F. IN UNOCCUPIED MODE THE OUTSIDE AIR DAMPER SHALL BE FULLY CLOSED. THE OUTSIDE AIR DAMPER SHALL REMAIN CLOSED AND RETURN AIR DAMPER OPEN DURING OPTIMIZED START.

ECONOMIZER - AN ECONOMIZER SHALL MODULATE THE DAMPERS BASED ON DIFFERENTIAL ENTHALPY OF THE RETURN AIR AND THE OUTSIDE AIR TO MAINTAIN A SUPPLY AIR TEMPERATURE 55 DEGREES F. THE ECONOMIZER SHALL HAVE FAULT AND DETECTION DIAGNOSTICS (FDD). THE FDD SHALL ALARM WITH ANY OF THE FOLLOWING FAULTS:

- AIR TEMPERATURE SENSOR FAILURE/FAULT
- NOT ECONOMIZING WHEN THE UNIT SHOULD BE ECONOMIZING
- ECONOMIZING WHEN THE UNIT SHOULD NOT BE ECONOMIZING
- DAMPER NOT MODULATING
- EXCESS OUTDOOR AIR

COOLING MODE - THE AIR COOLED CONDENSING UNIT COMPRESSORS SHALL BE STAGED OR UNLOADED TO MAINTAIN A SUPPLY AIR TEMPERATURE OF 55 DEGREES F WHEN THE OUTSIDE AIR TEMPERATURE IS ABOVE 60 DEGREES F.

HEATING MODE - THE HOT WATER COIL CONTROL VALVE SHALL MODULATE TO MAINTAIN A DISCHARGE TEMPERATURE SETPOINT OF 65 DEGREES F (ADJ) WHEN IN THE OCCUPIED MODE. THE SUPPLY FAN SHALL BE DE-ENERGIZED THROUGH A HARDWIRED ELECTRICAL INTERLOCK WITH THE COIL FREEZESTAT IF THE FREEZESTAT IS ACTIVATED OR BY THE BDC CONTROLLER IF THE MIXED AIR TEMPERATURE IS LESS THAN 40 DEGREES F. THE OUTSIDE AIR DAMPER SHALL CLOSE AND THE RETURN AIR DAMPER SHALL OPEN. AN AUDIBLE ALARM SHALL BE ACTIVATED.

OPTIMIZED START - THE AHU SHALL BEGIN A MORNING WARM-UP/COOL DOWN BEFORE OCCUPIED MODE AS CALCULATED BY THE BAS FOR THE SPACE TO BE AT OCCUPIED TEMPERATURE SETPOINT AT THE START OF THE OCCUPIED MODE. AFTER SPACE TEMPERATURE REACHES THE OCCUPIED SETPOINT THE AHU SHALL OPERATE IN OCCUPIED MODE. THE OUTSIDE AIR DAMPER SHALL REMAIN CLOSED WHILE IN MORNING WARM UP.

POINTS LIST

	HARDWARE				SOFTWARE			
	AI	AO	DI	DO	SCHED	TREND	ALARM	GRAPHIC
OCCUPIED/UNOCCUPIED MODE		X			X		X	
SUPPLY FAN START/STOP			X		X		X	
SUPPLY FAN STATUS			X				X	X
SUPPLY FAN SPEED		X					X	X
DUCT STATIC PRESSURE	X					X	X	X
DUCT STATIC PRESSURE SETPOINT	X					X	X	X
BUILDING STATIC PRESSURE	X					X	X	X
OUTSIDE AIR TEMPERATURE	X					X	X	X
SUPPLY AIR TEMPERATURE	X					X	X	X
RETURN AIR TEMPERATURE	X					X	X	X
MIXED AIR TEMPERATURE	X					X	X	X
LOW LIMIT TEMPERATURE		X				X	X	X
OUTSIDE AIR DAMPER		X				X	X	X
RETURN AIR DAMPER		X				X	X	X
OUTSIDE AIR CFM	X					X	X	X
OUTSIDE AIR HUMIDITY	X					X	X	X
RETURN AIR HUMIDITY	X					X	X	X
COOLING STATUS		X			X	X	X	X
HEATING STATUS		X			X	X	X	X
HOT WATER COIL CONTROL VALVE		X				X	X	X
FILTER STATUS		X					X	X
ECONOMIZER STATUS		X					X	X
AIR IONIZER ENABLE		X					X	X
SUPPLY AIR SMOKE DETECTOR STATUS		X					X	X
RETURN AIR SMOKE DETECTOR STATUS		X					X	X
HIGH STATIC PRESSURE SHUTDOWN		X					X	X

NOTES:

- HEATING CONTROL VALVE SHALL HAVE SPRING RETURN ACTUATORS TO FAIL OPEN DURING LOSS OF POWER.
- OUTSIDE AIR DAMPERS SHALL HAVE SPRING RETURN ACTUATORS TO FAIL IN CLOSE POSITION DURING LOSS OF POWER.

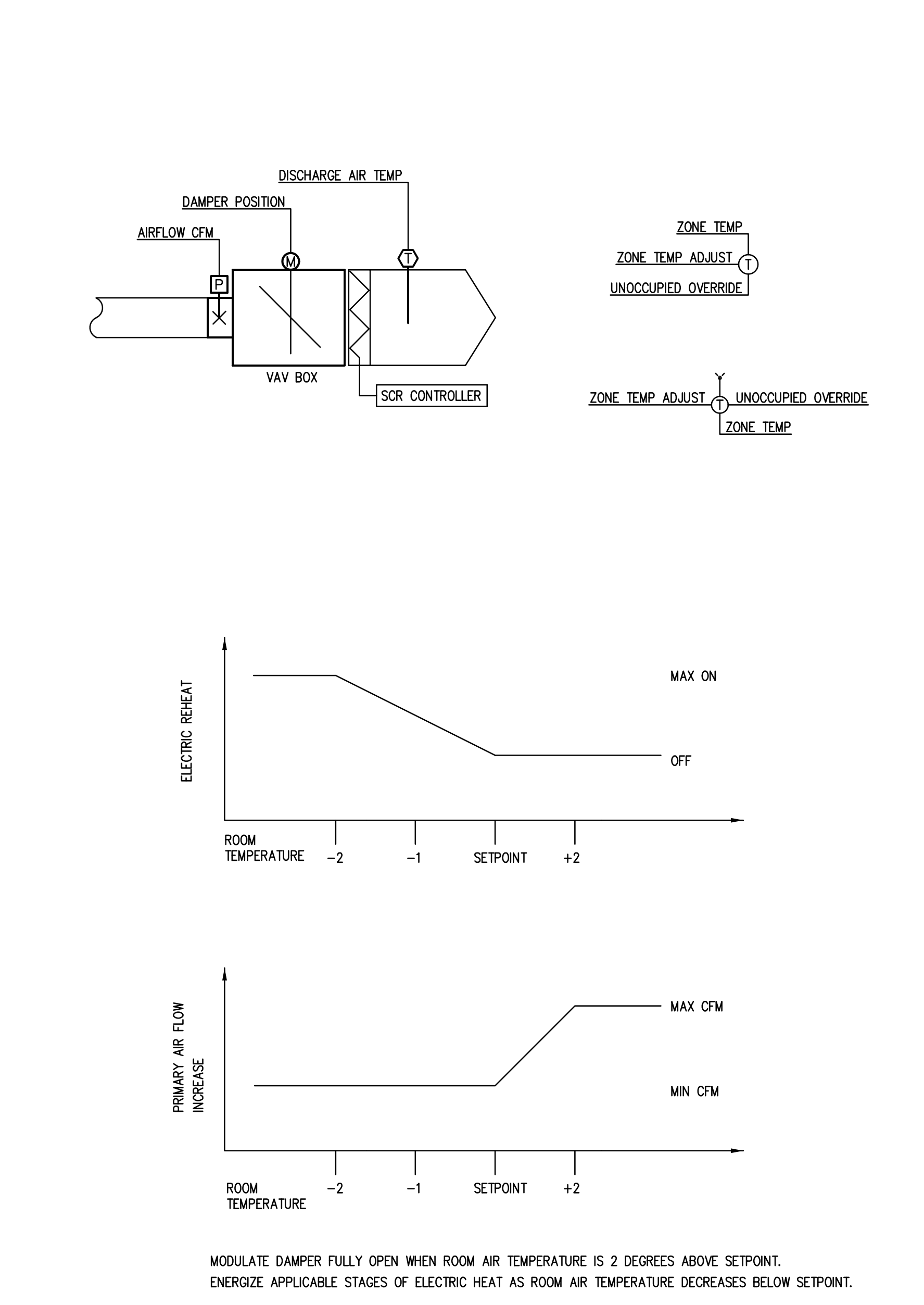
- NOTES:**
- COMPONENTS AND INTERCONNECTIONS SHOWN ARE SCHEMATIC ONLY.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING COMPONENTS, SENSORS, RELAYS, ETC. TO ENSURE A COMPLETE OPERATING SYSTEM.
 - SMOKE DETECTORS SHALL BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR.
 - HALFTONE ITEMS ARE EXISTING, SHOWN FOR REFERENCE.

MISCELLANEOUS EQUIPMENT CONTROLS

EXHAUST FAN (EF-1):

THE EXHAUST FAN SHALL BE ENERGIZED BY ROOM LIGHT SWITCH.

VARIABLE AIR VOLUME BOX CONTROL SCHEMATIC



SEQUENCE OF OPERATIONS

PRESSURE INDEPENDENT AIR TERMINAL SHALL MAINTAIN SPACE TEMPERATURE HEAT/COOL SETPOINTS OF 72/75 DEGREES F (ADJ) AND UNOCCUPIED COOL/HEAT SETPOINTS OF 80/65 DEGREES F. ALL SETPOINTS SHALL BE ADJUSTABLE.

OCCUPIED MODE:

COOLING - THE TERMINAL UNIT DAMPER SHALL MODULATE TO MAINTAIN THE ZONE COOLING TEMPERATURE SETPOINT BY MODULATING SUPPLY AIR FLOW. WHEN THE SPACE TEMPERATURE IS ABOVE SETPOINT THE DAMPER SHALL MODULATE TO THE MAXIMUM COOLING CFM POSITION. WHEN THE SPACE TEMPERATURE IS BELOW SETPOINT THE DAMPER SHALL MODULATE TO THE MINIMUM CFM POSITION.

HEATING - WHEN THE TERMINAL UNIT DAMPER HAS REACHED THE MINIMUM CFM POSITION AND THE SPACE TEMPERATURE IS BELOW SETPOINT THE ELECTRIC REHEAT COIL SHALL BE ENERGIZED AND MODULATED AS REQUIRED TO MAINTAIN SPACE TEMPERATURE. AS THE SPACE TEMPERATURE INCREASES THE COIL SHALL BE DE-ENERGIZED IN A REVERSE SEQUENCE.

UNOCCUPIED MODE:

THE TERMINAL UNIT DAMPER AND REHEAT SHALL OPERATE AS DESCRIBED ABOVE WHEN THE ASSOCIATED AIR HANDLING UNIT IS ENERGIZED. THE UNIT SHALL OPERATE TO MAINTAIN THE UNOCCUPIED HEATING/COOLING SETPOINTS.

SPACE THERMOSTAT SHALL HAVE PLUS/MINUS 2° F TEMPERATURE SETPOINT ADJUSTMENT OF THE SETPOINT SET AT THE BAS AND TIMED UNOCCUPIED OVERRIDE BUTTON.

POINTS LIST

	HARDWARE				SOFTWARE			
	AI	AO	DI	DO	SCHED	TREND	ALARM	GRAPHIC
VARIABLE AIR VOLUME BOX								
DISCHARGE AIR TEMPERATURE	X					X	X	
ZONE AIR TEMPERATURE	X					X	X	
ZONE TEMPERATURE ADJUSTMENT	X					X	X	
HEATING SETPOINT		X				X	X	
COOLING SETPOINT		X				X	X	
DAMPER POSITION		X				X	X	
AIRFLOW CFM		X				X	X	
MINIMUM AIRFLOW SETPOINT		X				X	X	
MAXIMUM COOLING AIRFLOW SETPOINT		X				X	X	
MAXIMUM HEATING AIRFLOW SETPOINT		X				X	X	
ZONE HIGH TEMPERATURE ALARM		X				X	X	
ZONE LOW TEMPERATURE ALARM		X				X	X	
ELECTRIC REHEAT COIL MODULATION		X				X	X	
UNOCCUPIED MODE OVERRIDE		X				X	X	

TENNIS CENTER - AHU REPLACEMENT AND INTERIOR REMODELING
 OAK BROOK PARK DISTRICT
 1450 FOREST GATE ROAD
 OAK BROOK, IL 60523

Kluber
 Architects + Engineers

ISSUED	DATE	BY	REVISION

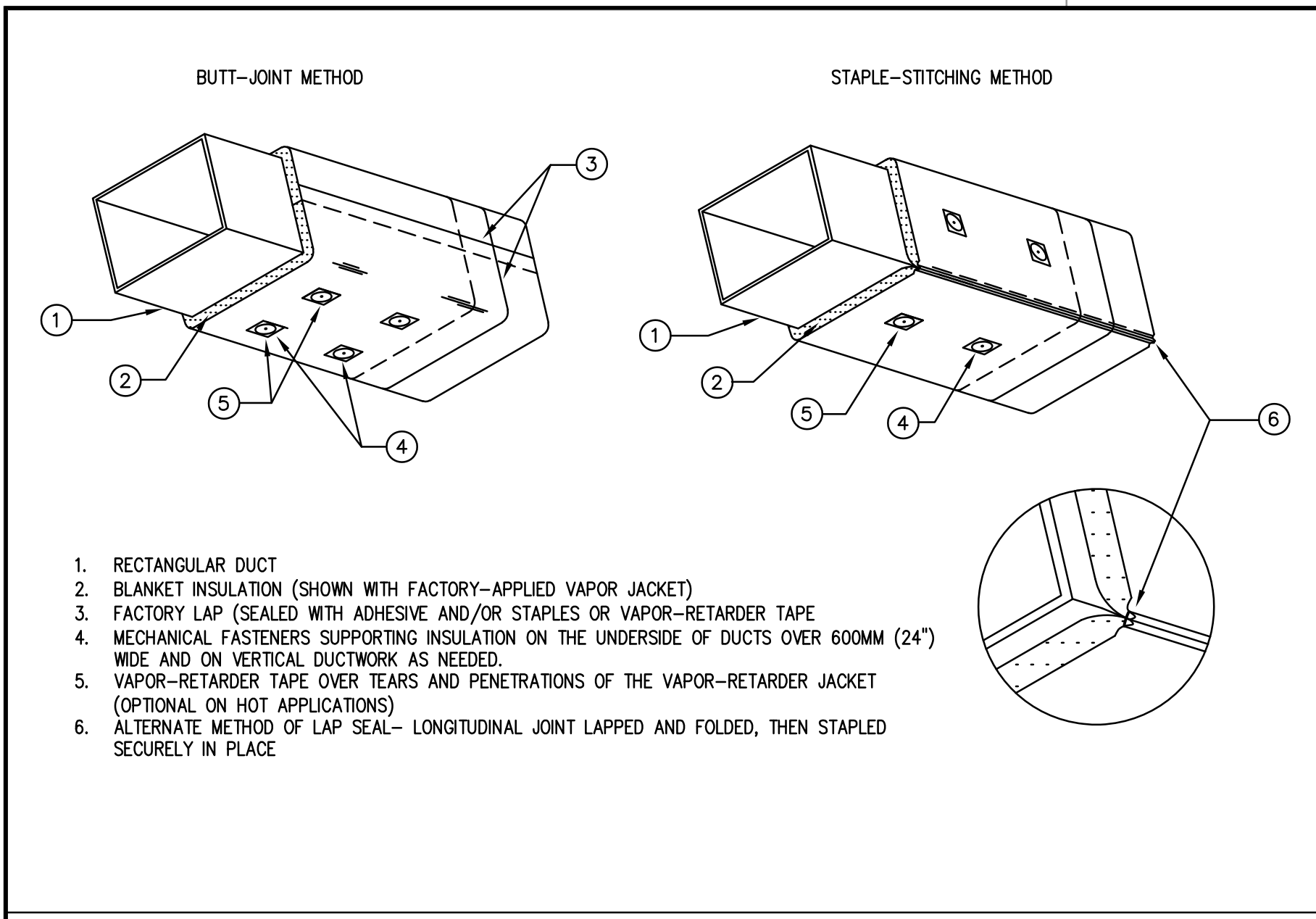
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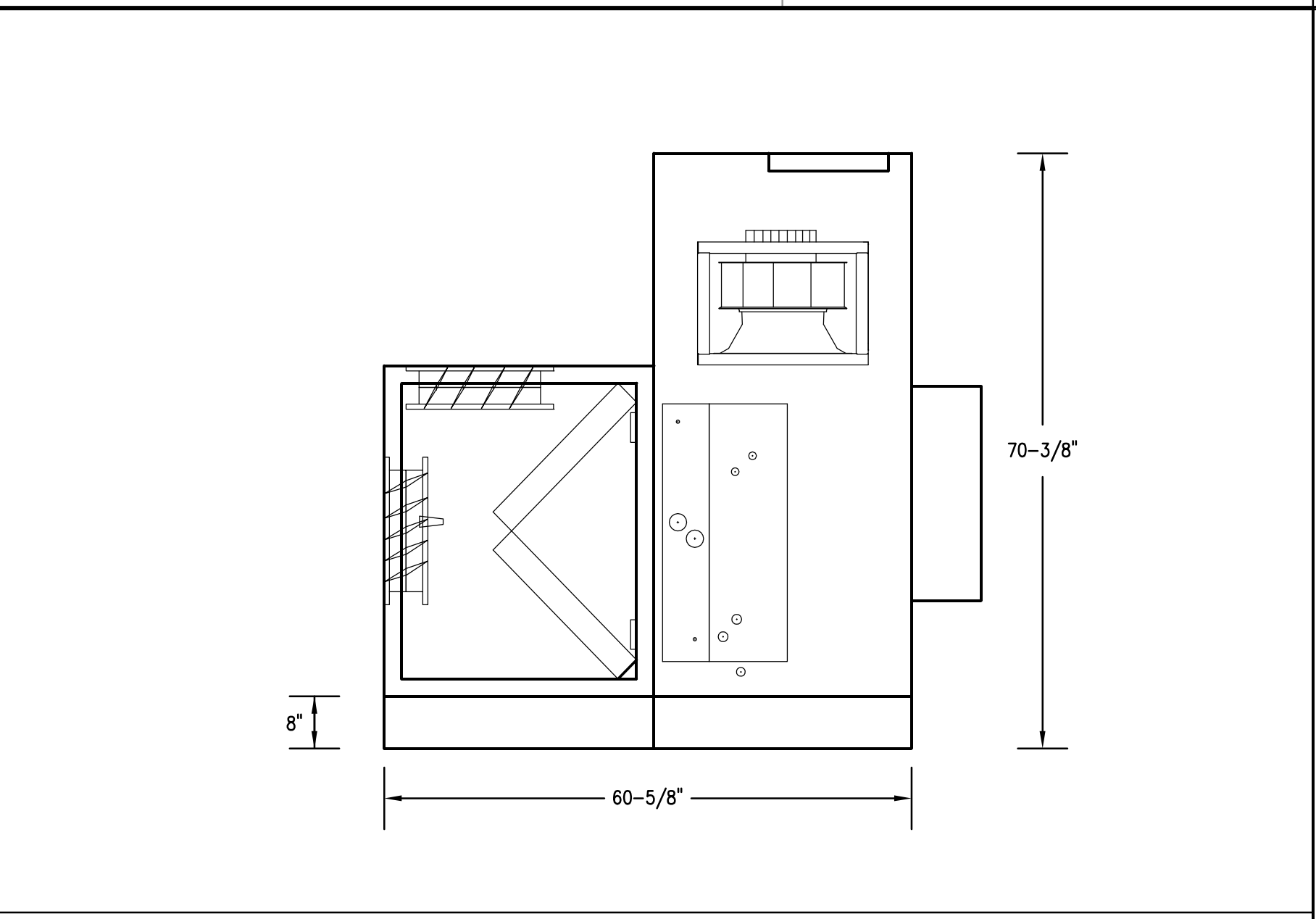
TEMPERATURE CONTROLS

SHEET NUMBER

M400



DUCT BLANKET INSULATION DETAILS
SCALE: NTS **6**

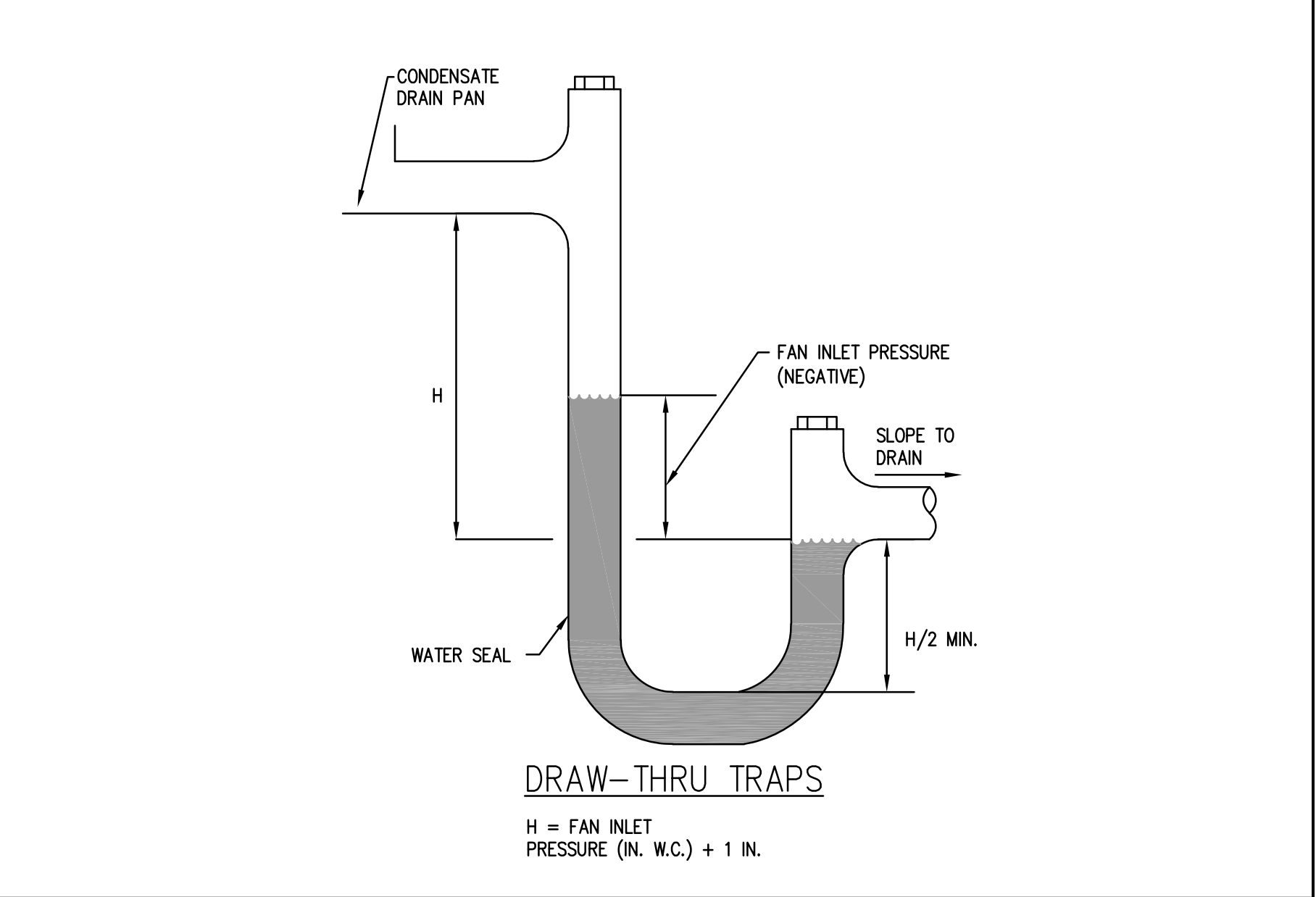


AHU ELEVATION DETAIL
SCALE: NTS **2**

MINIMUM HANGER SIZE FOR RECTANGULAR DUCTWORK

MAXIMUM HALF OF DUCT PERIMETER	PAIR AT 4' SPACING		PAIR AT 8' SPACING	
	STRAP	WIRE/ROD	STRAP	WIRE/ROD
P/2 = 30"	1" X 22 GAGE	12 GAGE	1" X 22 GAGE	10 GAGE
P/2 = 72"	1" X 22 GAGE	1/4"	1" X 20 GAGE	1/4"
P/2 = 96"	1" X 22 GAGE	1/4"	1" X 18 GAGE	3/8"
P/2 = 120"	1" X 20 GAGE	1/4"	1" X 16 GAGE	3/8"
P/2 = 168"	1" X 18 GAGE	3/8"	1-1/2" X 16 GAGE	1/2"
P/2 = 192"	1" X 16 GAGE	3/8"	1-1/2" X 16 GAGE	1/2"

RECTANGULAR DUCTWORK HANGER DETAILS
SCALE: NTS **7**

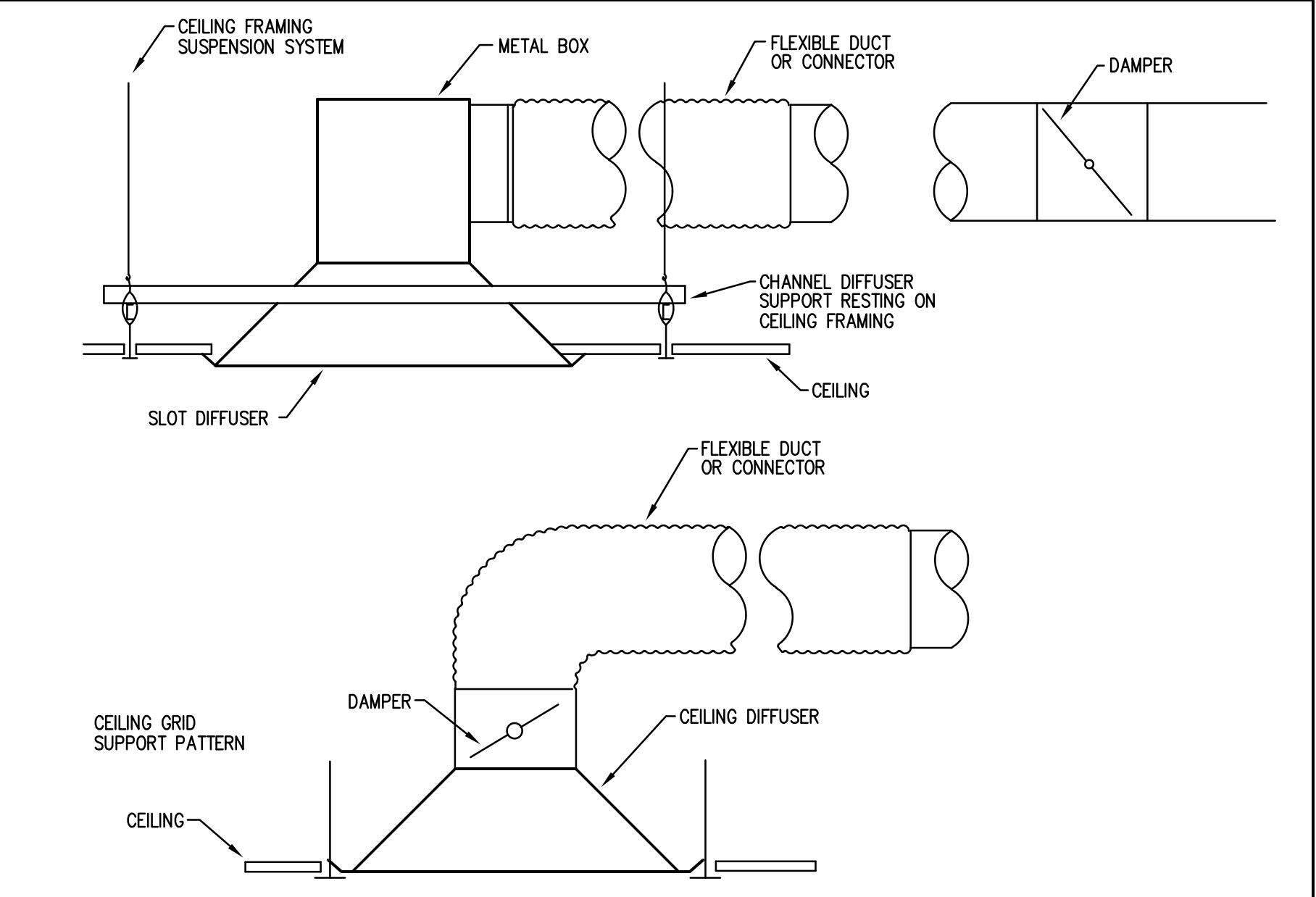


COOLING COIL CONDENSATE TRAP DETAILS
SCALE: NTS **3**

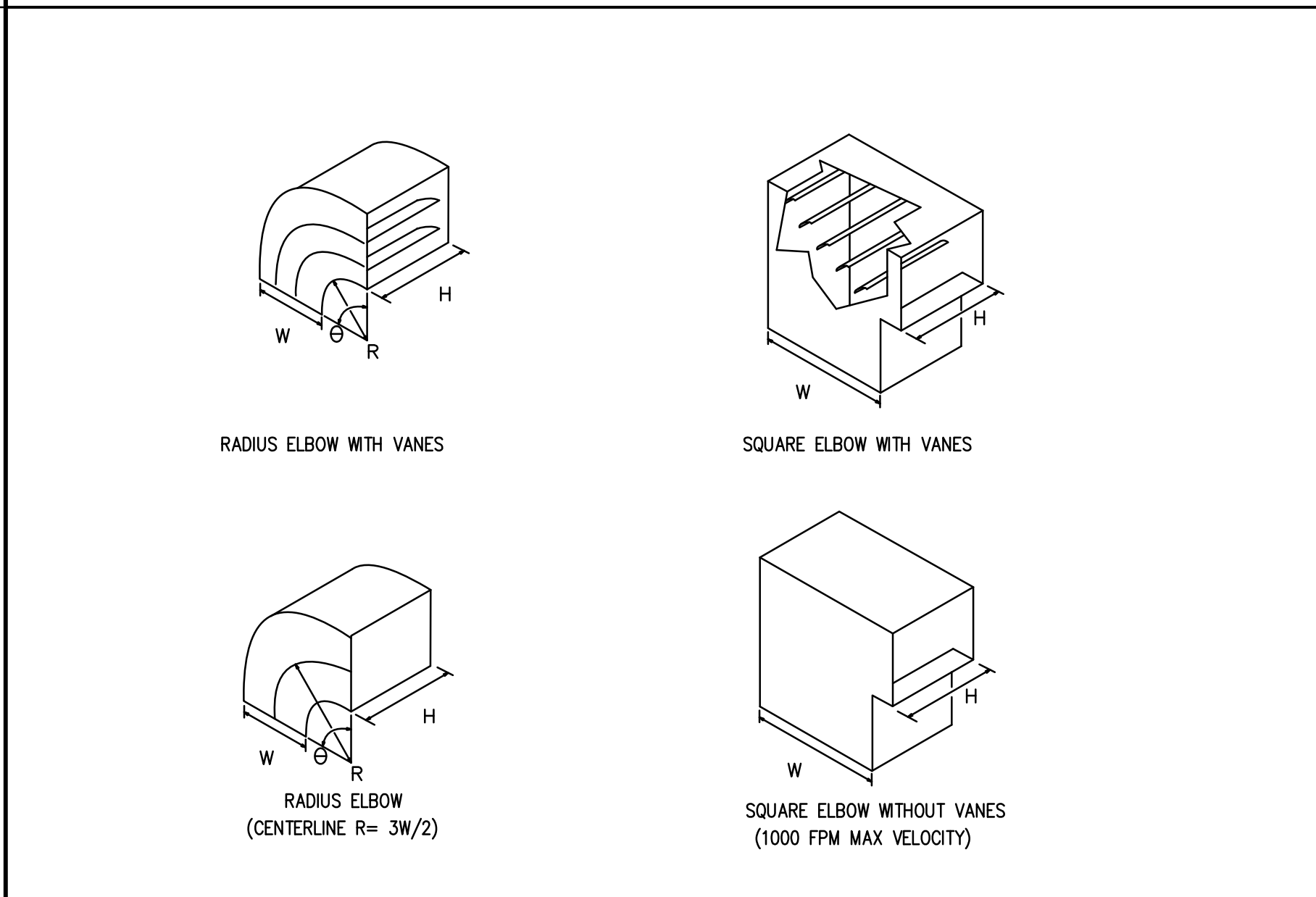
MINIMUM HANGER SIZE FOR ROUND DUCTWORK

DUCTWORK DIAMETER (INCHES)	12' MAXIMUM SPACING		
	WIRE	ROD	STRAP
UP TO 10	(1) 12 GAGE	1/4"	1" X 22 GAGE
11 - 18	(2) 12 GAGE	1/4"	1" X 22 GAGE
19 - 24	(2) 10 GAGE	1/4"	1" X 22 GAGE
25 - 36	(2) 8 GAGE	3/8"	1" X 20 GAGE
37 - 50	-	(2) 3/8"	(2) 1" X 20 GAGE
51 - 60	-	(2) 3/8"	(2) 1" X 18 GAGE

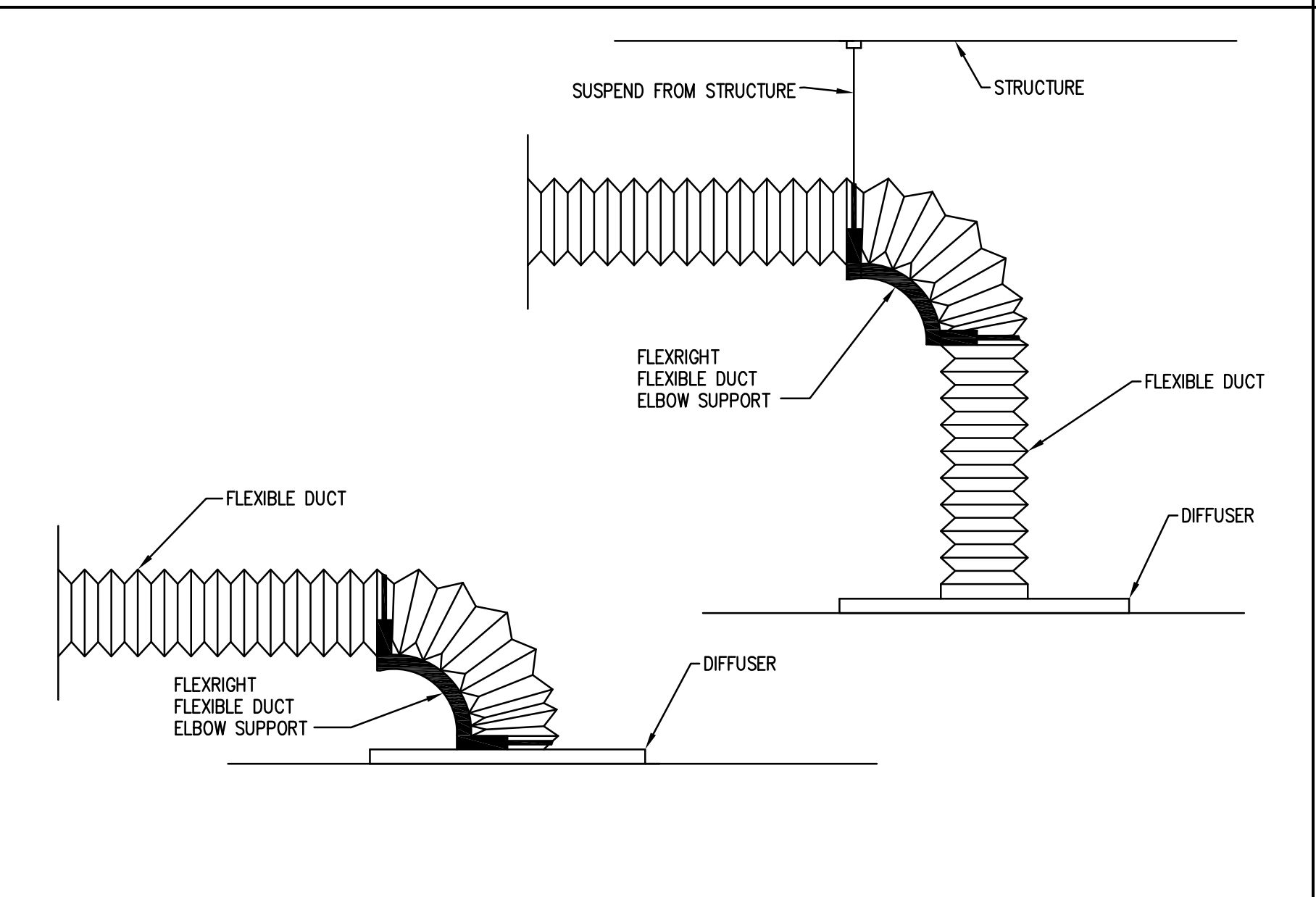
ROUND DUCTWORK HANGER DETAILS
SCALE: NTS **8**



DIFFUSER DETAILS
SCALE: NTS **4**



DUCT ELBOW DETAILS
SCALE: NTS **9**



FLEXIBLE DUCT SUPPORT DETAILS
SCALE: NTS **5**

AIR HANDLING UNIT SCHEDULE

MARK	AIR FLOW (CFM)	MINIMUM O.A. (CFM)	COOLING				HEATING				SUPPLY FAN (HP)	EXTERNAL STATIC PRESS. (IN WG)	ELECTRICAL V/PH/Hz	MCA	MODEL	NOTES	
			ENT AIR TEMP (db / wb °F)	LVG AIR TEMP (db / wb °F)	SENS CAP (MBH)	TOTAL CAP (MBH)	MINIMUM EER	EWT / LWT (°F)	EAT / LAT (°F)	WATER FLOW RATE (GPM)							WATER PRESS DROP (FT)
AHU-3	3600	725	80 / 67	54.5 / 54.0	100.7	143.7	12.5	180 / 160	45 / 95	20.0	4.1	3 (ECM)	2.0	208/3/60	12.62	UCCA	1, 2

NOTES:
1. MODEL BASED ON TRANE.
2. PROVIDE WITH 8\"/>

AIR-COOLED CONDENSING UNIT SCHEDULE

MARK	NOMINAL CLG CAP (MBH)	AMBIENT OAT (°F)	COMPRESSOR TYPE	COMPRESSOR (NO.)	REFRIGERANT TYPE	ELECTRICAL		MODEL	UNIT SERVED	NOTES
						V/PH/Hz	MCA			
ACCU-3	122	95	SCROLL	2	R-410A	208/3/60	41.0	TTA120	AHU-2	1

NOTES:
1. MODEL BASED ON TRANE.
2. PROVIDE WITH CONDENSER COIL HAIL GUARDS.

VARIABLE AIR VOLUME BOX SCHEDULE

MARK	MAXIMUM AIR FLOW (CFM)	MINIMUM AIR FLOW (CFM)	INLET SIZE (IN)	REHEAT COIL			MODEL	AREA SERVED	NOTES	
				AIR FLOW (CFM)	EAT / LAT (°F)	STEPS OF CONTROL				CAPACITY (KW)
VAV-3-1	655	210	8	655	55 / 96	MODULATING	8.5	DESV	RM 100, 101	1, 2
VAV-3-2	600	200	8	600	55 / 97.4	MODULATING	8.0	DESV	107, 108, 111	1, 2
VAV-3-3	1110	330	10	825	55 / 95.2	MODULATING	10.5	DESV	RM 208, 209	1, 2
VAV-3-4	1375	460	12	825	55 / 95.2	MODULATING	10.5	DESV	RM 200, 201	1, 2

NOTES:
1. MODEL BASED ON TITUS.
2. VOLTAGE: 208/3/60

DIFFUSERS, REGISTERS AND GRILLES SCHEDULE

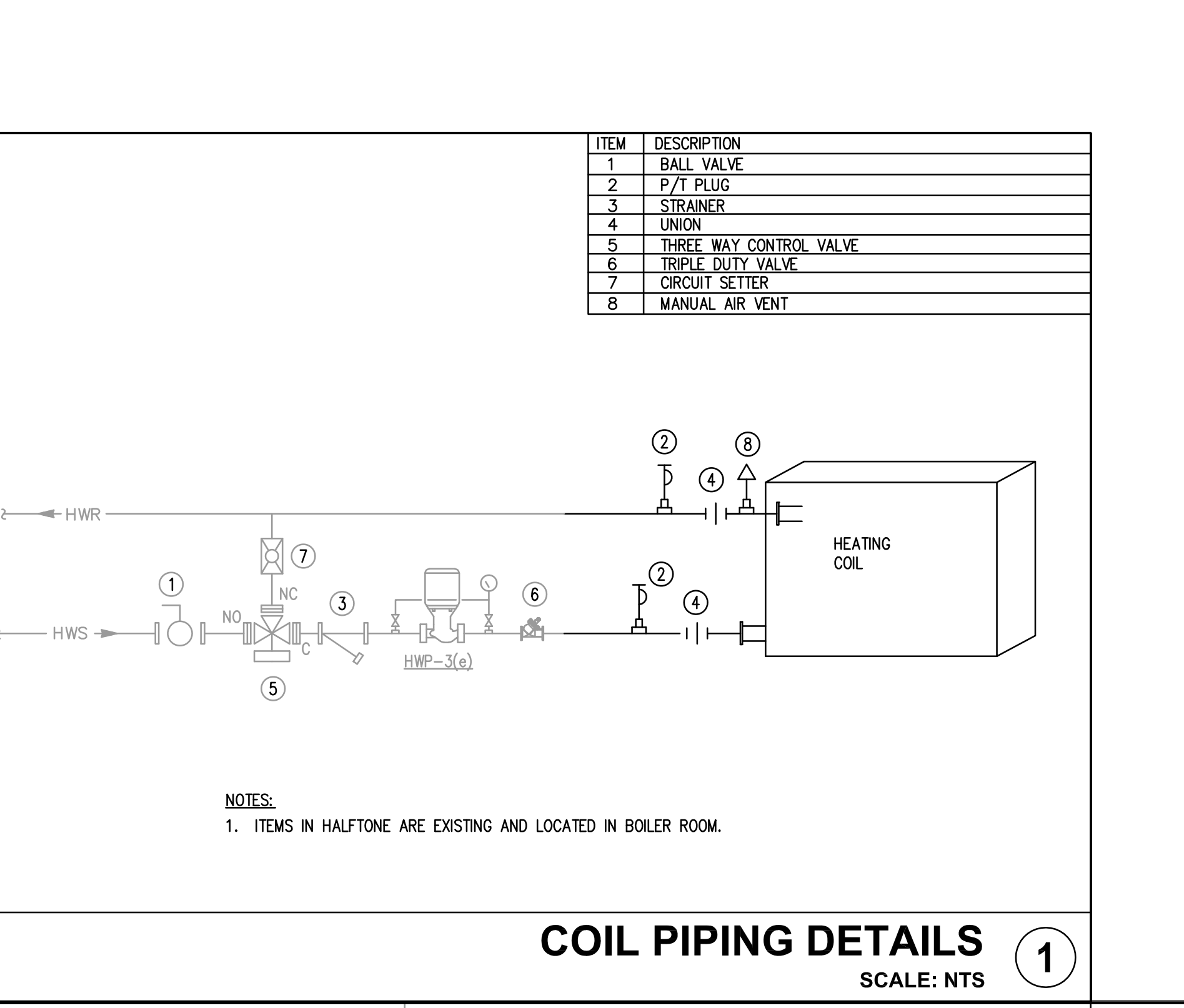
MARK	MODEL	SIZE	NECK	DAMPER	MATERIAL	REMARKS
S-1	300RL	12 / 8	-	OBD	ST	1
S-2	TMS	24 / 24	6"	OBD	ST	1
S-3	TMS	24 / 24	8"	OBD	ST	1
S-4	TBD-30	48 / 6	10"	OBD	ST	1, 2
R-1	PAR	12"	-	-	ST	1
R-2	PAR	16"	-	-	ST	1
R-3	350RL	18 / 10	-	-	ST	1

NOTES:
1. MODEL BASED ON TITUS.
2. THREE 1-INCH SLOTS.

FAN SCHEDULE

MARK	AIR FLOW RATE (CFM)	EXTERNAL S.P. (IN WG)	TYPE	MOTOR (W)	ELECTRICAL (V/PH/Hz)	AREA SERVED	LOCATION	MODEL	NOTES
EF-1	70	0.5	CEILING	35	115/1/60	TOILET RM	CEILING	GC-148	1

NOTES:
1. MODEL BASED ON COOK.

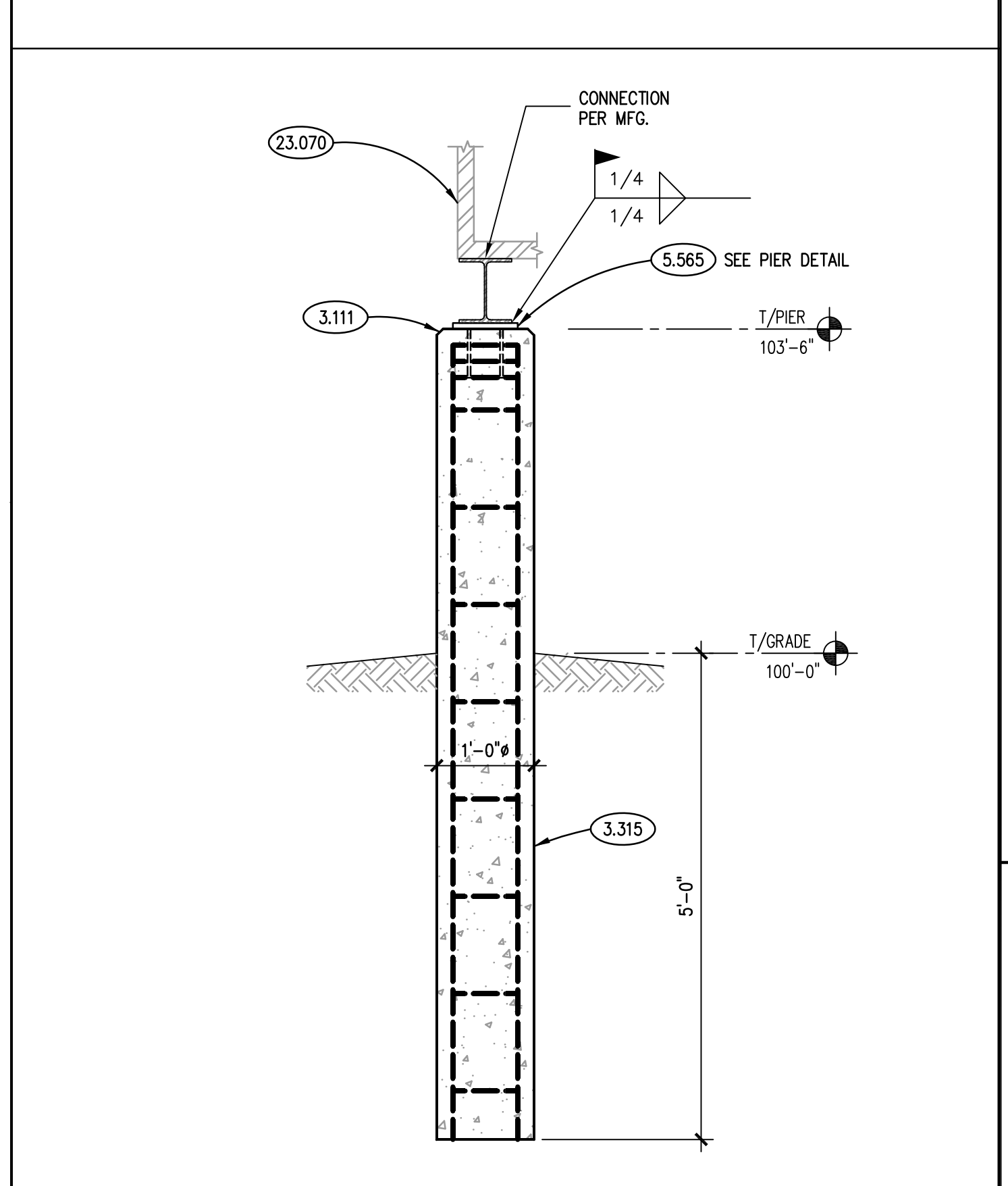


COIL PIPING DETAILS
SCALE: NTS **1**

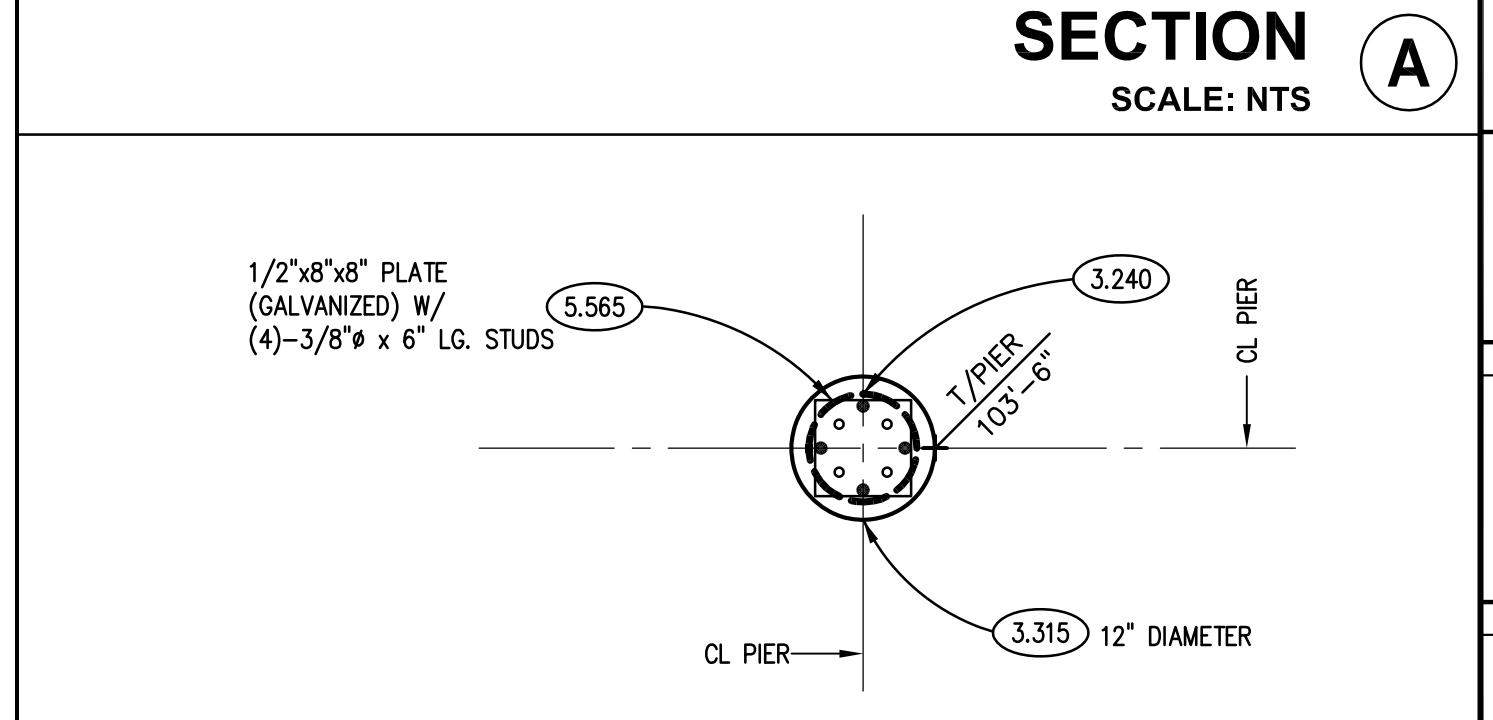
KEYNOTES

KEYNOTES ARE TYPICALLY NOT DUPLICATED WITHIN A GIVEN DETAIL. AN UN-KEYNOTED ITEM IN A DETAIL IS THE SAME AS A KEYNOTED ITEM HAVING THE SAME APPEARANCE WITHIN THE SAME DETAIL.

3.111 CONCRETE FORMING AND ACCESSORIES: CONTINUOUS 3/4\"/>



SECTION A
SCALE: NTS



PIER DETAIL B
SCALE: NTS

KLUBER Architects + Engineers

Klubler, Inc.
Barrington, Illinois 60015
Tel. 847.436.1210
Gurnee, Illinois 60031
Tel. 847.236.4226
www.klubertec.com

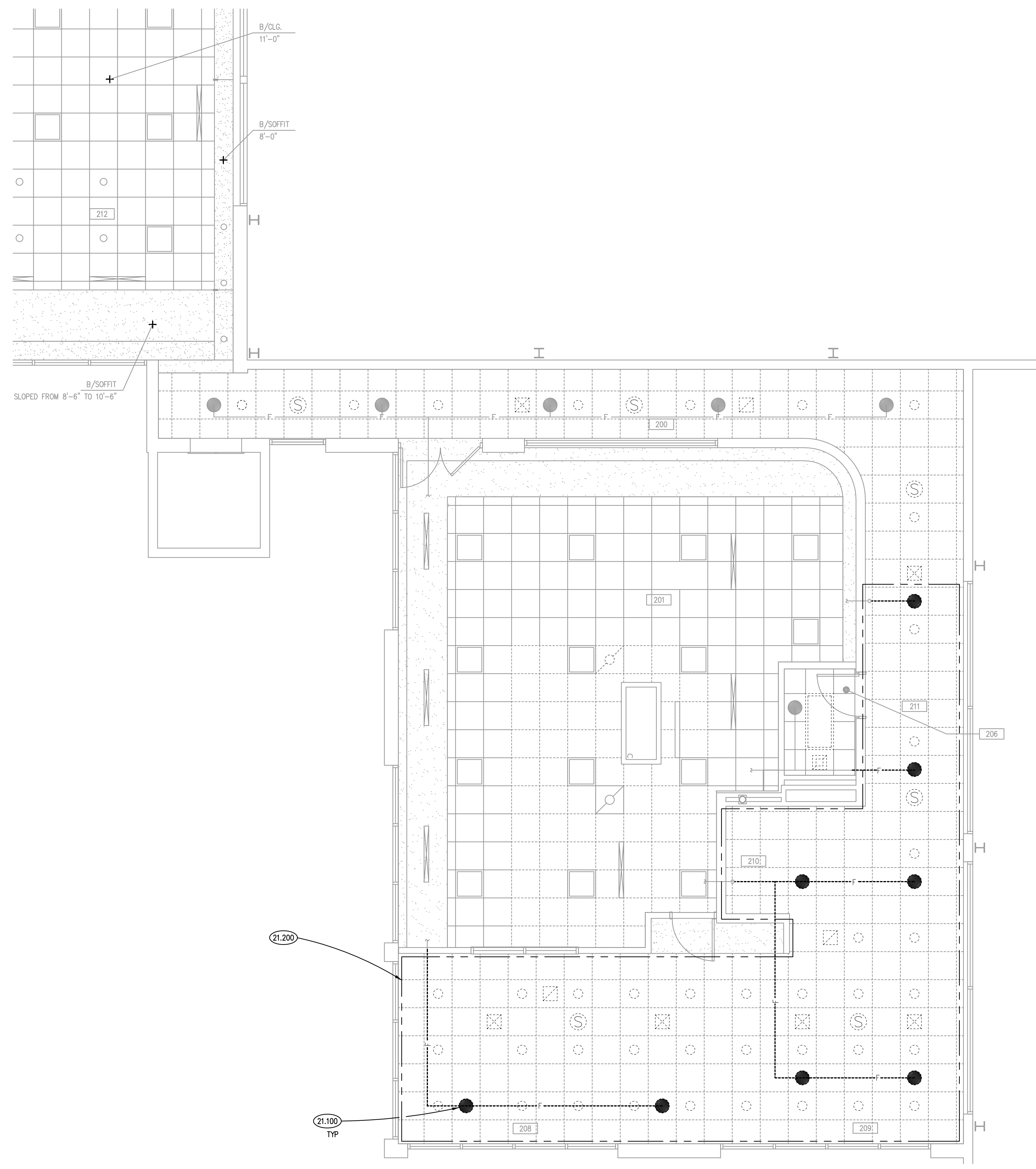
TENNIS CENTER - AHU REPLACEMENT AND INTERIOR REMODELING
OAK BROOK PARK DISTRICT
1450 FOREST GATE ROAD
OAK BROOK, IL 60523

ISSUED
04/22/2019 BID DOCUMENTS

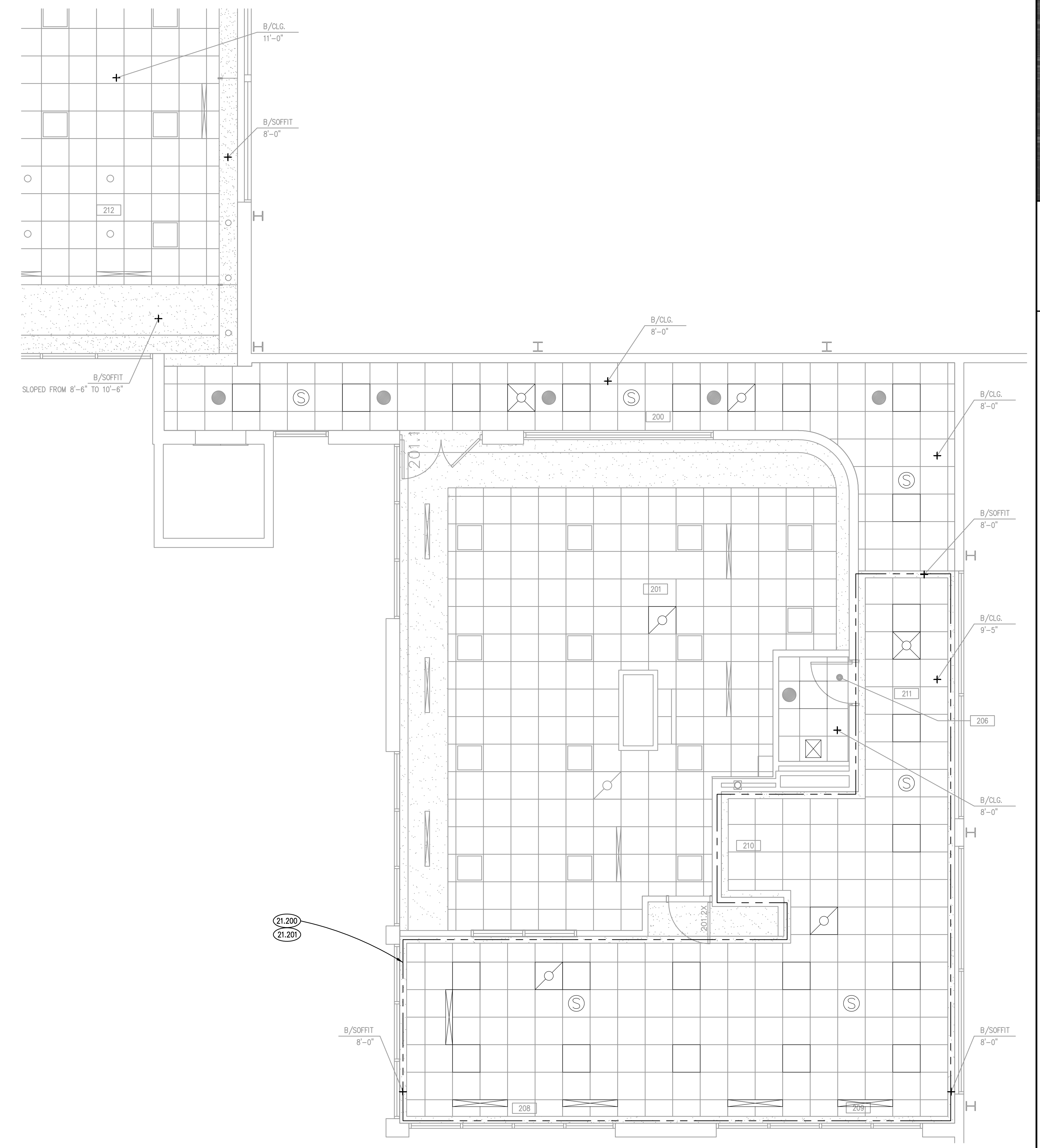
JOB NO. 19-310-1249
DRAWN BWG/VAD
CHECKED DDW/JMB
APPROVED DDW/JMB

SHEET TITLE
MECHANICAL SCHEDULES AND DETAILS

SHEET NUMBER
M500



UPPER LEVEL FIRE PROTECTION DEMOLITION PLAN (2)
SCALE: NTS



UPPER LEVEL FIRE PROTECTION PLAN (1)
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	GYPSTUM BOARD		FLUORESCENT LIGHT FIXTURE: 24" X 48"
	ACOUSTICAL CEILING TILE: 24" X 24" ON SUSPENSION GRID; • PROVIDE PAINTED STEEL SUSPENSION GRID ON UPPER LEVEL; CEILING PANELS TYPE C1. • PROVIDE PAINTED ALUMINUM SUSPENSION GRID ON LOWER LEVEL; CEILING PANELS TYPE C2, EXCEPT WHERE KEYNOTED OTHERWISE.		LIGHT FIXTURE: 24" X 24" LED
	MECHANICAL DIFFUSER : SUPPLY; 24" X 24"		SPEAKER
	MECHANICAL DIFFUSER : SUPPLY; LINEAR		DOWN LIGHT FIXTURES : A. SPOT B. DOWN C. WALL WASHER D. SCORCE
			EXIT LIGHT FIXTURE
			SPRINKLER HEAD
			MECHANICAL DIFFUSER : RETURN

ROOM SCHEDULE

RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
100	EXISTING CORRIDOR	200	EXISTING CORRIDOR
100A	EXISTING ELEVATOR EQUIPMENT ROOM	201	NOT USED
101	EXISTING MECHANICAL ROOM	202	NOT USED
102	EXISTING TOILET ROOM	203	NOT USED
103	EXISTING PATIO	204	NOT USED
104	EXISTING TOILET ROOM	205	NOT USED
105	EXISTING VESTIBULE	206	EXISTING TOILET ROOM
105A	EXISTING STORAGE	207	NOT USED
106	EXISTING STORAGE	208	EXISTING LOUNGE
107	EXISTING CONCESSIONS	209	EXISTING LOUNGE
108	EXISTING STORAGE	210	EXISTING STAIRS
109	EXISTING STAIRS	211	EXISTING CORRIDOR
110	EXISTING CORRIDOR	212	EXISTING RECEPTION AREA
111	EXISTING CORRIDOR		
112	NOT USED		
113	NOT USED		
114	NOT USED		
115	NOT USED		
116	NOT USED		
117	NOT USED		
118	NOT USED		
119	NOT USED		
120	NOT USED		
121	NOT USED		
122	EXISTING CORRIDOR		

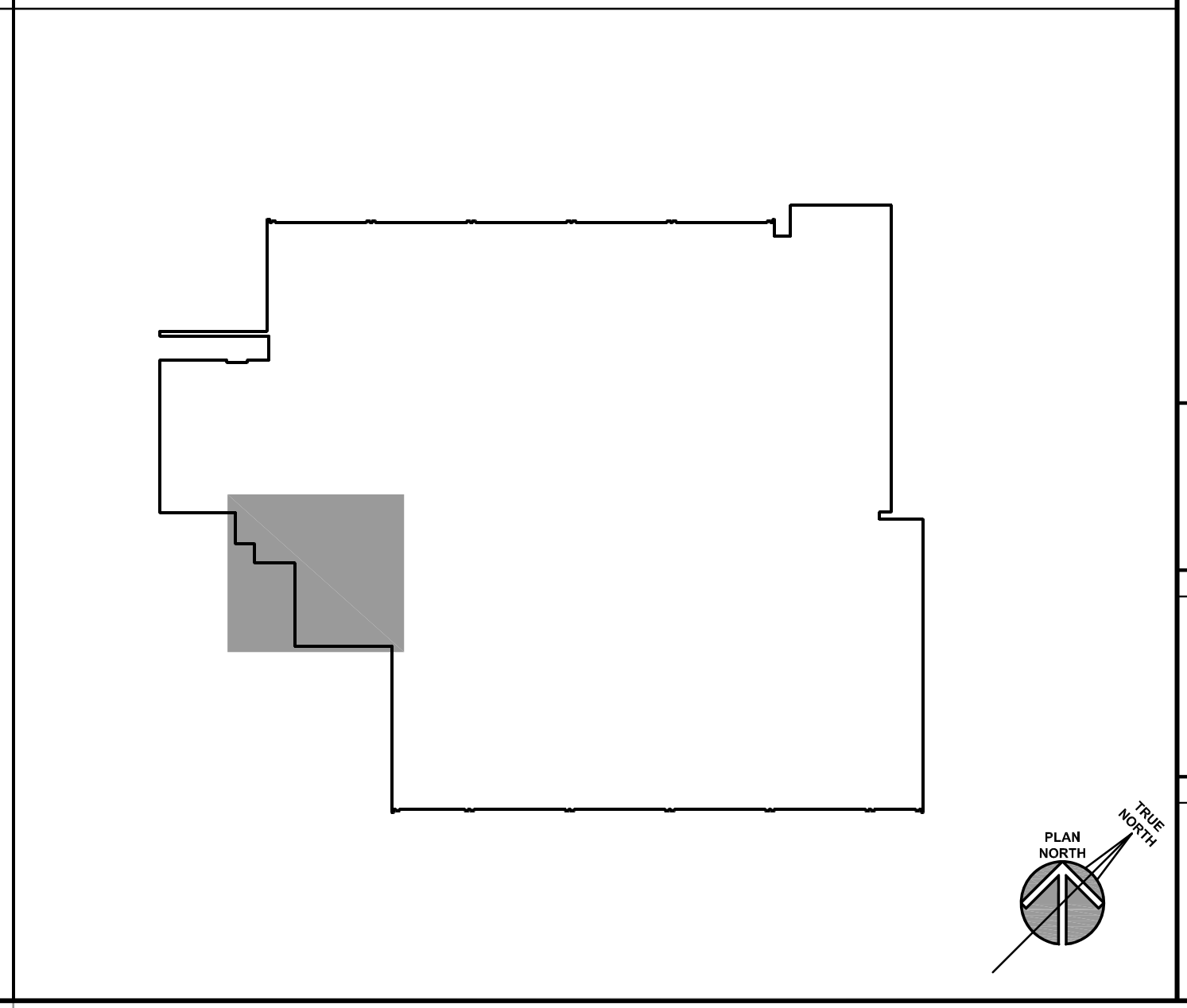
GENERAL NOTES

- REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
- SPRINKLER SYSTEM SHOWN ARE CONCEPT DRAWINGS AND ARE SCHEMATIC FOR BIDDING PURPOSES ONLY. CONCEPT DRAWINGS ARE INTENDED TO ILLUSTRATE THE SCOPE OF WORK. THE CONTRACTOR SHALL VERIFY ALL INFORMATION CONTAINED ON THESE DRAWINGS.
- ALL PIPING IS SHOWN DIAGRAMMATICALLY AND DOES NOT SHOW ALL OFFSETS, DROPS, AND RISES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MATERIAL AND LABOR FOR A COMPLETE AND WORKING SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE SPRINKLER SYSTEM. THE DESIGN SHALL BE ACCOMPLISHED UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR NOTICE LEVEL III/IV. SHOP DRAWINGS AND HYDRAULIC CALCULATIONS SHALL BEAR THE LICENSED PROFESSIONAL'S STAMP.
- FIRE PROTECTION SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13.
- WELDED OR ROLL-GROOVED PIPE SHALL BE NO LESS THAN SCHEDULE 10 STEEL. THREADED PIPE SHALL BE NO LESS THAN SCHEDULE 40 STEEL.
- HYDRAULIC CALCULATIONS FOR: LIGHT HAZARD - 0.10 GPM/SF OVER 1500 SQUARE FEET; ORDINARY HAZARD - GROUP 1, 0.15 GPM/SF OVER 1500 SQUARE FEET; ORDINARY HAZARD - GROUP 2, 0.20 GPM/SF OVER 1500 SQUARE FEET.
- SHOP DRAWINGS AND HYDRAULIC CALCULATIONS SHALL REQUIRE SUBMISSION TO KODIAK FIRE PROTECTION SERVICES (OAK LAWN, IL) AND AHJ FOR APPROVAL.
- ALL SPRINKLER HEADS IN LAY-IN CEILING TILES SHALL BE CENTERED ON 2'x2' END AREA OF TILE.
- HYDRANT TEST DATA IS NOT AVAILABLE. COORDINATE WITH AUTHORITY HAVING JURISDICTION TO PERFORM NEW HYDRANT FLOW TEST.
- THE CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL TRADES.
- OBTAIN AND PAY ALL COSTS FOR PERMITS, LICENSES, CERTIFICATE FILING AND INSPECTIONS BY AUTHORITIES HAVING JURISDICTION.

KEYNOTES

- KEYNOTES ARE NOT ALWAYS REPEATED ACROSS ALL DRAWINGS ON THIS SHEET. AN UN-KEYNOTED ITEM ON THIS SHEET IS THE SAME AS A KEYNOTED ITEM ON THIS SHEET HAVING THE SAME GRAPHIC APPEARANCE.
- 21.100 REMOVE SPRINKLER HEADS AND BRANCH PIPES IN REMODELED AREA. CEILING HEIGHT SHALL BE RAISED.
 - 21.200 AREA OF BUILDING REMODELED REQUIRING MODIFICATION TO SPRINKLER SYSTEM.
 - 21.201 PROVIDE REVISED SPRINKLER PIPING AND HEADS TO ACCOUNT FOR NEW CEILING HEIGHT.

KEY PLAN



P11249 - Oak Brook Park Distric - Replacement of AHU #333 - Design/Build/Construct - 4/22/2019 10:53:57 AM, BWG

ISSUED	
19/02/2019	BID DOCUMENTS
JOB NO.	19-310-1249
DRAWN	BWG
CHECKED	DDW
APPROVED	DDW
SHEET TITLE	
FIRE PROTECTION PLANS	
SHEET NUMBER	
F300	

ABBREVIATIONS

ELECTRICAL SYMBOLS LIST

Table with columns: SYMBOL, DESCRIPTION, SYMBOL, DESCRIPTION. Lists abbreviations for electrical components like AMP, BREAKER, CONDUIT, etc.

Table with columns: SYMBOL, DESCRIPTION, SYMBOL, DESCRIPTION. Lists electrical symbols for luminaries, power equipment, fire alarm, and security systems.

THIS IS A MASTER LEGEND AND NOT ALL SYMBOLS, ABBREVIATIONS, ETC., ARE NECESSARILY USED IN THIS PROJECT.



TENNIS CENTER - AHU REPLACEMENT AND INTERIOR REMODELING

Table with columns: ISSUED, DATE, BY, CHECKED, APPROVED. Shows document revision history.

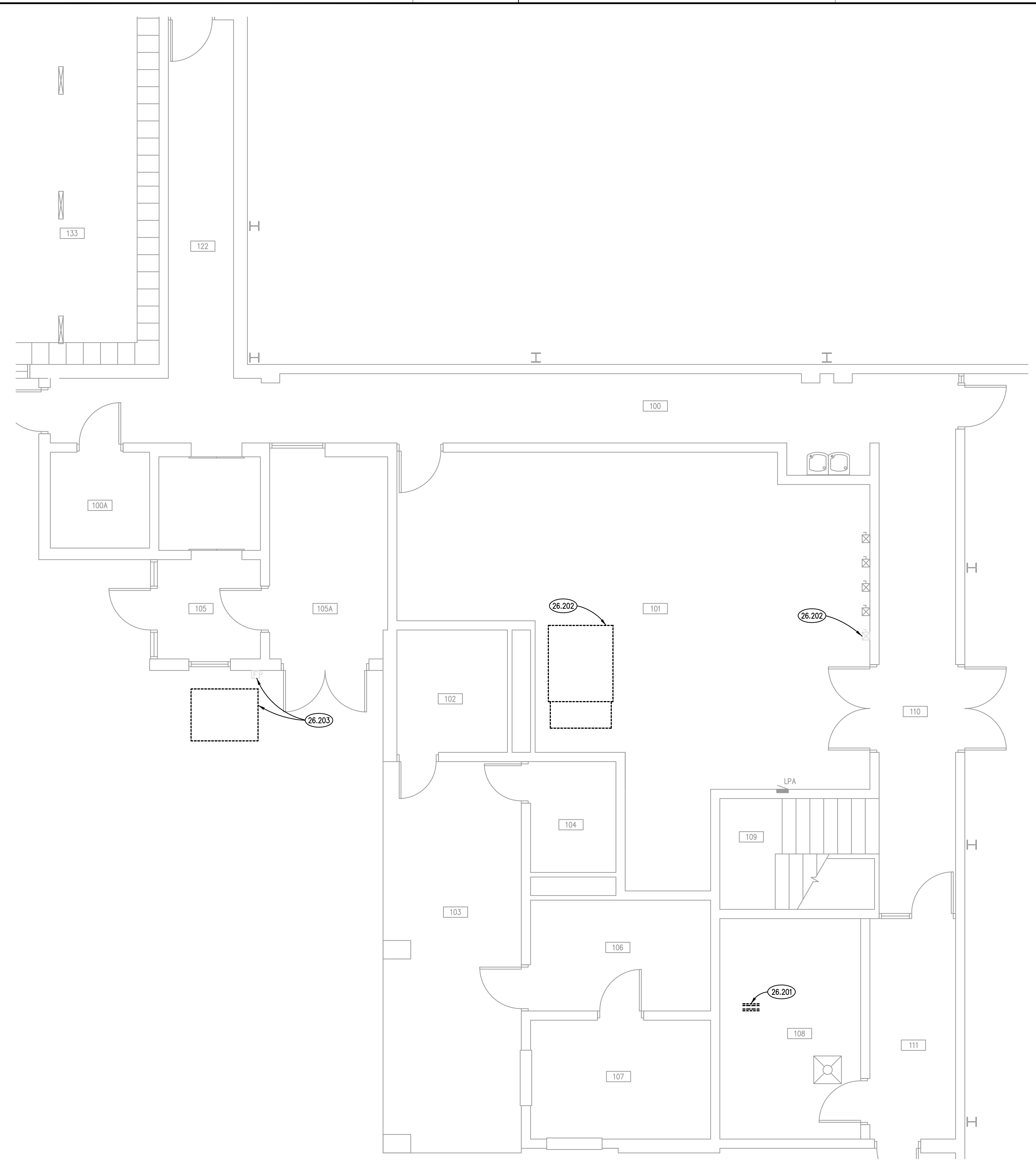
JOB NO. 19-310-1249
DRAWN ATR
CHECKED MTK
APPROVED MTK

SHEET TITLE
ELECTRICAL ABBREVIATIONS & SYMBOLS LIST

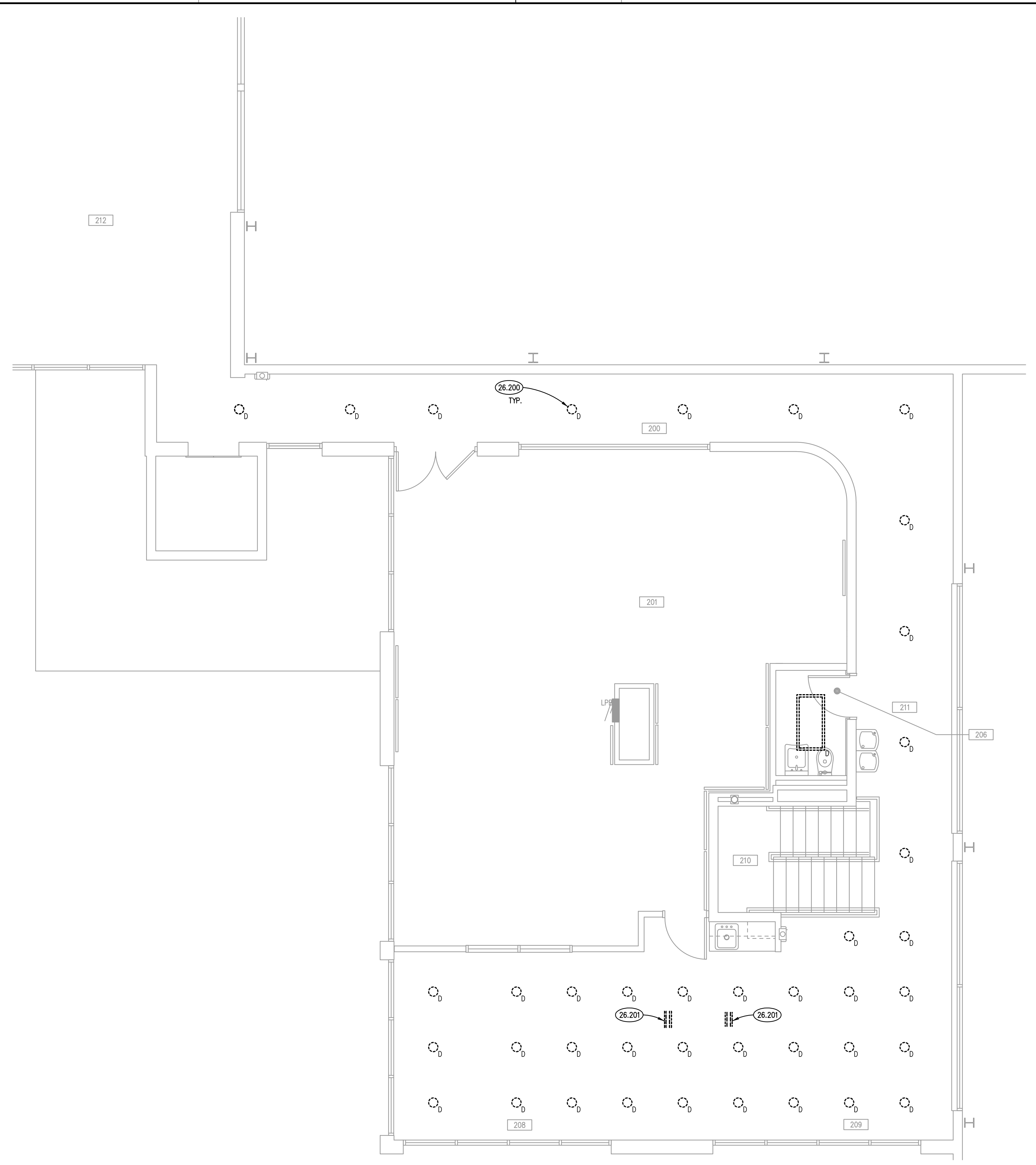
SHEET NUMBER

E050

PU1249 - Oak Brook Park District - Replacement of AHU #333 - Design/Construct/Construct - 4/22/2019 5:24:41 PM, ATR



LOWER LEVEL ELECTRICAL DEMOLITION PLAN ②
SCALE: 1/4" = 1'-0"



UPPER LEVEL ELECTRICAL DEMOLITION PLAN ①
SCALE: 1/4" = 1'-0"

ELECTRICAL DEMOLITION NOTATION	
N	NEW DEVICE OR EQUIPMENT.
D	EXISTING ELECTRICAL OUTLET OR EQUIPMENT TO BE DEMOLISHED COMPLETE INCLUDING BRANCH CIRCUITRY TO SOURCE.
X	EXISTING ELECTRICAL OUTLET OR EQUIPMENT TO REMAIN. (CIRCUIT # = REROUTE EXISTING CIRCUIT TO NEW CIRCUIT NUMBER)
R	EXISTING ELECTRICAL OUTLET OR EQUIPMENT RELOCATED. (NEW LOCATION)
XR	EXISTING ELECTRICAL OUTLET OR EQUIPMENT TO BE REMOVED & RELOCATED(OLD LOCATION).

ROOM SCHEDULE			
RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
100	EXISTING CORRIDOR	200	EXISTING CORRIDOR
100A	EXISTING ELEVATOR EQUIPMENT ROOM	201	NOT USED
101	EXISTING MECHANICAL ROOM	202	NOT USED
102	EXISTING TOILET ROOM	203	NOT USED
103	EXISTING PATIO	204	NOT USED
104	EXISTING TOILET ROOM	205	NOT USED
105	EXISTING VESTIBULE	206	EXISTING TOILET ROOM
105A	EXISTING STORAGE	207	NOT USED
106	EXISTING STORAGE	208	EXISTING LOUNGE
107	EXISTING CONCESSIONS	209	EXISTING LOUNGE
108	EXISTING STORAGE	210	EXISTING STAIRS
109	EXISTING STAIRS	211	EXISTING CORRIDOR
110	EXISTING CORRIDOR	212	EXISTING CORRIDOR
111	EXISTING CORRIDOR		EXISTING RECEPTION AREA
112	NOT USED		
113	NOT USED		
114	NOT USED		
115	NOT USED		
116	NOT USED		
117	NOT USED		
118	NOT USED		
119	NOT USED		
120	NOT USED		
121	NOT USED		
122	EXISTING CORRIDOR		

ELECTRICAL GENERAL NOTES

- REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
- PERFORM SELECTIVE DEMOLITION AS NECESSARY TO ACHIEVE DESIGN INTENT. REMOVE ABANDONED BRANCH CIRCUITRY TO SOURCE OF SUPPLY.
- PATCH ALL WALLS AFFECTED BY DEMOLITION AND REMODELING. CUT AND PATCH WALLS TO CONCEAL CONDUIT IN NEW CONSTRUCTION AND REMODELING. CUT AND PATCH FLOOR AS NEEDED FOR DEMOLITION OF PEDESTAL POWER AND DATA RECEPTACLES.
- INTENT OF DRAWINGS: THESE DRAWINGS ARE INTENDED TO RELAY TO CONTRACTOR A DESIGN INTENT. INCLUDE IN BID ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS REASONABLY INFERRABLE, AS DETERMINED BY ARCHITECT, TO ACCOMPLISH THE INTENT OF THESE DRAWINGS.
- REFER TO ARCHITECTURAL VENTILATION, HEATING, TEMPERATURE CONTROLS, FIRE PROTECTION PLANS, SHOP DRAWINGS AND MANUFACTURERS INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION ON EXACT POWER, WIRING & ROUGH-IN REQUIREMENTS AND LOCATIONS OF DEVICES.
- COMPLETELY REMOVE ALL DISCONNECTED AND ABANDONED LOW VOLTAGE WIRING.
- UNLESS NOTED OTHERWISE, ALL HOMERUNS SHALL CONSIST OF A MAXIMUM OF 3 CIRCUITS (PHASE A, B & C, 3 NEUTRALS & GROUND) IN 3/4". MINIMUM WIRE SIZE SHALL BE #12 AWG. WIRE SIZE FOR RECEPTACLE HOMERUN CIRCUITS SHALL BE 3/12, 5/12N & 1/26". PROVIDE LARGER SIZE WIRE FOR VOLTAGE DROP WHERE REQUIRED.
- CONNECT ALL ELECTRICAL SYSTEM SUPPORTS ONLY TO EXISTING PRIMARY STRUCTURAL MEMBERS OR TO CONTRACTOR PROVIDED SECONDARY STRUCTURAL SUPPORT MEMBERS CONNECTED TO EXISTING PRIMARY MEMBERS. ATTACHMENT OF SUCH SUPPORTS TO EXISTING BULD TEES IS NOT PERMITTED.

KEYNOTES

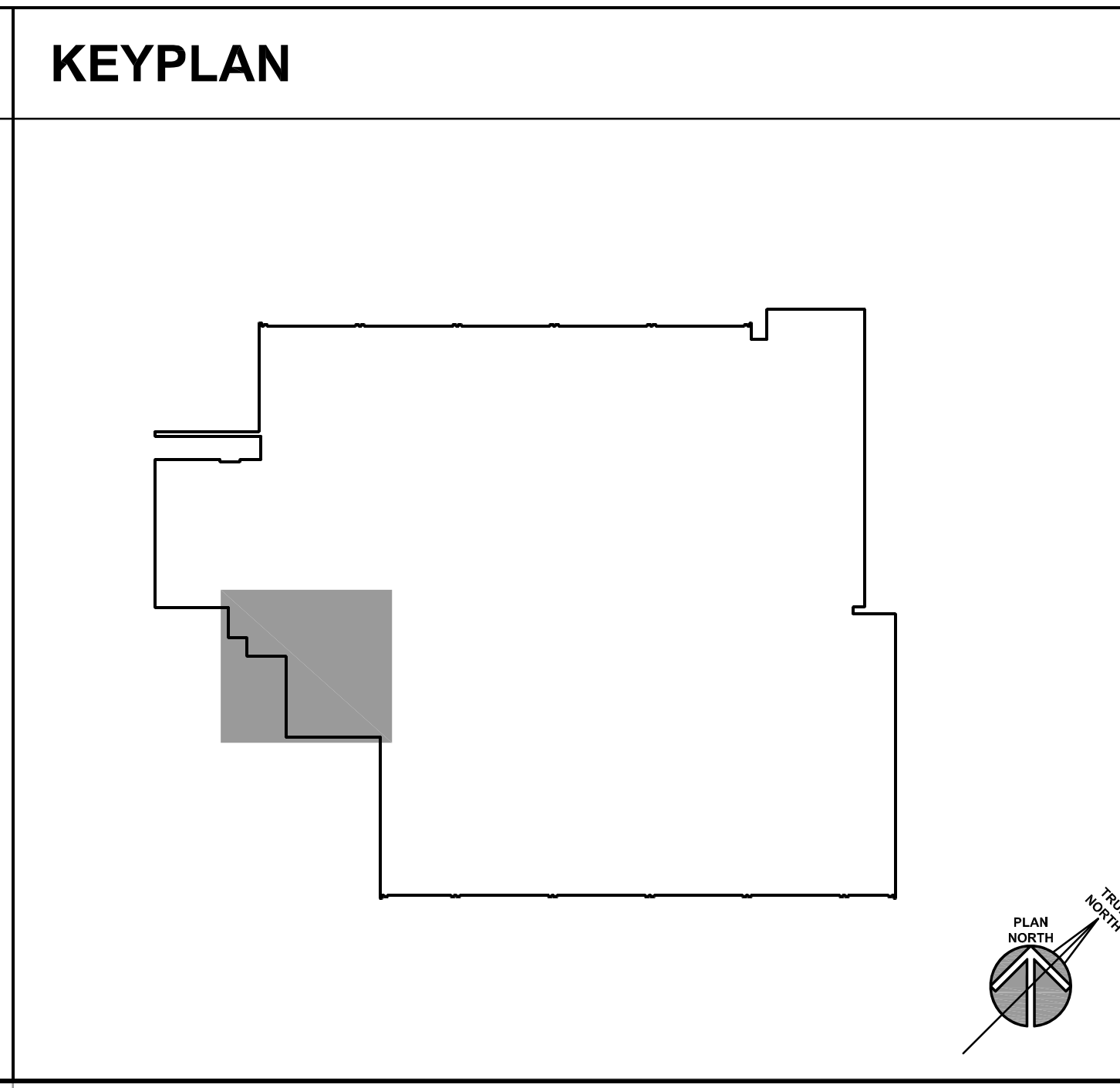
KEYNOTES ARE NOT ALWAYS REPEATED ACROSS ALL DRAWINGS ON THIS SHEET. AN UN-KEYNOTED ITEM ON THIS SHEET IS THE SAME AS A KEYNOTED ITEM ON THIS SHEET HAVING THE SAME GRAPHIC APPEARANCE.

26.200 DEMOLISH EXISTING LUMINAIRE TO BE REPLACED. DISCONNECT AND PROTECT EXISTING BRANCH CIRCUITRY TO BE REUSED FOR NEW LUMINAIRES TO BE INSTALLED.

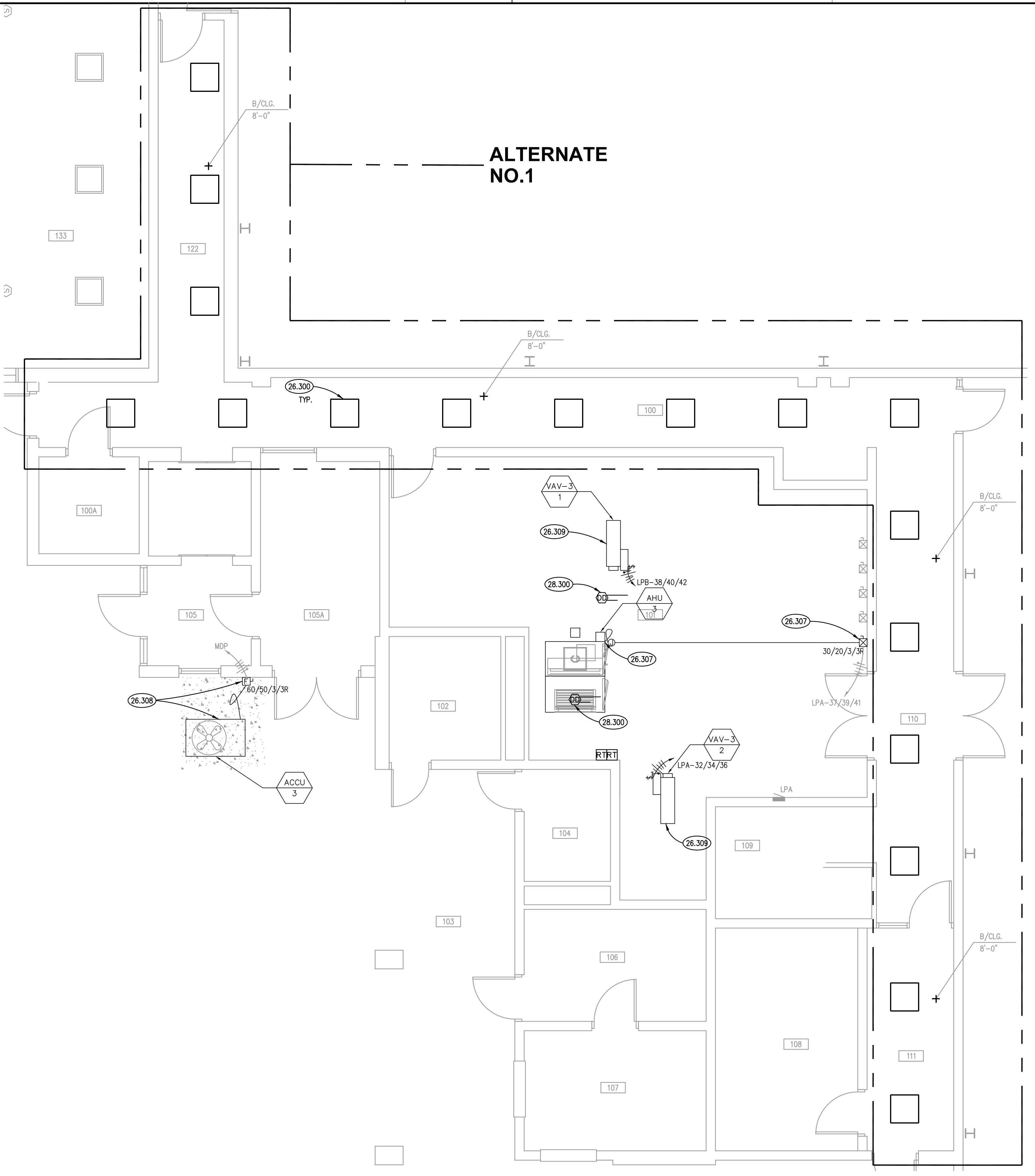
26.201 DEMOLISH EXISTING ELECTRICAL CONNECTION TO ELECTRIC REHEAT COIL TO BE REMOVED AND REPLACED.

26.202 DEMOLISH EXISTING ELECTRICAL CONNECTION TO AIR HANDLING UNIT TO BE REMOVED AND REPLACED. DEMOLISH EXISTING COMBINATION STARTER/DISCONNECT. DISCONNECT AND PROTECT EXISTING BRANCH CIRCUITRY FROM PANELBOARD LPA TO COMBINATION STARTER/DISCONNECT TO BE REUSED.

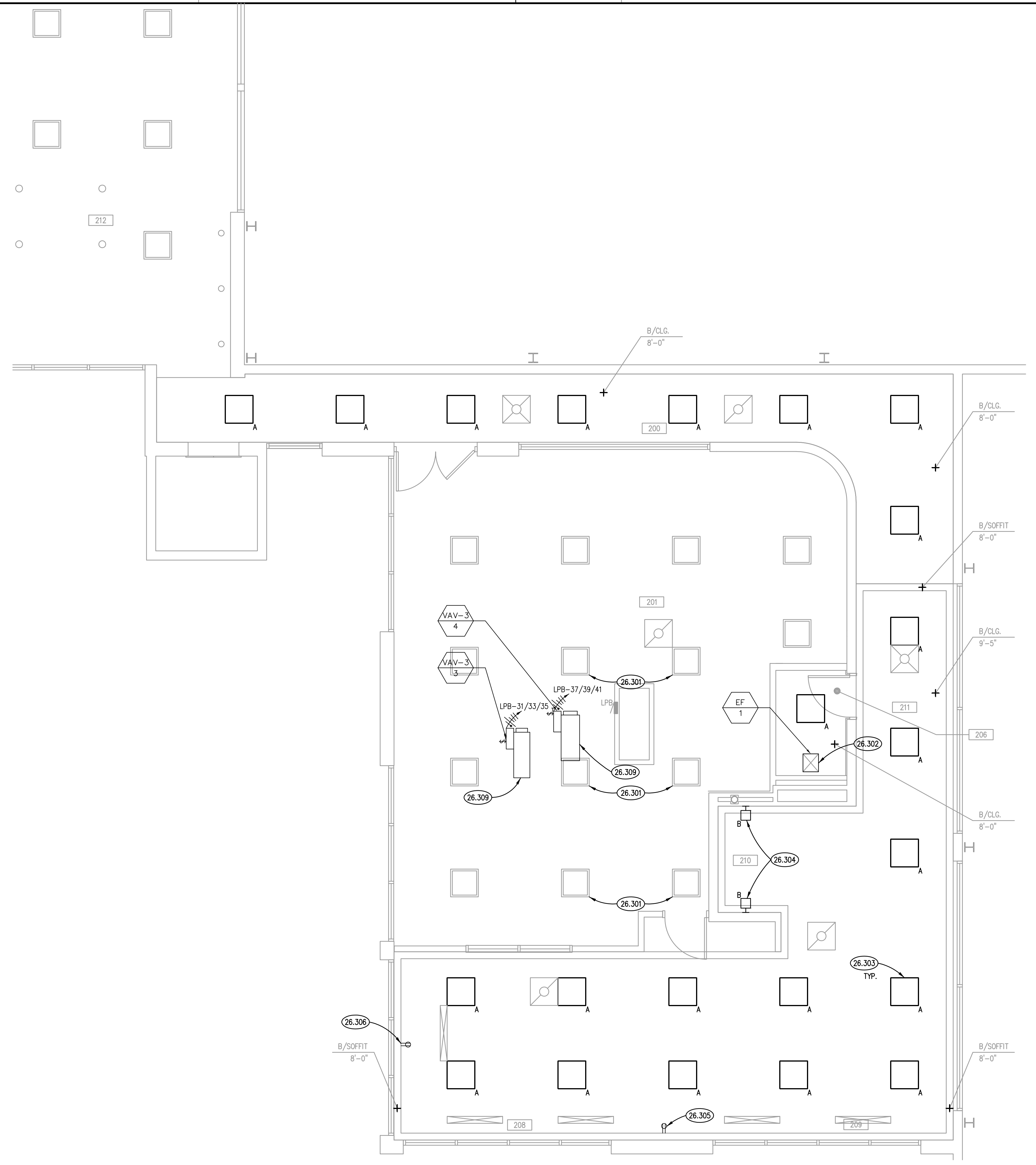
26.203 DEMOLISH EXISTING ELECTRICAL CONNECTION TO AIR-COOLED CONDENSING UNIT TO BE REMOVED AND REPLACED. DEMOLISH EXISTING WALL MOUNTED, NEMA 3R DISCONNECT SWITCH. DISCONNECT, PRESERVE AND PROTECT EXISTING BRANCH CIRCUITRY FROM MDP TO EXISTING DISCONNECT SWITCH.



ISSUED	
BID DOCUMENTS	
JOB NO.	19-310-1249
DRAWN	ATR
CHECKED	MTK
APPROVED	MTK
SHEET TITLE	
ELECTRICAL DEMOLITION PLANS	
SHEET NUMBER	
E200	



PARTIAL LOWER LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0" ②



PARTIAL UPPER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" ①

KEYNOTES

- 26.300 ALTERNATE NO. 1: DISCONNECT, REMOVE AND PROTECT EXISTING LUMINAIRES DURING CEILING REPLACEMENT. REINSTALL EXISTING LUMINAIRES IN NEW CEILING GRID. EXTEND EXISTING BRANCH CIRCUITRY TO LUMINAIRES AS NECESSARY TO ENSURE A COMPLETE AND OPERATIONAL SYSTEM.
- 26.301 DISCONNECT, REMOVE AND PROTECT EXISTING LUMINAIRES DURING DUCT INSTALLATION. REINSTALL EXISTING LUMINAIRES IN CEILING GRID. EXTEND EXISTING BRANCH CIRCUITRY TO LUMINAIRES AS NECESSARY TO ENSURE A COMPLETE AND OPERATIONAL SYSTEM.
- 26.302 PROVIDE ELECTRICAL CONNECTION TO NEW EXHAUST FAN TO BE INSTALLED. EXTEND ROOM LIGHTING BRANCH CIRCUITRY TO FRACTIONAL HORSEPOWER EXHAUST FAN. EXHAUST FAN TO BE CONTROLLED BY EXISTING ROOM LIGHTING OCCUPANCY SWITCH. EXTEND SWITCH CIRCUIT AS NECESSARY TO ENSURE A COMPLETE AND OPERATIONAL SYSTEM.
- 26.303 INSTALL NEW 2'X2' LED TROFFER LUMINAIRES AS SHOWN. LUMINAIRES TO BE FURNISHED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR. EXTEND EXISTING BRANCH CIRCUITRY AND LIGHTING CONTROL TO NEW LUMINAIRES TO BE INSTALLED TO ENSURE A COMPLETE AND OPERATIONAL SYSTEM.
- 26.304 PROVIDE NEW WALL MOUNTED LED SCONCE AS SPECIFIED IN SECTION 26 51 00. INSTALL LUMINAIRES IN EXISTING BACK STAIRWELL AS SHOWN AND MAIN LOBBY STAIRWELL (QUANT. 4). FURNISH OWNER WITH 1 SPARE LUMINAIRE. EXTEND EXISTING STAIRWELL LIGHTING BRANCH CIRCUITRY TO NEW LUMINAIRES TO BE INSTALLED.
- 26.305 PROVIDE RECESSED SINGLE-GANG RECEPTACLE FOR OWNER PROVIDED CLOCK IN NEW SOFFIT. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO ROUGH IN. EXTEND EXISTING RECEPTACLE CIRCUIT TO NEW RECEPTACLE TO BE INSTALLED.
- 26.306 PROVIDE RECESSED SINGLE-GANG RECEPTACLE FOR OWNER PROVIDED TELEVISION IN NEW SOFFIT. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO ROUGH IN. EXTEND EXISTING RECEPTACLE CIRCUIT TO NEW RECEPTACLE TO BE INSTALLED.
- 26.307 PROVIDE ELECTRICAL CONNECTION TO NEW AIR-HANDLING UNIT. PROVIDE NEW COMBINATION STARTER/DISCONNECT SWITCH. EXTEND EXISTING BRANCH CIRCUITRY TO NEW COMBINATION STARTER/DISCONNECT.
- 26.308 PROVIDE ELECTRICAL CONNECTION TO NEW AIR-COOLED CONDENSING UNIT. PROVIDE NEW FUSED DISCONNECT SWITCH. EXTEND EXISTING BRANCH CIRCUITRY TO NEW DISCONNECT.
- 26.309 PROVIDE ELECTRICAL CONNECTION TO NEW VARIABLE AIR VOLUME BOX ELECTRIC REHEAT COIL. PROVIDE DISCONNECT SWITCH AT UNIT.
- 28.300 PROVIDE NEW DUCT MOUNTED SMOKE DETECTORS. INTERCEPT EXISTING SIGNALLING LINE CIRCUIT AND EXTEND TO NEW DEVICES. LOCATED IN ACCORDANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S INSTRUCTIONS.

KEYNOTES ARE NOT ALWAYS REPEATED ACROSS ALL DRAWINGS ON THIS SHEET. AN UN-KEYNOTED ITEM ON THIS SHEET IS THE SAME AS A KEYNOTED ITEM ON THIS SHEET HAVING THE SAME GRAPHIC APPEARANCE.

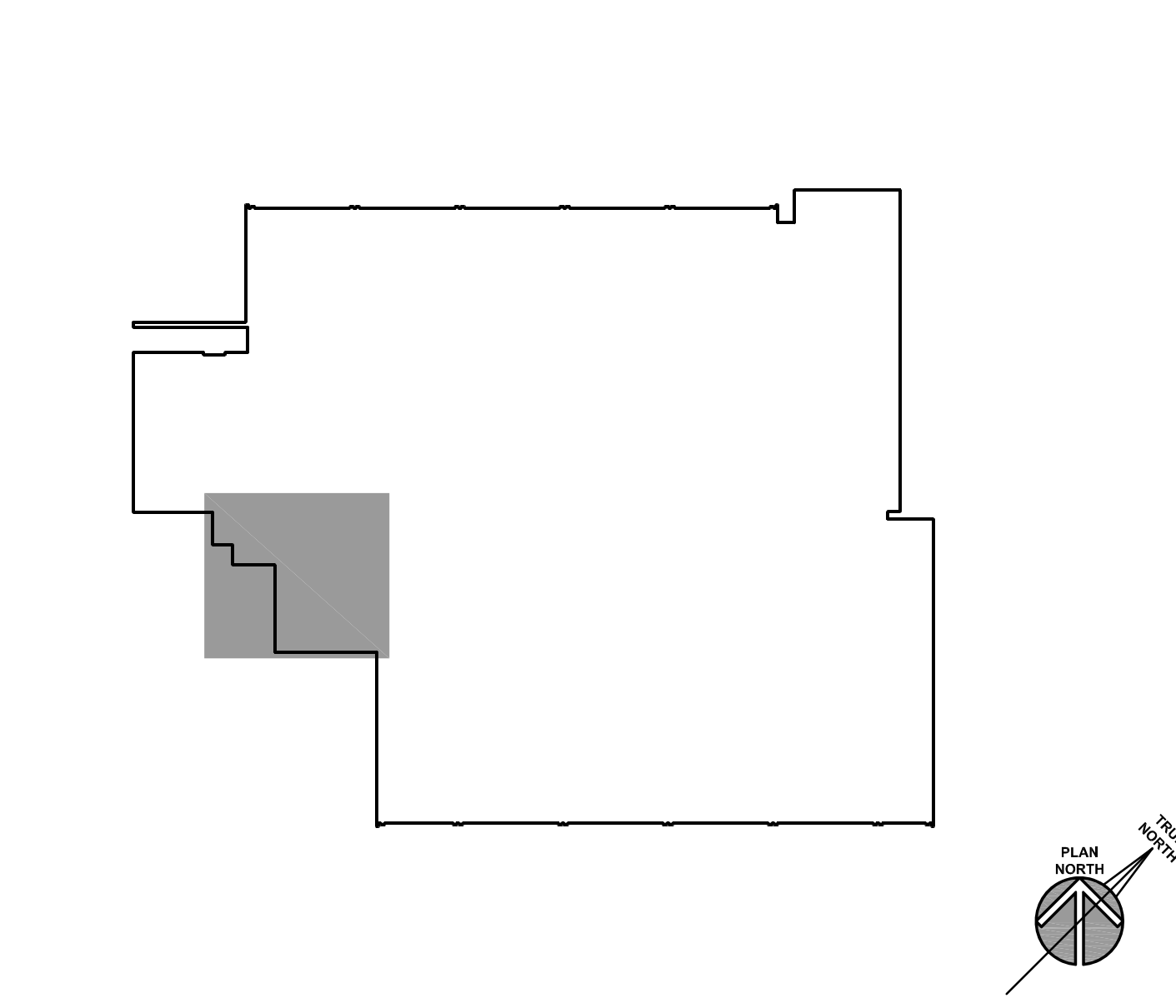
ROOM SCHEDULE

RM. NO.	ROOM NAME	RM. NO.	ROOM NAME
100	EXISTING CORRIDOR	200	EXISTING CORRIDOR
100A	EXISTING ELEVATOR EQUIPMENT ROOM	201	NOT USED
101	EXISTING MECHANICAL ROOM	202	NOT USED
102	EXISTING TOILET ROOM	203	NOT USED
103	EXISTING PATIO	204	NOT USED
104	EXISTING TOILET ROOM	205	NOT USED
105	EXISTING VESTIBULE	206	EXISTING TOILET ROOM
105A	EXISTING STORAGE	207	NOT USED
106	EXISTING STORAGE	208	EXISTING LOUNGE
107	EXISTING CONCESSIONS	209	EXISTING LOUNGE
108	EXISTING STORAGE	210	EXISTING STAIRS
109	EXISTING STAIRS	211	EXISTING CORRIDOR
110	EXISTING CORRIDOR	212	EXISTING RECEPTION AREA
111	EXISTING CORRIDOR		
112	NOT USED		
113	NOT USED		
114	NOT USED		
115	NOT USED		
116	NOT USED		
117	NOT USED		
118	NOT USED		
119	NOT USED		
120	NOT USED		
121	NOT USED		
122	EXISTING CORRIDOR		

ELECTRICAL GENERAL NOTES

1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
2. PERFORM SELECTIVE DEMOLITION AS NECESSARY TO ACHIEVE DESIGN INTENT. REMOVE ABANDONED BRANCH CIRCUITRY TO SOURCE OF SUPPLY.
3. PATCH ALL WALLS AFFECTED BY DEMOLITION AND REMODELING. CUT AND PATCH WALLS TO CONCEAL CONDUIT IN NEW CONSTRUCTION AND REMODELING. CUT AND PATCH FLOOR AS NEEDED FOR DEMOLITION OF PEDESTAL POWER AND DATA RECEPTABLES.
4. INTENT OF DRAWINGS: THESE DRAWINGS ARE INTENDED TO RELAY TO CONTRACTOR A DESIGN INTENT. INCLUDE IN BID ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS REASONABLY INFERRABLE, AS DETERMINED BY ARCHITECT, TO ACCOMPLISH THE INTENT OF THESE DRAWINGS.
5. REFER TO ARCHITECTURAL, VENTILATION, HEATING, TEMPERATURE CONTROLS, FIRE PROTECTION PLANS, SHOP DRAWINGS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION ON EXACT POWER, WIRING & ROUGH-IN REQUIREMENTS AND LOCATIONS OF DEVICES.
6. COMPLETELY REMOVE ALL DISCONNECTED AND ABANDONED LOW VOLTAGE WIRING.
7. UNLESS NOTED OTHERWISE, ALL HOMERUNS SHALL CONSIST OF A MAXIMUM OF 3 CIRCUITS (PHASE A, B & C, 3 NEUTRALS & GROUND) IN 3/4" C. MINIMUM WIRE SIZE SHALL BE #12 AWG. WIRE SIZE FOR RECEPTACLE HOMERUN CIRCUITS SHALL BE 3#12, 3#12N & 1#12G. PROVIDE LARGER SIZE WIRE FOR VOLTAGE DROP WHERE REQUIRED.
8. CONNECT ALL ELECTRICAL SYSTEM SUPPORTS ONLY TO EXISTING PRIMARY STRUCTURAL MEMBERS OR TO CONTRACTOR PROVIDED SECONDARY STRUCTURAL SUPPORT MEMBERS CONNECTED TO EXISTING PRIMARY MEMBERS. ATTACHMENT OF SUCH SUPPORTS TO EXISTING BULB TEES IS NOT PERMITTED.

KEY PLAN



PU1249 - Oak Brook Park District - Replacement of AHU #330 - Design/Construct - 4/22/2019 9:28:16 PM, ATR

ISSUED
04/22/2019
BID DOCUMENTS

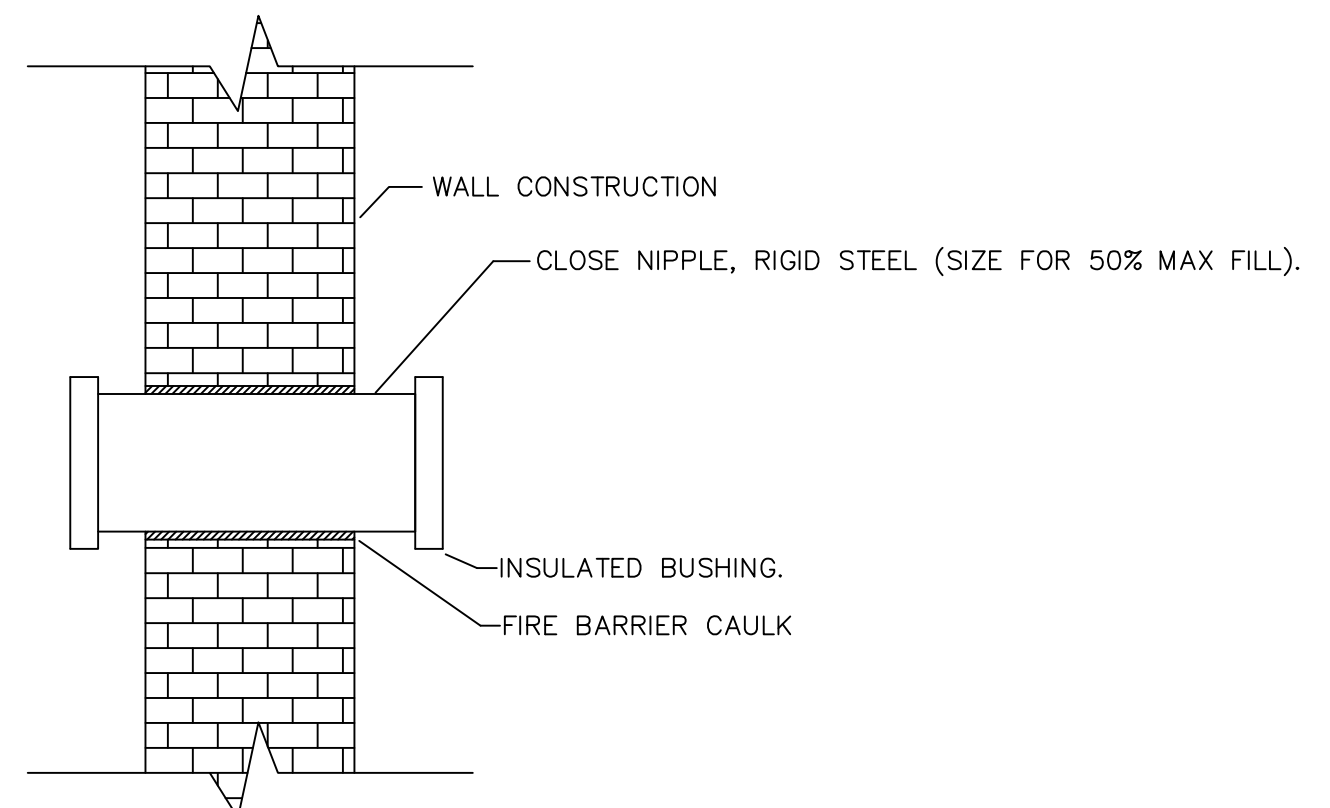
JOB NO.	19-310-1249
DRAWN	ATR
CHECKED	MTK
APPROVED	MTK

SHEET TITLE
ELECTRICAL PLANS

SHEET NUMBER
E300

NOT USED
SCALE: N.T.S.

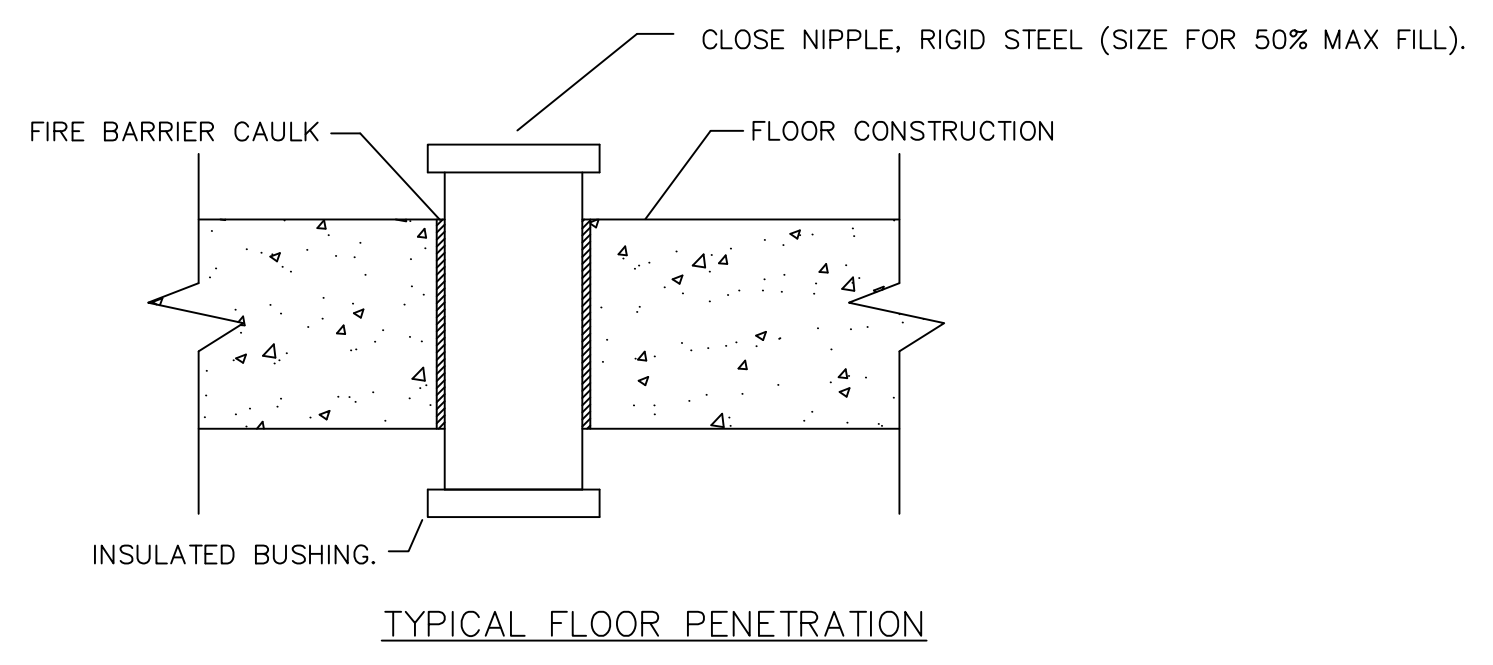
NOT USED
SCALE: N.T.S.



- TYPICAL WALL PENETRATION**
- NOTES:
1. NEATLY CORE ALL MASONRY AND BLOCK WALLS.
2. RIGIDLY SUPPORT ALL RACEWAYS.
3. PROVIDE FIRE BARRIER CAULK AT FLOOR, CORRIDOR AND FIRE SEPARATION WALLS.

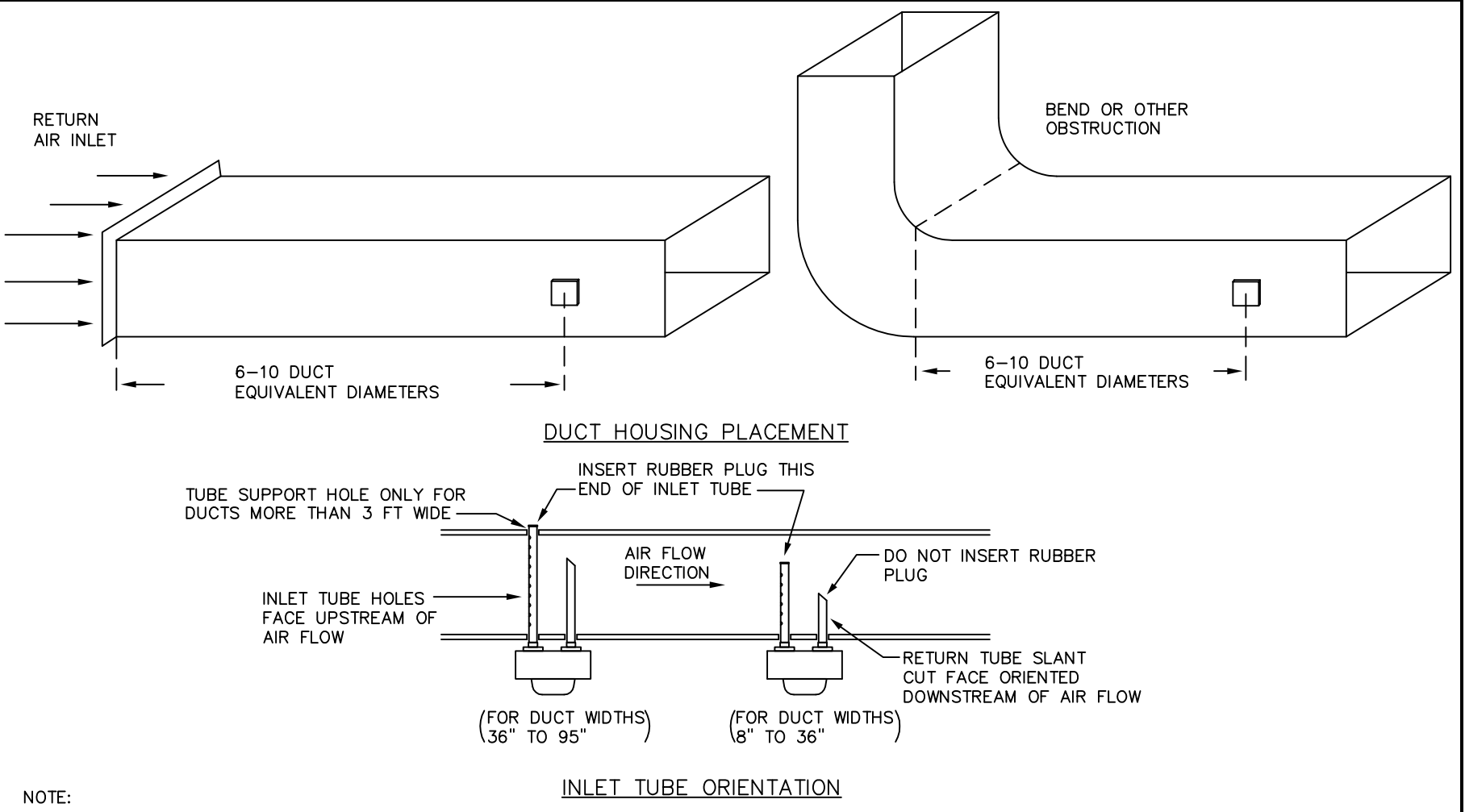
NOT USED
SCALE: N.T.S.

TYP. WALL PENETRATION DETAIL
SCALE: N.T.S.



- TYPICAL FLOOR PENETRATION**
- NOTES:
1. NEATLY CORE ALL MASONRY AND BLOCK WALLS.
2. RIGIDLY SUPPORT ALL RACEWAYS.
3. PROVIDE FIRE BARRIER CAULK AT FLOOR, CORRIDOR AND FIRE SEPARATION WALLS.

TYP. FLOOR PENETRATION DETAIL
SCALE: N.T.S.



- DUCT SMOKE MOUNTING DETAIL**
- NOTE:
1. PROVIDE DUCT SMOKE DETECTORS FOR EACH MAIN SUPPLY & RETURN BRANCH DUCTS. SUPPLY SIDE DETECTORS SHALL BE LOCATED ON DOWNSTREAM SIDE OF FILTERS. ALL DETECTOR LOCATION SHALL BE MINIMUM 6 DUCT WIDTHS AWAY FROM ANY INLET, TURN, OR ANY OTHER TURBULENCE CAUSING OBSTRUCTION.
2. PROVIDE REMOTE TEST SWITCH & REMOTE INDICATOR FOR EACH DUCT SMOKE DETECTOR. REMOTE INDICATOR SHALL BE MOUNTED IN A CLEARLY VISIBLE LOCATION AND SHALL BE BE REALLY ACCESSIBLE FOR MAINTENANCE AND TESTING. VERIFY EXACT LOCATION IN FIELD.

DUCT SMOKE MOUNTING DETAIL
SCALE: N.T.S.

PANEL : LPA (NEW) 225 AMPERE MAIN LUG ONLY

CKT. NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CKT. NO.
			A	B	C			
1	1P15	HALL LIGHTS	E	E	E	EM LIGHTS	1P15	2
3	1P15	STORAGE ROOM LIGHTS	E	E	E	EXIT LIGHTS	1P15	4
5	1P15	AIR HANDLER CONTROL	E	E	E	OUTSIDE REC.	1P15	6
7	1P15	CONCESSION REC.	E	E	E	STAR LIGHTS	1P15	8
9	1P15	CONCESSION REC.	E	E	E	CONCESSION LIGHTS	1P15	10
11	1P20	CONCESSION REC.	E	E	E	BATH EXHAUST & LIGHT	1P20	12
13	1P20	STORAGE & HALL REC.	E	E	E	LAUNDRY WASHER	1P20	14
15	1P20	STORAGE & HALL REC.	E	E	E	HALLWAY LIGHTS	1P20	16
17	1P20	STORAGE & HALL REC.	E	E	E	OUTSIDE LIGHTS	1P20	18
19	1P20	LAUNDRY REC.	E	E	E	EXERCISE ROOM REC.	1P20	20
21	2P30	LAUNDRY DRYER	E	E	E	EXERCISE ROOM REC.	1P20	22
23	/	/	E	E	E	EXERCISE ROOM REC.	1P20	24
25	2P30	LAUNDRY DRYER	E	E	E	CONCESSION REC.	1P20	26
27	/	/	E	E	E	CONCESSION REC.	1P20	28
29	2P20	WOMEN'S ROOM HEATER	E	E	E	CONCESSION REC.	1P20	30
31	/	/	E	E	E	CONCESSION REC.	1P20	32
33	2P20	MEN'S ROOM HEATER	E	E	E	CONCESSION REC.	1P20	34
35	/	/	E	E	E	CONCESSION REC.	1P20	36
37	3P30	/	E	E	E	CONCESSION REC.	1P20	38
39	/	/	E	E	E	CONCESSION REC.	1P20	40
41	/	/	E	E	E	CONCESSION REC.	1P20	42

NOTES:
TOTAL PHASE A: 3891 DENOTES HANDLELOCK
TOTAL PHASE B: 3891 CIRCUIT BREAKER
TOTAL PHASE C: 3891 EXISTING TO REMAIN
CONNECTED VA: 11672 NEW
CONNECTED AMP: 32.4

PANEL : LPB (NEW) 225 AMPERE MAIN LUG ONLY

CKT. NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CKT. NO.
			A	B	C			
1	1P15	HALL OUT	E	E	E	HALL LIGHTS	1P15	2
3	1P15	HALL OUT	E	E	E	HALL LIGHTS	1P15	4
5	1P20	TRACK OUT	E	E	E	HALL OUT	1P15	6
7	1P20	HALL LIGHTS	E	E	E	EXISTING	1P15	8
9	1P15	EXIT SIGN	E	E	E	LIGHT HALL	1P15	10
11	1P20	EMERGENCY LIGHTS	E	E	E	EXISTING	1P15	12
13	1P20	HALL OUTLET	E	E	E	TV OUT	1P20	14
15	1P20	BRICK WALL OUT	E	E	E	LIGHTS	1P20	16
17	1P20	COUNTER OUT	E	E	E	SPARE	1P20	18
19	1P20	WEATHER OUT	E	E	E	EXISTING	1P20	20
21	1P20	BATHROOM	E	E	E	EXISTING	1P20	22
23	1P20	SPARE	E	E	E	BATHROOM HAND DRYER	1P20	24
25	1P20	TRACK OUT	E	E	E	SPARE	3P20	26
27	1P20	TRACK OUT	E	E	E	/	/	28
29	1P20	TRACK OUT	E	E	E	/	/	30
31	3P40	VAV-3-3	E	E	E	SPARE	3P20	32
33	/	/	E	E	E	/	/	34
35	/	/	E	E	E	/	/	36
37	3P40	VAV-3-4	E	E	E	SPARE	3P30	38
39	/	/	E	E	E	/	/	40
41	/	/	E	E	E	/	/	42

NOTES:
TOTAL PHASE A: 8833 DENOTES HANDLELOCK
TOTAL PHASE B: 8833 CIRCUIT BREAKER
TOTAL PHASE C: 8833 EXISTING TO REMAIN
CONNECTED VA: 29500 NEW
CONNECTED AMP: 81.9

PANEL : LPA (DEMO) 225 AMPERE MAIN LUG ONLY

CKT. NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CKT. NO.
			A	B	C			
1	1P15	HALL LIGHTS	E	E	E	EM LIGHTS	1P15	2
3	1P15	STORAGE ROOM LIGHTS	E	E	E	EXIT LIGHTS	1P15	4
5	1P15	AIR HANDLER CONTROL	E	E	E	OUTSIDE REC.	1P15	6
7	1P15	CONCESSION REC.	E	E	E	STAR LIGHTS	1P15	8
9	1P15	CONCESSION REC.	E	E	E	CONCESSION LIGHTS	1P15	10
11	1P20	CONCESSION REC.	E	E	E	BATH EXHAUST & LIGHT	1P20	12
13	1P20	STORAGE & HALL REC.	E	E	E	LAUNDRY WASHER	1P20	14
15	1P20	STORAGE & HALL REC.	E	E	E	HALLWAY LIGHTS	1P20	16
17	1P20	STORAGE & HALL REC.	E	E	E	OUTSIDE LIGHTS	1P20	18
19	1P20	LAUNDRY REC.	E	E	E	EXERCISE ROOM REC.	1P20	20
21	2P30	LAUNDRY DRYER	E	E	E	EXERCISE ROOM REC.	1P20	22
23	/	/	E	E	E	EXERCISE ROOM REC.	1P20	24
25	2P30	LAUNDRY DRYER	E	E	E	CONCESSION REC.	1P20	26
27	/	/	E	E	E	CONCESSION REC.	1P20	28
29	2P20	WOMEN'S ROOM HEATER	E	E	E	CONCESSION REC.	1P20	30
31	/	/	E	E	E	CONCESSION REC.	1P20	32
33	2P20	MEN'S ROOM HEATER	E	E	E	CONCESSION REC.	1P20	34
35	/	/	E	E	E	CONCESSION REC.	1P20	36
37	3P30	AIR HANDLER CLUBHOUSE	E	E	E	CONCESSION REC.	1P20	38
39	/	/	E	E	E	CONCESSION REC.	1P20	40
41	/	/	E	E	E	CONCESSION REC.	1P20	42

NOTES:
TOTAL PHASE A: 0 DENOTES HANDLELOCK
TOTAL PHASE B: 0 CIRCUIT BREAKER
TOTAL PHASE C: 0 EXISTING TO REMAIN
CONNECTED VA: 0 DEMO
CONNECTED AMP: 0.0

PANEL : LPB (DEMO) 225 AMPERE MAIN LUG ONLY

CKT. NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CKT. NO.
			A	B	C			
1	1P15	HALL OUT	E	E	E	HALL LIGHTS	1P15	2
3	1P15	HALL OUT	E	E	E	HALL LIGHTS	1P15	4
5	1P20	TRACK OUT	E	E	E	HALL OUT	1P15	6
7	1P20	HALL LIGHTS	E	E	E	EXISTING	1P15	8
9	1P15	EXIT SIGN	E	E	E	LIGHT HALL	1P15	10
11	1P20	EMERGENCY LIGHTS	E	E	E	EXISTING	1P15	12
13	1P20	HALL OUTLET	E	E	E	TV OUT	1P20	14
15	1P20	BRICK WALL OUT	E	E	E	LIGHTS	1P20	16
17	1P20	COUNTER OUT	E	E	E	SPARE	1P20	18
19	1P20	WEATHER OUT	E	E	E	EXISTING	1P20	20
21	1P20	BATHROOM	E	E	E	EXISTING	1P20	22
23	1P20	SPARE	E	E	E	BATHROOM HAND DRYER	1P20	24
25	1P20	TRACK OUT	E	E	E	SPARE	3P20	26
27	1P20	TRACK OUT	E	E	E	/	/	28
29	1P20	TRACK OUT	E	E	E	/	/	30
31	3P20	LOUNGE DUCT HEATER	E	E	E	SPARE	3P20	32
33	/	/	E	E	E	/	/	34
35	/	/	E	E	E	/	/	36
37	3P30	LOUNGE DUCT HEATER	E	E	E	SPARE	3P30	38
39	/	/	E	E	E	/	/	40
41	/	/	E	E	E	/	/	42

NOTES:
TOTAL PHASE A: 0 DENOTES HANDLELOCK
TOTAL PHASE B: 0 CIRCUIT BREAKER
TOTAL PHASE C: 0 EXISTING TO REMAIN
CONNECTED VA: 0 DEMO
CONNECTED AMP: 0.0

MECHANICAL EQUIPMENT SCHEDULE

NO.	DESCRIPTION	FLA	KW	HP	VOL	PH	CCT NO.	DISC FURN BY	CONNECTION/RECEPTACLE	CIRCUIT WIRING	NOTE
AHU-3	AIR HANDLING UNIT	10.2	-	-	208	3	LPA-37/39/41	EC	COMBINATION STARTER/DISCONNECT (SEE FLOOR PLAN)	3#12, #12G, 1/2"C	
ACCU-3	AIR-COOLED CONDENSING UNIT	37	-	-	208	3	MDP	EC	FUSED DISCONNECT SWITCH (SEE FLOOR PLAN)	3#8, #10G, 3/4"C	
VAV-3-1	VARIABLE AIR VOLUME BOX W/ ELECTRIC REHEAT	-	8.5	-	208	3	LPB-38/40/42	EC	HARD-WIRED	3#10, #10G, 3/4"C	
VAV-3-2	VARIABLE AIR VOLUME BOX W/ ELECTRIC REHEAT	-	8.0	-	208	3	LPA-32/34/36	EC	HARD-WIRED	3#10, #10G, 3/4"C	
VAV-3-3	VARIABLE AIR VOLUME BOX W/ ELECTRIC REHEAT	-	10.5	-	208	3	LPB-31/33/35	EC	HARD-WIRED	3#8, #10G, 3/4"C	
VAV-3-4	VARIABLE AIR VOLUME BOX W/ ELECTRIC REHEAT	-	10.5	-	208	3	LPB-37/39/41	EC	HARD-WIRED	3#8, #10G, 3/4"C	
EF-1	EXHAUST FAN	-	-	F	120	1	EXISTING ROOM LIGHTING (SEE FLOOR PLAN)	UNIT	HARD-WIRED	2#12, #12G, 1/2"C	

NOTES:

PANEL SCHEDULES (REMODELED)
SCALE: N.T.S.

PANEL SCHEDULES
SCALE: N.T.S.

ISSUED
1/27/2019 BID DOCUMENTS

JOB NO. 19-310-1249
DRAWN ATR
CHECKED MTK
APPROVED MTK

SHEET TITLE
ELECTRICAL SCHEDULES & DETAILS

SHEET NUMBER
E600